

CRESTED BUTTE FIRE PROTECTION DISTRICT BOARD
OF DIRECTORS REGULAR MEETING

Station 2

751 Gothic Road, Mt. Crested Butte, CO 81225

Tuesday, July 8, 2025

5:15 PM

- 5:15 CALL REGULAR MEETING TO ORDER
1. Introduction of Guests
 2. Review / Changes to Agenda
- 5:20 CONSENT AGENDA
1. Approval of minutes June 10, 2025 regular meeting
 2. Approval of monthly financial reports
- 5:25 FIRE PREVENTION REPORT
- 5:35 EMS & FIRE CHIEF REPORT
- 5:45 CHIEF EXECUTIVE REPORT
- 5:50 OLD / UNFINISHED BUSINESS
1. Emergency Services Campus Update – Goulding
 2. Larkspur Update
 3. Updates to Employee Housing Policy
- 6:00 NEW BUSINESS
1. Communications Center & Emergency Management Introductions
 2. Western Slope Towers Presentation
 - a. Potential Radio/Cell Tower at Station 3
- 6:30 PUBLIC COMMENT
- 6:40 UNSCHEDULED BUSINESS AND BOARD MEMBER COMMENTS
- 6:45 EXECUTIVE SESSION
1. §24-6-402(4)(e), C.R.S., Determining positions relative to matters that may be subject to negotiation, developing strategy for negotiations, and instructing negotiators related to tower development agreement.
- 6:55 ACTION ITEMS FOLLOWING EXECUTIVE SESSION
- 7:00 ADJOURNMENT

Online Meeting Information

<https://zoom.us/j/9703495333?pwd=ZUINRFBCL253UzlxSGNhQ0laS29TQT09>

One Tap Mobile +16699009128,,9703495333# US (San Jose)

+1 312 626 6799 US (Chicago) - Meeting ID: 970 349 5333

Password: 5333

CRESTED BUTTE FIRE PROTECTION DISTRICT
MINUTES OF REGULAR MEETING
Mt. Crested Butte Fire Station 2
Tuesday, June 10, 2025
Approved _____

Attendance

Board Members Present: Chris McCann, Jack Dietrich, Matt Halvorson, Ken Lodovico, Eric Tunkey
Guests: Todd Goulding- Goulding Development Advisors; John Chmil- Lyons Gaddis
Staff, Volunteers and Public: Sean Caffrey, Rob Weisbaum, Annie Tunkey, Ric Ems, Jeff Duke, Beth Shaner

Changes to the Agenda

Meeting called to order at 5:17 pm by Board Vice Chairman Chris McCann
Changes to the agenda include a late public comment that is fire prevention related.

Consent Agenda

Approval of the May Regular Meeting Minutes & May Special Meeting Minutes
Approval of Monthly Financial Reports for May
Motion to approve the consent agenda by Dietrich, seconded by Locovico. Motion passes unanimously.

Fire Prevention Report

Fire Marshal Ems presented his written report highlighting: A total of 15 company-level inspections were assigned in May, with 5 completed. Chief Weisbaum noted a potential discrepancy in the numbers, as he also receives inspection reports from Captains. This may be due to off-season closures or scheduling issues. In new construction a “red tag” was issued at the Mineral Point property; however, it was clarified that CBFPD was not the issuing agency. A new fire line is being installed at the Crested Butte Community School (CBCS) on Red Lady Avenue. West Region Wildfire Council has expressed an interest in charging for home assessments in our district. Fire Marshal Ems indicated he is not in favor of implementing fees and plans to speak with their representatives. Only 12 inspections are currently scheduled in Gunnison County. Finally, The Grand Lodge has contracted a new fire alarm system with a target completion date of June 15. It is unlikely that this deadline will be met. Fire Marshal Ems will conduct a site visit on Wednesday at 11:00 a.m. to assess progress. Board member Halvorson commended Ems for his efforts in supporting the Grand Lodge project.

EMS & Fire Chief Report

Chief Weisbaum presented his written report, noting: A slight decrease in call volume compared to the same period last year. According to Captain reports, 8 inspections were completed; Chief Weisbaum will review this figure and reiterated the challenges of scheduling inspections during the off-season. Site visits for training officer candidates are scheduled to begin June 18.

Chief Executive Report

CEO Caffrey submitted a written report with the following highlights: NFPA Physicals are scheduled for June 11 and 12. Ambulance Billing Legislative Update: Although initial legislative efforts were successful, the bill was ultimately vetoed by the Governor. The bill would have prevented balance billing and required insurance companies to pay Medicare-based rates. Caffrey expects the legislation to return in the next session and suggested evaluating an increase in ambulance billing rates, as they have not been updated since 2019. Impact and Plan Review Fees: The Gunnison County Manager inquired about CBFPD’s fee structure. Caffrey expressed confidence in the current calculation methodology. Chairman McCann questioned whether fee information is being effectively communicated. Fire Marshal Ems confirmed that public communication has been occurring and that clarification is provided when needed. McCann requested that a one-page summary of impact and review fees

be publicly distributed—to local media, contractors, county boards, and HOAs.

Public Comments

Clark Atkinson submitted a public request seeking a variance on plan review fees for an attainable housing project on Haverly Street, Block 6, in Crested Butte South.

Old Business

Todd Goulding provided a construction update:

- **Lift Station:** Awaiting parts with a 15-week lead time, pushing project completion into October.
- **Training Building:** Permitting (civil and MEP) must be completed before slab construction can begin, projected for September or October.
- **Wells:** Well #2 showed decreased flow after the sediment screen was lowered. Drilling a third well is scheduled in the coming weeks. Flow rates have been acceptable, but sediment issues have presented challenges onsite.
- Goulding acknowledged the strong performance of the FCI team. Water and sewer remain the primary construction constraints. Current site work includes grading, topsoil placement, stormwater system preparation, sewer/electric installation, gutters, and parking.

Goulding expressed some concern about the project budget. Several significant change orders are pending. \$800,000 has been redirected for IRS bond arbitrage repayment and the housing fund may be slightly impacted. Director McCann expressed concern that the budget has tightened since the Training Building was approved in January. CEO Caffrey confirmed that budget oversight remains a high priority.

Updates to Employee Housing Policy- need to be updated no work has been done. This is a place holder at this time.

New Business

Discussion held regarding potential financing structures for the quint. CEO Caffrey states that it was suggested that a lease purchase on the quint may be more advantageous than a least purchase on employee housing. The interest rate on a lease purchased vehicle is 4.5-5.5%. Director Dietrich recommended evaluating all financing options. CEO Caffrey suggested that his personal residence could potentially be leveraged in the structure.

Unscheduled Business

No unscheduled business

Executive Session

Motion to enter executive session per:

§24-6-402(4)(e), C.R.S., Determining positions relative to matters that may be subject to negotiation, developing strategy for negotiations, and instructing negotiators related to CBSAR property lease and tower development agreement,

§24-6-402(4)(b), C.R.S., Conferences with an attorney for the public entity to receive legal advice on specific legal questions related to unionization in Colorado, and

§24-6-402(4)(f), C.R.S., Personnel matters related to EMS & Fire Chief Robert Weisbaum by Dietrich, seconded by McCann. Motion passes unanimously.

Board entered executive session at 6:19 pm.

Motion to exit executive session at 7:35 pm by McCann, seconded by Tunkey. Motion passes unanimously.

Motion to adjourn at 7:35 pm by McCann, seconded by Dietrich. Motion passes unanimously.

2025 Budget vs. Actuals
Crested Butte Fire Protection District
January 1-December 31, 2025

<u>Distribution account</u>	Total			
	Actual	Budget	Over budget by	Percent of budget
Income				
4000 Property Tax - General Fund	4,714,050.00	6,008,842.00	-1,294,792.00	78.45%
4020 Specific Ownership Tax	124,845.00	130,000.00	-5,155.00	96.03%
4100 Ambulance/ EMS Service Fees	181,943.00	325,000.00	-143,057.00	55.98%
4200 Plan Review Fees	240,637.00	150,000.00	90,637.00	160.42%
4210 Training Fees	9,860.00	0.00	9,860.00	
4220 Special Event Fees	79,359.00	0.00	79,359.00	
4240 Rental Income	52,450.00	80,000.00	-27,550.00	65.56%
4260 Vehicle Service Fees	4,989.00	0.00	4,989.00	
4300 Impact Fees	92,723.00	25,000.00	67,723.00	370.89%
4400 Interest Income	96,768.00	50,000.00	46,768.00	193.54%
4600 Contributions / Donations	50.00	0.00	50.00	
4700 Other Income	375.00	0.00	375.00	
Unapplied Cash Payment Income	0.00	0.00	0.00	
4040 Intergovernmental Revenue	0.00	25,000.00	-25,000.00	0.00%
4710 Sale of Assets	0.00	2,000.00	-2,000.00	0.00%
Total for Income	\$5,598,049.00	\$6,795,842.00	-\$1,197,793.00	82.37%
Cost of Goods Sold	0.00	0.00	0.00	
Gross Profit	\$5,598,049.00	\$6,795,842.00	-\$1,197,793.00	82.37%
Expenses				
5010 (A) Wages - Administration	103,158.00	223,856.00	-120,698.00	46.08%
5020 (A) Wages - Fire Prevention	159,057.00	342,860.00	-183,803.00	46.39%
5030 (A) Part-Time / Temp Salaries	950.00	5,000.00	-4,050.00	19.01%
5040 (A) Housing Stipend	13,800.00	29,900.00	-16,100.00	46.15%
5060 (A) Payroll Processing Fees	3,035.00	6,000.00	-2,965.00	50.58%
5130 (A) Medicare Tax	3,616.00	8,290.00	-4,674.00	43.62%
5140 (A) Social Security Tax	3,770.00	6,186.00	-2,416.00	60.94%
5150 (A) FPPA Pension - ER	24,289.00	55,026.00	-30,737.00	44.14%
5160 (A) FAMILI Premium - ER	1,122.00	2,573.00	-1,451.00	43.61%
5200 (A) Health Benefits	53,676.00	107,283.00	-53,607.00	50.03%
5210 (A) EAP Program Fees	475.00	3,500.00	-3,025.00	13.56%
5260 (A) Workers Compensation Insurance	45,709.00	55,000.00	-9,291.00	83.11%
5290 (A) Health Reimbursement	46,135.00	153,581.00	-107,446.00	30.04%
5300 (A) Advertising	2,443.00	5,000.00	-2,557.00	48.85%
5320 (A) Accounting and Audit Fees	4,222.00	22,500.00	-18,278.00	18.76%
5330 (E) Ambulance Billing Fees	7,876.00	19,500.00	-11,624.00	40.39%
5340 (A) Bank Charges	990.00	5,000.00	-4,010.00	19.80%

5341 QB Credit Card/ACH Fees	3,643.00	0.00	3,643.00	
Total for 5340 (A) Bank Charges	\$4,633.00	\$5,000.00	-\$367.00	92.66%
5360 (A) Board Expenses	402.00	16,000.00	-15,598.00	2.51%
5365 (A) Board Stipends	3,000.00	7,000.00	-4,000.00	42.86%
5370 (A) Debt Service - Lease Purchase	6,017.00	12,876.00	-6,859.00	46.73%
5400 (A) Dues & Subscriptions	7,051.00	8,000.00	-949.00	88.13%
5420 (A) Education & Training	3,550.00	15,000.00	-11,450.00	23.66%
5460 (A) Fire Prevention & Life Safety	5,245.00	15,000.00	-9,755.00	34.97%
5500 (A) Insurance - General	44,932.00	45,000.00	-68.00	99.85%
5520 (A) IT Services & Subscriptions	31,833.00	60,000.00	-28,167.00	53.06%
5540 (A) Legal & Professional	9,699.00	50,000.00	-40,301.00	19.40%
5550 (A) Meals & Incentives	6,934.00	26,000.00	-19,066.00	26.67%
5600 (A) Office Supplies & Equipment	3,086.00	30,000.00	-26,914.00	10.29%
5620 (A) Postage & Shipping	703.00	3,000.00	-2,297.00	23.44%
5640 (A) Rent	10,906.00	75,596.00	-64,690.00	14.43%
5640.1 410 Cascadilla Unit A	17,500.00	0.00	17,500.00	
Total for 5640 (A) Rent	\$28,406.00	\$75,596.00	-\$47,190.00	37.58%
5660 (A) Repairs - Buildings	4,644.00	40,000.00	-35,356.00	11.61%
5670 (A) - Repairs - Rental Units	4,694.00	5,000.00	-306.00	93.89%
5700 (A) Snow Removal	13,599.00	12,000.00	1,599.00	113.32%
5720 (A) Telecom - Fixed	8,814.00	10,000.00	-1,186.00	88.14%
5760 (A) Travel	11,150.00	22,500.00	-11,350.00	49.56%
5780 (A) Treasurer's Fee - GF	141,467.00	184,165.00	-42,698.00	76.82%
5810 (A) Utilities - Rental Units	3,034.00	6,000.00	-2,966.00	50.57%
5820 (A) Utilities	25,318.00	45,000.00	-19,682.00	56.26%
5850 (A) Volunteer Pension Contribution	75,000.00	75,000.00	0.00	100.00%
6010 (O) Wages - Ops FT	835,676.00	1,863,716.00	-1,028,040.00	44.84%
6020 (O) Wages - Ops PT	88,474.00	217,000.00	-128,526.00	40.77%
6040 (O) Housing Stipend	34,800.00	76,700.00	-41,900.00	45.37%
6060 (O) Unscheduled Overtime	24,613.00	94,515.00	-69,902.00	26.04%
6070 (O) Training Pay	2,401.00	5,000.00	-2,599.00	48.01%
6080 (O) Special Event Pay	486.00	1,500.00	-1,014.00	32.39%
6090 (O) Volunteer Stipends	5,250.00	36,000.00	-30,750.00	14.58%
6130 (O) Medicare Tax	12,693.00	31,570.00	-18,877.00	40.20%
6140 (O) Social Security Tax	6,056.00	15,934.00	-9,878.00	38.01%
6150 (O) FPPA Pension - ER	104,749.00	242,323.00	-137,574.00	43.23%
6160 (O) FAMILI Premium - ER	3,939.00	9,798.00	-5,859.00	40.20%
6200 (O) Health Benefits	213,391.00	408,703.00	-195,312.00	52.21%
6360 (O) Dispatch Fees	61,029.00	65,000.00	-3,971.00	93.89%
6420 (O) Education & Training	19,813.00	45,000.00	-25,187.00	44.03%
6440 (E) EMS Supplies	19,400.00	40,000.00	-20,600.00	48.50%
6450 (F) Firefighting Supplies	7,997.00	50,000.00	-42,003.00	15.99%
6460 (O) Fuel	13,244.00	45,000.00	-31,756.00	29.43%

6550 (O) Meals - Training	2,923.00	10,000.00	-7,077.00	29.23%
6580 (E) Medical Direction	3,950.00	10,000.00	-6,050.00	39.50%
6600 (O) Protective Equipment	21,589.00	40,000.00	-18,411.00	53.97%
6620 (O) Radio & Computer Equipment	6,638.00	25,000.00	-18,362.00	26.55%
6640 (O) Repairs - Equipment	1,160.00	20,000.00	-18,840.00	5.80%
6660 (O) Repairs - Vehicles	35,953.00	40,000.00	-4,047.00	89.88%
6675 (O) Station Supplies	6,042.00	9,000.00	-2,958.00	67.14%
6710 (O) Responder Incentives	786.00	10,000.00	-9,214.00	7.86%
6720 (O) Telecom - Mobile	4,199.00	14,000.00	-9,801.00	29.99%
6730 (O) Tools & Hardware	3,688.00	2,000.00	1,688.00	184.39%
6750 (O) Training Equipment & Supplies	687.00	8,000.00	-7,313.00	8.59%
6760 (O) Travel	5,674.00	25,000.00	-19,326.00	22.70%
6800 (O) Uniforms	6,296.00	30,000.00	-23,704.00	20.99%
6810 (O) Vehicle Service Expenses	5,424.00	0.00	5,424.00	
6820 (O) Wellness & Physicals	500.00	40,000.00	-39,500.00	1.25%
5270 (A) Ski Pass Benefit	0.00	6,000.00	-6,000.00	0.00%
5380 (A) Down Payment Assistance	0.00	1,500.00	-1,500.00	0.00%
5440 (A) Elections	0.00	25,000.00	-25,000.00	0.00%
5900 (A) Miscellaneous-1	0.00	2,000.00	-2,000.00	0.00%
6270 (O) Ski Pass Benefit	0.00	47,000.00	-47,000.00	0.00%
6480 (O) Hazardous Waste Disposal	0.00	2,000.00	-2,000.00	0.00%
6680 (E) Service Contracts	0.00	18,000.00	-18,000.00	0.00%
6900 (O) Miscellaneous	0.00	2,000.00	-2,000.00	0.00%
Total for Expenses	\$2,476,061.00	\$5,448,451.00	-\$2,972,390.00	45.45%
Net Operating Income	\$3,121,989.00	\$1,347,391.00	\$1,774,598.00	231.71%
Other Income	0.00	0.00	0.00	
Other Expenses				
8010 Capital Expenditures	88,255.00	515,000.00	-426,745.00	17.14%
9010 Transfer to Capital Fund	700,000.00	700,000.00	0.00	100.00%
Total for Other Expenses	\$788,255.00	\$1,215,000.00	-\$426,745.00	64.88%
Net Other Income	-\$788,255.00	-\$1,215,000.00	\$426,745.00	64.88%
Net Income	\$2,333,734.00	\$132,391.00	\$2,201,343.00	1,762.76%

Cash Basis Tuesday, July 01, 2025 03:15 PM GMTZ

Statement of Financial Position

Crested Butte Fire Protection District

As of June 30, 2025

DISTRIBUTION ACCOUNT	TOTAL
Assets	
Current Assets	
Bank Accounts	
1000 Operating Checking	372,260.67
1010 BOTW Money Market	64,838.50
1100 COLORTRUST - General Fund	6,020,381.50
1120 COLORTRUST - Debt Proceeds	
1130 CSIP Operating	783,592.11
1200 Triplex Lease Purchase	
1520	
Total for Bank Accounts	\$7,241,072.78
Accounts Receivable	
1210 Accounts Receivable- Rent/Fees	79,226.49
1211 Mill Levy Property Tax Receivable	-4,714,049.75
1250 Property Tax Receivable	
2220 Prepaid Rent Revenue	
Total for Accounts Receivable	-\$4,634,823.26
Other Current Assets	
1000.2 Payroll Posting	
1000.3 Clearing Account	
1150 Due from CBFPD Bond Fund	
1255 Accounts Receivable - AUDIT	
1260 Undeposited Funds	3,000.00
1300 Prepayments	
1310 Security Deposits	
Total for Other Current Assets	\$3,000.00
Total for Current Assets	\$2,609,249.52
Fixed Assets	
1520.1 Machinery & Equipment	
1520 Capital Equipment	\$20,056.58
Total for Fixed Assets	\$20,056.58
Other Assets	
1600 Bond Fund Reimbursables	
Total for Other Assets	0
Total for Assets	\$2,629,306.10

Statement of Financial Position

Crested Butte Fire Protection District

As of June 30, 2025

DISTRIBUTION ACCOUNT	TOTAL
Liabilities and Equity	
Liabilities	
Current Liabilities	
Accounts Payable	0
Credit Cards	\$19,839.29
Other Current Liabilities	
2005 Accounts Payable- Audit	
2140 Payroll Wages Payable	24,662.79
2150 Payroll Taxes Payable	
2151 Federal Withholding Liability	
2155 FICA / Medicare Payable	
2160 State Withholding Liability	
2170 FPPA Pension Payable	
2180 Garnishment Payable	
2225 Prepaid Rent	3,000.00
Total for Other Current Liabilities	\$27,662.79
Total for Current Liabilities	\$47,502.08
Long-term Liabilities	
2210 Deferred Property Tax	-4,714,049.75
2500.1 Triplex Lease - Purchase	-24,796.02
2500 Rental Unit Security Deposits	800.00
Total for Long-term Liabilities	-\$4,738,045.77
Total for Liabilities	-\$4,690,543.69
Equity	
3400 Unrestricted Reserve	2,550,321.14
Net Income	2,375,890.34
3000 Opening Balance Equity	
3050 TABOR Reserve	173,000.00
3100 Operating Reserve	1,421,189.00
3150 Restricted for Spann Note Payable	
3200 Major Incident Reserve	100,000.00
3250 Down Payment Assistance Fund	80,000.00
3300 Impact Fee (Capital) Reserve	419,449.31
3310 Mt. CB Impact Fee Reserve	
3320 CB Impact Fee Reserve	
3325 Additional Capital Reserve	200,000.00
3330 County Impact Fee Reserve	

Statement of Financial Position

Crested Butte Fire Protection District

As of June 30, 2025

DISTRIBUTION ACCOUNT	TOTAL
3350 Committed Subs Years Budget	
Total for Equity	\$7,319,849.79
Total for Liabilities and Equity	\$2,629,306.10

Expenses by Vendor Summary

Crested Butte Fire Protection District

June 2025

VENDOR	TOTAL
	750,110.91
5b's Bbq	4,319.10
ADP	530.83
Alerus	697.18
All Seasons Rental	26.17
Alpine Lumber Co.	231.95
Amazon	461.98
Amazon Web Services	12.42
Apex Motorworks	2,419.98
Apple	0.99
ATMOS Energy	553.07
AT&T	586.97
B&B Printers	57.00
Black Dimond Equipment	244.21
Blackjack Garage Door	424.29
BMO	153.35
Bound Tree Medical	2,446.56
Brimar Industries	588.35
Bruhaus	295.84
Buckhorn Ranch Assoc.	452.49
Camp 4 Coffee	287.85
CEBT	36,671.45
CenturyLink	254.30
Chris McCann	300.00
Clark's Market	207.12
Clinton Bates	250.00
CoDFPC - Colorado Division of Fire Prevention and Control	515.00
Colorado ALS	180.00
Colorado Department of Labor	160.00
Colorado Firecamp	800.00
Colorado Firefighter Heart & Cancer Benefits Trust	14,092.00
Creative Catering	54.43
Crested Butte Ace Hardware	168.67
Crested Butte News	1,140.60
Crested Butte South Metro District	338.75
Cummins	216.19
Denise Mayfield	36.00
Elevation Hotel & Spa	1,779.48
Embroidered Sportswear Company	1,193.50
Employers Council	1,800.00
Enterprise Rent-A-Car	208.94
Exxon Mobil	2,095.78
Fastenal	165.27

Expenses by Vendor Summary

Crested Butte Fire Protection District

June 2025

VENDOR	TOTAL
FitnessTech	75.00
Fuel Generic	99.22
Galls	96.99
Gas Cafe	30.30
GCEA	1,027.40
Gobin's, Inc.	122.07
GoDaddy	63.17
Guru Importer	10.00
Henry Schein	500.05
Home Depot	515.47
HVM Security	360.00
International Code Council, Inc	215.00
Jack Dietrich	300.00
James (Jay) Bettencourt	300.00
Jayson Simons Jones	2,500.00
Ken Lodovico	200.00
Lacy Construction	50.00
Land's End Business	66.27
Life Assist	810.00
L.N. Curtis & Sons	751.47
Lodging (Generic)	1,696.52
LOGOTAGS	557.00
Lyft	14.99
Lyons Gaddis	3,575.00
Matthew L Halvorson	300.00
Mcgills	201.38
Microsoft	369.68
Montrose Water Factory	231.25
Monty's Auto Parts	15.79
Mountain Spirit Liquor	363.80
Mt. Crested Butte Water& Sanitation	132.21
NEMSMA	325.00
Paper Clip	24.95
Paradise Cafe	156.46
Perkins La Junta	191.13
Priceline	1,244.12
QuickBooks Payments	668.47
Radwell International, LLC	79.88
Respond First Aid Systems	98.55
Restaurant (Generic)	523.79
RoShamBo,LLC	450.00
RPS montrose (mtj Airport Parking)	45.00
Safeway	353.93

Expenses by Vendor Summary

Crested Butte Fire Protection District

June 2025

VENDOR	TOTAL
SatCom Global	114.42
Scenic River Tours	60.39
Secret Stash	38.50
Shay Krier MD	475.00
Shock Surplus	4,345.30
Signs and Safety Equipment Inc.	548.43
SlingTV	60.99
Smash Balloon	98.00
Sonic Wall	465.61
Spectrum	244.56
Stanford Computer & Technical Services LLC	880.00
State of Colorado	-16,686.00
The Store	89.55
Town of Crested Butte	1,688.27
Tuck Communication Services, Inc.	7,415.00
UMR	1,518.85
United Airlines	34.39
USPS	10.85
Verizon	40.13
Visionary Broadband	159.96
Waste Management	644.97
W. Eric Tunkey	200.00
Western Slope Fire & Backflow	2,808.00
Wufoo	399.00
Zeb Bernholtz	1,500.00
TOTAL	\$854,394.45

Transaction Report
Crested Butte Fire Protection District
 June 2025

DISTRIBUTION ACCOUNT	TRANSACTION DATE	TRANSACTION TYPE	NUM	NAME	LINE DESCRIPTION	ACCOUNT FULL NAME	ITEM SPLIT ACCOUNT	AMOUNT	BALANCE
5010 (A) Wages - Administration	06/04/2025	Journal Entry	00744			5010 (A) Wages - Administration			
5030 (A) Part-Time / Temp Salaries	06/04/2025	Journal Entry	00744			5030 (A) Part-Time / Temp Salaries			
5050 (A) Overtime	06/04/2025	Journal Entry	00744			5050 (A) Overtime			
5130 (A) Medicare Tax	06/04/2025	Journal Entry	00744			5130 (A) Medicare Tax			
5140 (A) Social Security Tax	06/04/2025	Journal Entry	00744			5140 (A) Social Security Tax			
5150 (A) FPPA Pension - ER	06/04/2025	Journal Entry	00744			5150 (A) FPPA Pension - ER			
6010 (O) Wages - Ops FT	06/04/2025	Journal Entry	00744			6010 (O) Wages - Ops FT			
6020 (O) Wages - Ops PT	06/04/2025	Journal Entry	00744			6020 (O) Wages - Ops PT			
6030 (O) On-Call Pay	06/04/2025	Journal Entry	00744			6030 (O) On-Call Pay			
6060 (O) Unscheduled Overtime	06/04/2025	Journal Entry	00744			6060 (O) Unscheduled Overtime			
6070 (O) Training Pay	06/04/2025	Journal Entry	00744			6070 (O) Training Pay			
6080 (O) Special Event Pay	06/04/2025	Journal Entry	00744			6080 (O) Special Event Pay			
6130 (O) Medicare Tax	06/04/2025	Journal Entry	00744			6130 (O) Medicare Tax			
6140 (O) Social Security Tax	06/04/2025	Journal Entry	00744			6140 (O) Social Security Tax			
6150 (O) FPPA Pension - ER	06/04/2025	Journal Entry	00744			6150 (O) FPPA Pension - ER			
6800 (O) Uniforms	06/04/2025	Check	37189	Adam Bembenek	Boot Reimbursement	6800 (O) Uniforms	Operating Checking	229.74	229.74
6090 (O) Volunteer Stipends	06/04/2025	Journal Entry	00745		Regular Earnings	6090 (O) Volunteer Stipends		1,200.00	1,429.74
6160 (O) FAMILI Premium - ER	06/04/2025	Journal Entry	00745		CO FAMILI - ER	6160 (O) FAMILI Premium - ER		5.40	1,435.14
6140 (O) Social Security Tax	06/04/2025	Journal Entry	00745		CO FAMILI - ER	6140 (O) Social Security Tax		74.40	1,509.54
6130 (O) Medicare Tax	06/04/2025	Journal Entry	00745		CO FAMILI - ER	6130 (O) Medicare Tax		17.40	1,526.94
5010 (A) Wages - Administration	06/04/2025	Journal Entry	00746		HOLIDAY	5010 (A) Wages - Administration		254.21	1,781.15
5010 (A) Wages - Administration	06/04/2025	Journal Entry	00746		Regular Earnings	5010 (A) Wages - Administration		8,490.92	10,272.07
5020 (A) Wages - Fire Prevention	06/04/2025	Journal Entry	00746		Fire Prevention	5020 (A) Wages - Fire Prevention		13,405.70	23,677.77
5040 (A) Housing Stipend	06/04/2025	Journal Entry	00746		Housing2	5040 (A) Housing Stipend		150.00	23,827.77
5040 (A) Housing Stipend	06/04/2025	Journal Entry	00746		Housing3	5040 (A) Housing Stipend		1,000.00	24,827.77
5130 (A) Medicare Tax	06/04/2025	Journal Entry	00746		Employer Medicare Tax	5130 (A) Medicare Tax		304.07	25,131.84
5140 (A) Social Security Tax	06/04/2025	Journal Entry	00746		Employer Social Security Tax	5140 (A) Social Security Tax		318.56	25,450.40
5150 (A) FPPA Pension - ER	06/04/2025	Journal Entry	00746		ER AD&D CORRECT	5150 (A) FPPA Pension - ER		240.99	25,691.39
5150 (A) FPPA Pension - ER	06/04/2025	Journal Entry	00746		ER PENSION CONT	5150 (A) FPPA Pension - ER		1,829.29	27,520.68
5160 (A) FAMILI Premium - ER	06/04/2025	Journal Entry	00746		CO FAMILI - ER	5160 (A) FAMILI Premium - ER		94.36	27,615.04
5200 (A) Health Benefits	06/04/2025	Journal Entry	00746		Voluntary Life Contribution	5200 (A) Health Benefits		-60.57	27,554.47
6010 (O) Wages - Ops FT	06/04/2025	Journal Entry	00746		HOLIDAY	6010 (O) Wages - Ops FT		4,359.76	31,914.23
6010 (O) Wages - Ops FT	06/04/2025	Journal Entry	00746		Overtime Earnings	6010 (O) Wages - Ops FT		5,003.67	36,917.90
6010 (O) Wages - Ops FT	06/04/2025	Journal Entry	00746		Regular Earnings	6010 (O) Wages - Ops FT		62,254.95	99,172.85
6010 (O) Wages - Ops FT	06/04/2025	Journal Entry	00746		VACATION	6010 (O) Wages - Ops FT		1,223.04	100,395.89
6020 (O) Wages - Ops PT	06/04/2025	Journal Entry	00746		HOLIDAY	6020 (O) Wages - Ops PT		159.22	100,555.11
6020 (O) Wages - Ops PT	06/04/2025	Journal Entry	00746		Regular Earnings	6020 (O) Wages - Ops PT		6,455.67	107,010.78
6040 (O) Housing Stipend	06/04/2025	Journal Entry	00746		Housing1	6040 (O) Housing Stipend		300.00	107,310.78
6040 (O) Housing Stipend	06/04/2025	Journal Entry	00746		Housing2	6040 (O) Housing Stipend		600.00	107,910.78
6040 (O) Housing Stipend	06/04/2025	Journal Entry	00746		Housing3	6040 (O) Housing Stipend		2,000.00	109,910.78
6060 (O) Unscheduled Overtime	06/04/2025	Journal Entry	00746		OVERTIME UNSCH	6060 (O) Unscheduled Overtime		929.04	110,839.82
6130 (O) Medicare Tax	06/04/2025	Journal Entry	00746		Employer Medicare Tax	6130 (O) Medicare Tax		1,053.35	111,893.17
6140 (O) Social Security Tax	06/04/2025	Journal Entry	00746		Employer Social Security Tax	6140 (O) Social Security Tax		422.52	112,315.69
6150 (O) FPPA Pension - ER	06/04/2025	Journal Entry	00746		ER AD&D CORRECT	6150 (O) FPPA Pension - ER		1,329.50	113,645.19
6150 (O) FPPA Pension - ER	06/04/2025	Journal Entry	00746		ER PENSION CONT	6150 (O) FPPA Pension - ER		7,837.47	121,482.66
6160 (O) FAMILI Premium - ER	06/04/2025	Journal Entry	00746		CO FAMILI - ER	6160 (O) FAMILI Premium - ER		326.90	121,809.56
5341 QB Credit Card/ACH Fees	06/09/2025	Deposit			INTUIT PYMT SOLN, Bank Ref: 0269676896, Customer Ref: 524771997516858	5340 (A) Bank Charges:5341 QB Credit Card/ACH Fees	BOTW Money Market	-41.20	121,768.36
5780 (A) Treasurer's Fee - GF	06/10/2025	Journal Entry	00748			5780 (A) Treasurer's Fee - GF		11,273.74	133,042.10
6420 (O) Education & Training	06/12/2025	Deposit			Funds for Zeb Bernholtz EMT Class - Gunnison Valley Health Foundation	6420 (O) Education & Training	BOTW Money Market	-1,500.00	131,542.10
9010 Transfer to Capital Fund	06/13/2025	Journal Entry	00750		TRANSFER TO BOND FUND CHECKING ACCOUNT ALLOCATED IN 2025 BUDGET	9010 Transfer to Capital Fund		500,000.00	631,542.10
6160 (O) FAMILI Premium - ER	06/17/2025	Journal Entry	00751		CO FAMILI - ER	6160 (O) FAMILI Premium - ER		323.78	631,865.88
6150 (O) FPPA Pension - ER	06/17/2025	Journal Entry	00751		ER PENSION CONT	6150 (O) FPPA Pension - ER		7,696.44	639,562.32
6150 (O) FPPA Pension - ER	06/17/2025	Journal Entry	00751		ER AD&D CORRECT	6150 (O) FPPA Pension - ER		1,290.16	640,852.48
6140 (O) Social Security Tax	06/17/2025	Journal Entry	00751		Employer Social Security Tax	6140 (O) Social Security Tax		390.06	641,242.54
6130 (O) Medicare Tax	06/17/2025	Journal Entry	00751		Employer Medicare Tax	6130 (O) Medicare Tax		1,043.29	642,285.83
6080 (O) Special Event Pay	06/17/2025	Journal Entry	00751		SPCLEVENT REG	6080 (O) Special Event Pay		485.79	642,771.62
6060 (O) Unscheduled Overtime	06/17/2025	Journal Entry	00751		OVERTIME UNSCH	6060 (O) Unscheduled Overtime		1,990.70	644,762.32
6040 (O) Housing Stipend	06/17/2025	Journal Entry	00751		Housing3	6040 (O) Housing Stipend		2,000.00	646,762.32
6040 (O) Housing Stipend	06/17/2025	Journal Entry	00751		Housing2	6040 (O) Housing Stipend		600.00	647,362.32
6040 (O) Housing Stipend	06/17/2025	Journal Entry	00751		Housing1	6040 (O) Housing Stipend		300.00	647,662.32
6020 (O) Wages - Ops PT	06/17/2025	Journal Entry	00751		Regular Earnings	6020 (O) Wages - Ops PT		6,091.18	653,753.50
6010 (O) Wages - Ops FT	06/17/2025	Journal Entry	00751		VACATION	6010 (O) Wages - Ops FT		1,468.56	655,222.06
6010 (O) Wages - Ops FT	06/17/2025	Journal Entry	00751		SICK	6010 (O) Wages - Ops FT		1,578.25	656,800.31
6010 (O) Wages - Ops FT	06/17/2025	Journal Entry	00751		Regular Earnings	6010 (O) Wages - Ops FT		62,748.54	719,548.85
6010 (O) Wages - Ops FT	06/17/2025	Journal Entry	00751		Overtime Earnings	6010 (O) Wages - Ops FT		5,049.45	724,598.30
5200 (A) Health Benefits	06/17/2025	Journal Entry	00751		Voluntary Life Contribution	5200 (A) Health Benefits		-60.57	724,537.73
5160 (A) FAMILI Premium - ER	06/17/2025	Journal Entry	00751		CO FAMILI - ER	5160 (A) FAMILI Premium - ER		94.93	724,632.66
5150 (A) FPPA Pension - ER	06/17/2025	Journal Entry	00751		ER PENSION CONT	5150 (A) FPPA Pension - ER		1,843.56	726,476.22
5150 (A) FPPA Pension - ER	06/17/2025	Journal Entry	00751		ER AD&D CORRECT	5150 (A) FPPA Pension - ER		242.45	726,718.67
5140 (A) Social Security Tax	06/17/2025	Journal Entry	00751		Employer Social Security Tax	5140 (A) Social Security Tax		322.21	727,040.88
5130 (A) Medicare Tax	06/17/2025	Journal Entry	00751		Employer Medicare Tax	5130 (A) Medicare Tax		305.89	727,346.77
5040 (A) Housing Stipend	06/17/2025	Journal Entry	00751		Housing3	5040 (A) Housing Stipend		1,000.00	728,346.77
5040 (A) Housing Stipend	06/17/2025	Journal Entry	00751		Housing2	5040 (A) Housing Stipend		150.00	728,496.77
5020 (A) Wages - Fire Prevention	06/17/2025	Journal Entry	00751		Fire Prevention	5020 (A) Wages - Fire Prevention		13,570.64	742,067.41
5010 (A) Wages - Administration	06/17/2025	Journal Entry	00751		Regular Earnings	5010 (A) Wages - Administration		8,716.13	750,783.54
5010 (A) Wages - Administration	06/18/2025	Journal Entry	00752			5010 (A) Wages - Administration			750,783.54

Transaction Report
 Crested Butte Fire Protection District
 June 2025

DISTRIBUTION ACCOUNT	TRANSACTION DATE	TRANSACTION TYPE	NUM	NAME	LINE DESCRIPTION	ACCOUNT FULL NAME	ITEM SPLIT ACCOUNT	AMOUNT	BALANCE
5030 (A) Part-Time / Temp Salaries	06/18/2025	Journal Entry	00752			5030 (A) Part-Time / Temp Salaries			750,783.54
5050 (A) Overtime	06/18/2025	Journal Entry	00752			5050 (A) Overtime			750,783.54
5130 (A) Medicare Tax	06/18/2025	Journal Entry	00752			5130 (A) Medicare Tax			750,783.54
5140 (A) Social Security Tax	06/18/2025	Journal Entry	00752			5140 (A) Social Security Tax			750,783.54
5150 (A) FPPA Pension - ER	06/18/2025	Journal Entry	00752			5150 (A) FPPA Pension - ER			750,783.54
6010 (O) Wages - Ops FT	06/18/2025	Journal Entry	00752			6010 (O) Wages - Ops FT			750,783.54
6020 (O) Wages - Ops PT	06/18/2025	Journal Entry	00752			6020 (O) Wages - Ops PT			750,783.54
6030 (O) On-Call Pay	06/18/2025	Journal Entry	00752			6030 (O) On-Call Pay			750,783.54
6060 (O) Unscheduled Overtime	06/18/2025	Journal Entry	00752			6060 (O) Unscheduled Overtime			750,783.54
6070 (O) Training Pay	06/18/2025	Journal Entry	00752			6070 (O) Training Pay			750,783.54
6080 (O) Special Event Pay	06/18/2025	Journal Entry	00752			6080 (O) Special Event Pay			750,783.54
6130 (O) Medicare Tax	06/18/2025	Journal Entry	00752			6130 (O) Medicare Tax			750,783.54
6140 (O) Social Security Tax	06/18/2025	Journal Entry	00752			6140 (O) Social Security Tax			750,783.54
6150 (O) FPPA Pension - ER	06/18/2025	Journal Entry	00752			6150 (O) FPPA Pension - ER			750,783.54
6800 (O) Uniforms	06/18/2025	Check	37206	Mark Voegeli	Uniform Reimbursement	6800 (O) Uniforms	Operating Checking	73.70	750,857.24
6440 (E) EMS Supplies	06/25/2025	Deposit		RMBL	reimbursement for Epi Pens	6440 (E) EMS Supplies	BOTW Money Market	-810.00	750,047.24
6800 (O) Uniforms	06/30/2025	Check	37211	Clare Charsley-Groffman	Uniform Reimbursment	6800 (O) Uniforms	Operating Checking	63.67	750,110.91
Total for --								\$750,110.91	
TOTAL								\$750,110.91	

Profit and Loss

Crested Butte Fire Protection District

January 1-June 30, 2025

DISTRIBUTION ACCOUNT	TOTAL
Income	
4010 Property Tax - Capital Fund	1,317,329.88
4020 Specific Ownership Tax	35,752.25
4100.2 Interest Income (Capital)	422,268.00
4100.3 Interest Income (Bond)	11,058.18
Total for Income	\$1,786,408.31
Cost of Goods Sold	
Gross Profit	\$1,786,408.31
Expenses	
5200 Hard Costs	\$26,887.00
5201 Fire Station	5,361,463.50
5202 SAR Building	641,175.49
5204 Sitework	143,667.11
5205 Training Building	547,324.10
Total for 5200 Hard Costs	\$6,720,517.20
5300 Land	363,831.00
5400 Soft Costs	251,023.41
5780 Treasure's Fee - CF	39,532.96
5790.3 Bank Charges (Bond)	79.16
5795 Bond Int	501,850.00
Total for Expenses	\$7,876,833.73
Net Operating Income	-\$6,090,425.42
Other Income	
8000 Transfer from CBFPD	700,000.00
Total for Other Income	\$700,000.00
Other Expenses	
Net Other Income	\$700,000.00
Net Income	-\$5,390,425.42

Balance Sheet

Crested Butte Fire Protection District

As of June 30, 2025

DISTRIBUTION ACCOUNT	TOTAL
Assets	
Current Assets	
Bank Accounts	
1000.3 Clearing Account	
1000 Checking	449,181.91
1010 Money Market	140,355.35
1020 COLOTrust Arbitrage Rebate	1,243,219.00
1050 CSIP Investment Account - Bond Payment	1,015,627.32
1051 Colotrust Account- Multi-Year Land Purchase	1,474,324.02
1100 CSIP Investment Account - Proceeds	12,600,000.00
Total for Bank Accounts	\$16,922,707.60
Accounts Receivable	
1211 Mill Levy Property Tax Receivable	-1,317,329.88
Total for Accounts Receivable	-\$1,317,329.88
Other Current Assets	
1260 Capital Accrued Interest- CSIP	
1520 Bond Cash with County Treasurer	
2010 Due to CBFDP Operating Account	
Total for Other Current Assets	0
Total for Current Assets	\$15,605,377.72
Fixed Assets	
Other Assets	
Total for Assets	\$15,605,377.72
Liabilities and Equity	
Liabilities	
Current Liabilities	
Accounts Payable	
2005 Accounts Payable- AUDIT	
2006 Retainage Payable	11,582.48
Total for Accounts Payable	\$11,582.48
Credit Cards	
Other Current Liabilities	
Total for Current Liabilities	\$11,582.48
Long-term Liabilities	
2210 Deferred Property Tax	-1,317,329.88
Total for Long-term Liabilities	-\$1,317,329.88
Total for Liabilities	-\$1,305,747.40
Equity	
Retained Earnings	-7,089,230.63
Net Income	-5,390,425.42
3100 Restricted for Capital Projects	27,569,843.67
3150 Restricted Spann Note Payable	1,820,937.50
Total for Equity	\$16,911,125.12
Total for Liabilities and Equity	\$15,605,377.72

Transaction Report
Crested Butte Fire Protection District
 January 1-June 30, 2025

DISTRIBUTION ACCOUNT	TRANSACTION DATE	TRANSACTION TYPE	NUM	NAME	LINE DESCRIPTION	ACCOUNT FULL NAME	ITEM SPLIT ACCOUNT	AMOUNT	BALANCE
5790.3 Bank Charges (Bond)	01/22/2025	Expense		BMO	ACCOUNT ANALYSIS FEE ACCT ANALYSIS SERV CHG	5790.3 Bank Charges (Bond)	Checking	49.16	49.16
5780 Treasure's Fee - CF	02/10/2025	Journal Entry	156			5780 Treasure's Fee - CF		2,006.77	2,055.93
5790.3 Bank Charges (Bond)	02/24/2025	Expense		BMO	ACCOUNT ANALYSIS FEE ACCT ANALYSIS SERV CHG	5790.3 Bank Charges (Bond)	Checking	11.63	2,067.56
5780 Treasure's Fee - CF	03/10/2025	Journal Entry	162			5780 Treasure's Fee - CF		16,746.34	18,813.90
5790.3 Bank Charges (Bond)	03/14/2025	Deposit			MISCELLANEOUS FEE REFUND SERVICE CHARGE REFUND	5790.3 Bank Charges (Bond)	Checking	-11.63	18,802.27
5780 Treasure's Fee - CF	04/10/2025	Journal Entry	165			5780 Treasure's Fee - CF		4,650.47	23,452.74
5780 Treasure's Fee - CF	05/10/2025	Journal Entry	170			5780 Treasure's Fee - CF		12,980.69	36,433.43
5790.3 Bank Charges (Bond)	05/30/2025	Expense		BMO	Wire Fee- MISCELLANEOUS DEBIT SERVICE CHARGE	5790.3 Bank Charges (Bond)	Money Market	30.00	36,463.43
5780 Treasure's Fee - CF	06/10/2025	Journal Entry	175			5780 Treasure's Fee - CF		3,148.69	39,612.12
Total for --								\$39,612.12	
TOTAL								\$39,612.12	

Expenses by Vendor Summary

Crested Butte Fire Protection District

January 1-June 30, 2025

VENDOR	TOTAL
Blythe Group + co	39,612.12
BOK Financial	55,850.45
Bowman Consulting Group, Ltd	501,850.00
BRYX, Inc.	6,791.50
Cesare, Inc.	62,285.00
CMT Technical Services	7,423.20
Colorado Department of Labor and Employment	6,528.00
Dell Technologies	200.00
FCI Constructors, Inc.	26,023.88
Fire Facilities, Inc.	5,993,019.24
Goulding Development Advisors	547,324.10
Gunnison County Electric Association	52,267.89
HeatTrak	90,169.00
Lumen	18,892.00
ProSpace	1,685.04
Thurston Kitchen and Bath	72,109.86
Timothy White Studio, Inc.	26,887.00
Virgil & Lee Spann Ranches, Inc	4,084.45
TOTAL	363,831.00
	\$7,876,833.73

CBFPD NEW STATION	Board Approved FGMP Budget 4/9/24	Budget Revisions	Current Budget	Previously Billed to date	Draw No 49 June 2025	Cost to Date	Percent Complete	Cost to Complete	NOTES
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SOFT COSTS

12	Water/Sewer Fees	\$250,000	\$15,000	\$265,000	\$256,449	\$256,449	97%	\$8,551	Sewer Tap, Legal Water, FCI carries water
13	Gas Fees	\$50,000		\$50,000	\$38,918	\$38,918	78%	\$11,082	Atmos (pipe, boring, trench/backfill)
14	Electric Fees	\$150,000		\$150,000	\$90,169	\$90,169	60%	\$59,831	new 3-phase, 1-phase loop
15	Comcast/CenturyLink Connection Fees	\$15,000	\$70,000	\$85,000	\$1,985	\$2,266	3%	\$82,734	Visionary/Spectrum
16	ROW & CDOT fees	\$20,000		\$20,000	\$0	\$0	0%	\$20,000	CDOT
17	Bldg Permits & Fire Impact Fee	\$200,000	(\$70,000)	\$130,000	\$72,593	\$72,593	56%	\$57,407	County
18	Traffic Study	\$13,000		\$13,000	\$12,920	\$12,920	99%	\$80	McDowell Eng
19	Soils/Geotechnical/Geothermal	\$40,000		\$40,000	\$37,836	\$37,836	95%	\$2,164	Cesare/Panterra
20	Surveying	\$5,000		\$5,000	\$0	\$0	0%	\$5,000	JVA
21	Planning/Entitlements	\$85,000		\$85,000	\$83,461	\$83,461	98%	\$1,539	BG/TCA
22	Design (Arch, Struct, MEP)	\$1,600,000	\$82,650	\$1,682,650	\$1,527,962	\$1,547,647	92%	\$135,003	BG/TCA
22a	Modular Study	\$0		\$0	\$0	\$0	#DIV/0!	\$0	N/A
23	Civil Engineering	\$0		\$0	\$0	\$0	0%	\$0	JVA
24	Wetlands Consultant	\$15,000		\$15,000	\$1,680	\$1,680	11%	\$13,320	Bio-Environ
25	3rd Party Insp/Material Testing	\$100,000		\$100,000	\$51,870	\$52,111	52%	\$47,889	CMT & Bowman
26	Commissioning	\$50,000		\$50,000	\$7,610	\$8,835	18%	\$41,165	Typ testing, blower door
27	Monument Signage	\$0		\$0	\$0	\$0	0%	\$0	By FCI
28	IT/Low Voltage	\$400,000	(\$107,582)	\$292,418	\$44,424	\$113,459	39%	\$178,959	Alerting, Access, control, cameras, cabling, etc
29	CMGC	\$20,000		\$20,000	\$20,000	\$20,000	100%	\$0	FCI
30	Project Mgmt	\$300,000		\$300,000	\$218,351	\$227,951	76%	\$72,049	GDA
31	Condo Map	\$25,000		\$25,000	\$0	\$0	0%	\$25,000	
32	Legal Costs	\$20,000		\$20,000	\$3,327	\$3,327	17%	\$16,673	
33	Financing Costs	\$0		\$0	\$0	\$0	0%	\$0	net of bond proceeds
34	Insurance/PP Bond	\$50,000		\$50,000	\$0	\$0	0%	\$50,000	1.20%
35	Reimbursables	\$92,900		\$92,900	\$13,882	\$14,574	16%	\$78,326	4%
36	Soft Cost Contingency	\$390,732	(\$97,650)	\$293,082	\$0	\$0	75%	\$293,082	9%
Subtotal Soft Costs		\$3,891,632	(\$107,582)	\$3,784,050	\$2,483,438	\$100,759.59	68%	\$1,199,853	

HARD COSTS

37	Hard Construction Fire/EMS	\$18,074,070	\$ 780,151.50	\$18,854,222	\$11,261,071	\$1,210,741.74	66%	\$6,382,409	4/5/24 FCI FGMP Estimate
38	Hard Construction SAR	\$3,787,246	\$ 115,402.00	\$3,902,648	\$1,879,817	\$154,807.83	52%	\$1,868,023	4/5/24 FCI FGMP Estimate
	Temp Construction Utilities	\$55,000		\$55,000	\$1,833	\$1,833	3%	\$53,167	Elec/Water (temp gas by FCI)
39	SAR Climbing Wall	\$0		\$0	\$0	\$0	0%	\$0	Not Included
40	Training Building & Props	\$0	\$ 750,000.00	\$750,000	\$80,618	\$466,706.00	73%	\$202,676	Fire Facilities 1/6/25
40	Training Building - Site, Fdn & Utilities	\$0	\$ 475,000.00	\$475,000	\$49,988	\$49,988	11%	\$425,012	FCI estimate 1/14/25
40	Sitework	\$3,100,355	\$ 306,625.00	\$3,406,980	\$1,406,021	\$32,473.55	42%	\$1,968,486	4/5/24 FCI FGMP Estimate
	Accepted Value Engineering	(\$1,513,984)		(\$1,513,984)	\$0	\$0	0%	(\$1,513,984)	4/5/24 FCI FGMP Estimate
41	Housing	\$1,200,000		\$1,200,000	\$0	\$0	0%	\$1,200,000	Placeholder
42	Fitness Equipment	\$75,000		\$75,000	\$0	\$0	0%	\$75,000	By Owner
43	Electrical Car Charging Stations	\$25,000		\$25,000	\$0	\$0	0%	\$25,000	Placeholder
44	FF&E	\$300,000		\$300,000	\$87,069	\$87,069	29%	\$212,931	TBD
45	Window Coverings	\$35,000		\$35,000	\$0	\$0	0%	\$35,000	By Owner
46	OSE/Kitchen Appliances	\$125,000	\$51,076	\$176,076	\$51,076	\$18,892.00	40%	\$106,108	Operating Supplies & Equipment
47	Hard Contingency	\$2,753,633	(\$2,370,673)	\$382,960	\$0	\$0	14%	\$382,960	10.9%
Subtotal Hard Costs		\$28,016,320	\$107,582	\$28,123,902	\$14,817,494	\$1,883,621.12	59%	\$11,422,787	

Total Soft & Hard Costs		\$31,907,952	\$0	\$31,907,952	\$17,300,932	\$1,984,380.71	60%	\$12,622,640	Does not include Spann Land Costs
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Customer Service
PO Box 11813
Harrisburg, PA 17108-1813

ACCOUNT STATEMENT

Crested Butte Fire Protection District

For the Month Ending
June 30, 2025

Client Management Team

Stefani VonHoltum-Niesent

Director
950 17th Street
Denver, CO 80202
720-990-3408

Contents

- Cover/Disclosures
- Summary Statement
- Individual Accounts

Accounts included in Statement

2210106001	Crested Butte Fire Protection District
2210106002	Operating Account Fund
2210106003	Bond Payment Fund

Important Messages

CSIP will be closed on 07/04/2025 for Independence Day.

CRESTED BUTTE FIRE PROTECTION DISTRICT
SEAN CAFFREY
P.O. BOX 1009
CRESTED BUTTE, CO 81224

Online Access www.csipinvest.com

Customer Service 1-855-274-7468



Consolidated Summary Statement

Account Statement
For the Month Ending **June 30, 2025**

Crested Butte Fire Protection District

Portfolio Summary			
Portfolio Holdings	Cash Dividends and Income	Closing Market Value	Current Yield
CSIP LGIP	17,533.93	4,473,910.62	4.37 %
CSIP TERM	57,157.26	10,000,000.00	* N/A
Total	\$74,691.19	\$14,473,910.62	

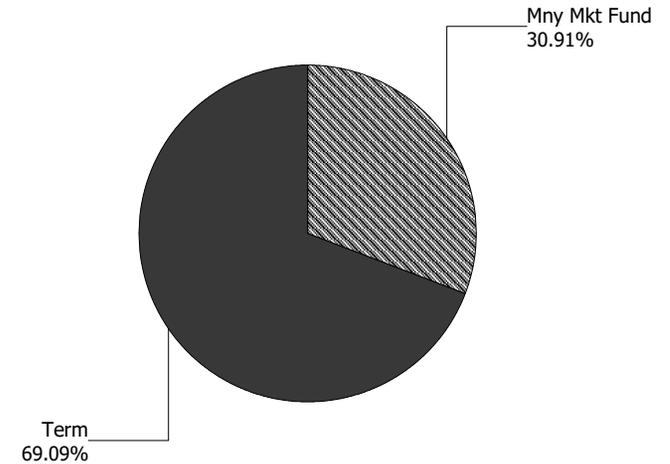
** Not Applicable*

Investment Allocation		
Investment Type	Closing Market Value	Percent
Money Market Mutual Fund	4,473,910.62	30.91
Term Investment	10,000,000.00	69.09
Total	\$14,473,910.62	100.00%

Maturity Distribution (Fixed Income Holdings)

Portfolio Holdings	Closing Market Value	Percent
Under 30 days	7,473,910.62	51.63
31 to 60 days	3,000,000.00	20.73
61 to 90 days	3,000,000.00	20.73
91 to 180 days	1,000,000.00	6.91
181 days to 1 year	0.00	0.00
1 to 2 years	0.00	0.00
2 to 3 years	0.00	0.00
3 to 4 years	0.00	0.00
4 to 5 years	0.00	0.00
Over 5 years	0.00	0.00
Total	\$14,473,910.62	100.00%
Weighted Average Days to Maturity	33	

Sector Allocation





Consolidated Summary Statement

Account Statement
For the Month Ending **June 30, 2025**

Crested Butte Fire Protection District

Account Number	Account Name	Opening Market Value	Purchases / Deposits	Redemptions / Sales/ Maturities	Unsettled Trades	Change in Value	Closing Market Value	Cash Dividends and Income
2210106001	Crested Butte Fire Protection District	14,117,414.92	7,070,802.11	(8,517,414.92)	0.00	0.00	12,670,802.11	70,802.11
2210106002	Operating Account Fund	783,592.11	2,796.94	0.00	0.00	0.00	786,389.05	2,796.94
2210106003	Bond Payment Fund	915,627.32	1,101,092.14	(1,000,000.00)	0.00	0.00	1,016,719.46	1,092.14
Total		\$15,816,634.35	\$8,174,691.19	(\$9,517,414.92)	\$0.00	\$0.00	\$14,473,910.62	\$74,691.19



Account Statement - Transaction Summary

For the Month Ending **June 30, 2025**

Crested Butte Fire Protection District - Crested Butte Fire Protection District - 2210106001

CSIP LGIP	
Opening Market Value	4,117,414.92
Purchases	4,070,802.11
Redemptions	(4,517,414.92)
Unsettled Trades	0.00
Change in Value	0.00

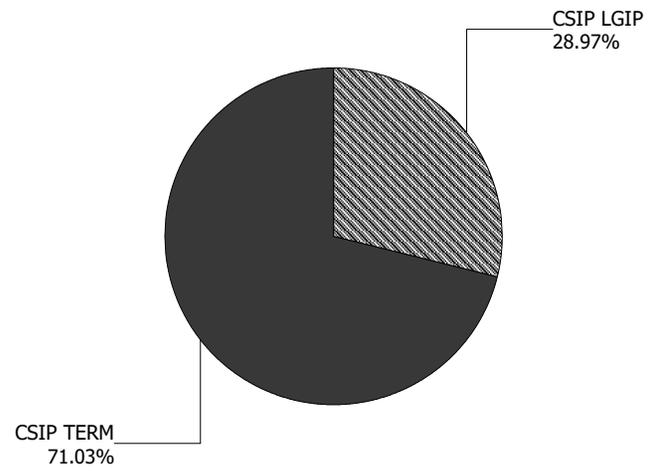
Closing Market Value	\$3,670,802.11
Cash Dividends and Income	13,644.85

CSIP TERM	
Opening Market Value	10,000,000.00
Purchases	3,000,000.00
Redemptions	(4,000,000.00)
Unsettled Trades	0.00
Change in Value	0.00

Closing Market Value	\$9,000,000.00
Cash Dividends and Income	57,157.26

Asset Summary		
	June 30, 2025	May 31, 2025
CSIP LGIP	3,670,802.11	4,117,414.92
CSIP TERM	9,000,000.00	10,000,000.00
Total	\$12,670,802.11	\$14,117,414.92

Asset Allocation





Investment Holdings

For the Month Ending **June 30, 2025**

Crested Butte Fire Protection District - Crested Butte Fire Protection District - 2210106001

Trade Date	Settlement Date	Security Description	Maturity Date	Rate	Investment Amount	Estimated Earnings	Est. Value at Maturity
CSIP TERM							
03/17/25	03/18/25	TERM - Colorado Statewide Investment Pool Term Dec 26	07/15/25	4.3400	3,000,000.00	37,454.80	3,042,448.77
04/10/25	04/11/25	TERM - Colorado Statewide Investment Pool Term Dec 26	08/05/25	4.3200	3,000,000.00	28,760.55	3,041,187.95
06/04/25	06/05/25	TERM - Colorado Statewide Investment Pool Term Dec 26	09/05/25	4.4100	3,000,000.00	9,424.11	3,033,346.85
Total					\$9,000,000.00	\$75,639.46	\$9,116,983.57



Account Statement

For the Month Ending **June 30, 2025**

Crested Butte Fire Protection District - Crested Butte Fire Protection District - 2210106001

Trade Date	Settlement Date	Transaction Description	Share or Unit Price	Dollar Amount of Transaction	Total Shares Owned
CSIP LGIP					
Opening Balance					4,117,414.92
06/05/25	06/05/25	Purchase - TERM Maturity	1.00	4,057,157.26	8,174,572.18
06/05/25	06/05/25	Redemption - TERM Investment	1.00	(3,000,000.00)	5,174,572.18
06/06/25	06/06/25	Redemption - ACH Redemption	1.00	(1,117,414.92)	4,057,157.26
06/10/25	06/10/25	Redemption - ACH Redemption	1.00	(400,000.00)	3,657,157.26
06/30/25	07/01/25	Accrual Income Div Reinvestment - Distributions	1.00	13,644.85	3,670,802.11
Closing Balance					3,670,802.11

	Month of June	Fiscal YTD January-June	
Opening Balance	4,117,414.92	4,127,579.42	Closing Balance
Purchases	4,070,802.11	25,444,561.15	Average Monthly Balance
Redemptions (Excl. Checks)	(4,517,414.92)	(25,901,338.46)	Monthly Distribution Yield
Check Disbursements	0.00	0.00	4.34%
Closing Balance	3,670,802.11	3,670,802.11	
Cash Dividends and Income	13,644.85	62,320.07	

Trade Date	Settlement Date	Transaction Description	Maturity Date	Stated Yield	Dollar Amount of Transaction
CSIP TERM					
06/04/25	06/05/25	Purchase - TERM Investment	09/05/25	4.4100	3,000,000.00
06/05/25	06/05/25	Redemption - TERM Maturity			(4,057,157.26)



Account Statement - Transaction Summary

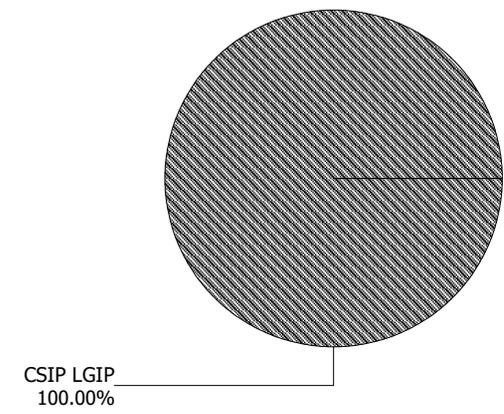
For the Month Ending **June 30, 2025**

Crested Butte Fire Protection District - Operating Account Fund - 2210106002

CSIP LGIP	
Opening Market Value	783,592.11
Purchases	2,796.94
Redemptions	0.00
Unsettled Trades	0.00
Change in Value	0.00
Closing Market Value	\$786,389.05
Cash Dividends and Income	2,796.94

Asset Summary		
	June 30, 2025	May 31, 2025
CSIP LGIP	786,389.05	783,592.11
Total	\$786,389.05	\$783,592.11

Asset Allocation	
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Account Statement

For the Month Ending **June 30, 2025**

Crested Butte Fire Protection District - Operating Account Fund - 2210106002

Trade Date	Settlement Date	Transaction Description	Share or Unit Price	Dollar Amount of Transaction	Total Shares Owned
CSIP LGIP					
Opening Balance					783,592.11
06/30/25	07/01/25	Accrual Income Div Reinvestment - Distributions	1.00	2,796.94	786,389.05
Closing Balance					786,389.05

	Month of June	Fiscal YTD January-June
Opening Balance	783,592.11	769,375.15
Purchases	2,796.94	17,013.90
Redemptions (Excl. Checks)	0.00	0.00
Check Disbursements	0.00	0.00
Closing Balance	786,389.05	786,389.05
Cash Dividends and Income	2,796.94	17,013.90

Closing Balance	786,389.05
Average Monthly Balance	783,685.34
Monthly Distribution Yield	4.34%



Account Statement - Transaction Summary

For the Month Ending **June 30, 2025**

Crested Butte Fire Protection District - Bond Payment Fund - 2210106003

CSIP LGIP	
Opening Market Value	915,627.32
Purchases	101,092.14
Redemptions	(1,000,000.00)
Unsettled Trades	0.00
Change in Value	0.00

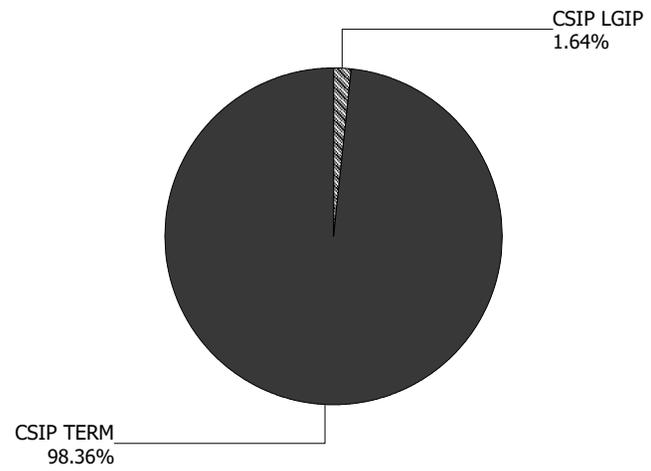
Closing Market Value	\$16,719.46
Cash Dividends and Income	1,092.14

CSIP TERM	
Opening Market Value	0.00
Purchases	1,000,000.00
Redemptions	0.00
Unsettled Trades	0.00
Change in Value	0.00

Closing Market Value	\$1,000,000.00
Cash Dividends and Income	0.00

Asset Summary		
	June 30, 2025	May 31, 2025
CSIP LGIP	16,719.46	915,627.32
CSIP TERM	1,000,000.00	0.00
Total	\$1,016,719.46	\$915,627.32

Asset Allocation





Investment Holdings

For the Month Ending **June 30, 2025**

Crested Butte Fire Protection District - Bond Payment Fund - 2210106003

Trade Date	Settlement Date	Security Description	Maturity Date	Rate	Investment Amount	Estimated Earnings	Est. Value at Maturity
CSIP TERM							
06/09/25	06/10/25	TERM - Colorado Statewide Investment Pool Term Dec 26	11/06/25	4.4200	1,000,000.00	2,543.01	1,018,043.29
Total					\$1,000,000.00	\$2,543.01	\$1,018,043.29



Account Statement

For the Month Ending **June 30, 2025**

Crested Butte Fire Protection District - Bond Payment Fund - 2210106003

Trade Date	Settlement Date	Transaction Description	Share or Unit Price	Dollar Amount of Transaction	Total Shares Owned
CSIP LGIP					
Opening Balance					915,627.32
06/04/25	06/04/25	Purchase - ACH Purchase	1.00	100,000.00	1,015,627.32
06/10/25	06/10/25	Redemption - TERM Investment	1.00	(1,000,000.00)	15,627.32
06/30/25	07/01/25	Accrual Income Div Reinvestment - Distributions	1.00	1,092.14	16,719.46

Closing Balance **16,719.46**

	Month of June	Fiscal YTD January-June		
Opening Balance	915,627.32	304,593.68	Closing Balance	16,719.46
Purchases	101,092.14	712,125.78	Average Monthly Balance	305,663.72
Redemptions (Excl. Checks)	(1,000,000.00)	(1,000,000.00)	Monthly Distribution Yield	4.34%
Check Disbursements	0.00	0.00		
Closing Balance	16,719.46	16,719.46		
Cash Dividends and Income	1,092.14	12,125.78		

Trade Date	Settlement Date	Transaction Description	Maturity Date	Stated Yield	Dollar Amount of Transaction
CSIP TERM					
06/09/25	06/10/25	Purchase - TERM Investment	11/06/25	4.4200	1,000,000.00



2025 June EMS & Fire Chief Board Report

June has been a busy and productive month. The transition into early summer and the onset of favorable weather likely contributed to the increased call volume we experienced. Our crews responded as first-in units for several incidents involving patients in the backcountry and more remote areas of our district. Their preparedness and professionalism continue to reflect our commitment to the mission and to serving our community.

We are grateful for the ongoing collaboration with our Search and Rescue (SAR) partners, who have been excellent teammates during these missions. Their support is greatly appreciated.

The mountain lifts are spinning once again, signaling the reopening of the mountain clinic. We've focused on improving efficiency at the clinic through joint training sessions, which have been a valuable opportunity for shared learning and coordination.

This month, we also completed our SiteMed NFPA 1582 physicals. We were very pleased with the process. The SiteMed team demonstrated professionalism and flexibility, ensuring a smooth and efficient experience. We look forward to working with them again in 2027.

Community engagement remains a priority for our crews. We've hosted numerous station tours for various groups, conducted CPR and First Aid courses for youth, and performed low-hazard company-level inspections across the district.

In our ongoing efforts to strengthen our leadership, we invited two candidates for the Training Officer position to visit with all shifts. Both individuals bring extensive knowledge and experience, and we appreciated the opportunity to introduce them to our operations. The input from our crews was highly valuable in the decision-making process. Based on interview scores and staff feedback, we are pleased to announce that a conditional offer of employment has been extended.

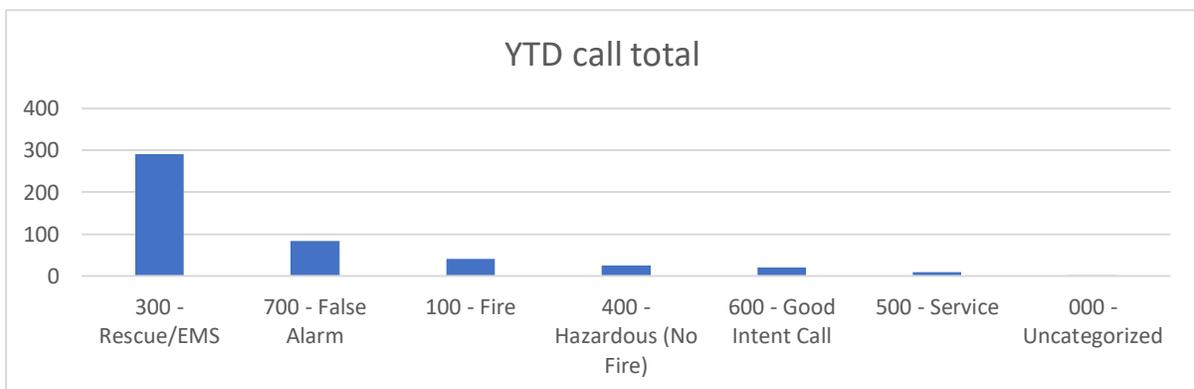
Lastly, a sincere thank-you to everyone who contributed to the success of our (possibly final) Pancake Breakfast. Your efforts—before, during, and after the event—played a crucial role in making it a meaningful and memorable community tradition, even in the face of inclement weather.

Committee Updates:

Crews have been working hard on standardizing the use of Ladder 1 and how to provide water to the aerial during operations. The crews identified some gaps and have made recommendations to improve our method. I'm thankful for their initiative in managing that project.

Operational Highlights:

1. We answered 78 calls for service (44% increase over 2024)
 - a. Total volume YTD through Q2 - 471
2. Assist Gunnison fire on the Illinois creek fire by providing a Type VI and tender truck for the first operational period. Additionally, we sent the Type VI out the follow day to assist with mop up
3. Multiple SAR missions where CBFPD made first contact and treatment
4. Small local wildfire incident, quickly managed during a red flag day
5. Response times and chute times remain on par
6. Company level inspections continue to be an ongoing process, and we are working closely with fire prevention to ensure completion of assigned tasks



Personnel/Volunteer Update:

1. Activity status of volunteers continues to be mixed with some participation while others are not actively involved to the minimum expectations.

Training, Professional Development, and Recognitions:

Congratulations to the following for achieving new certifications:

Mark Voegeli – Hazmat

Evan Sandstrom – Driver Operator

To assist our new members and the shift, the FTO's created a monthly schedule for EMS topics to be completed. This month focused on airway management, mass casualty incidents, trauma and blood product protocols. Fire training focused continued engineer and aerial truck pumping, fire attack, forcible entry, and wildland drafting.

Vehicle and Equipment Updates including Grants:

1. No new updates this month

Maintenance (Chief Duke and John Zeikus)

1. Repair AC and new thermostat T1
2. Repair AC switch E2
3. Install seasonal AC units buildings
4. D/8 oil/service
5. Brush 1 Pump repair bad electrical relays
6. Multiple small engine repairs.
7. Order 6 new windows for fire station #3

Custom ▾ Jan 1, 2025 - Dec 31, 2025 ▾

02:10

MM:SS
Average Chute Time

13%

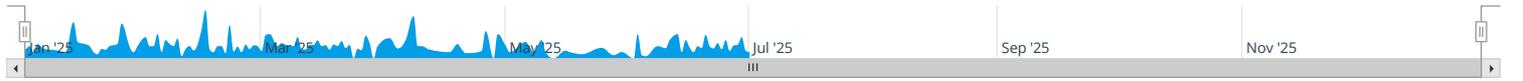
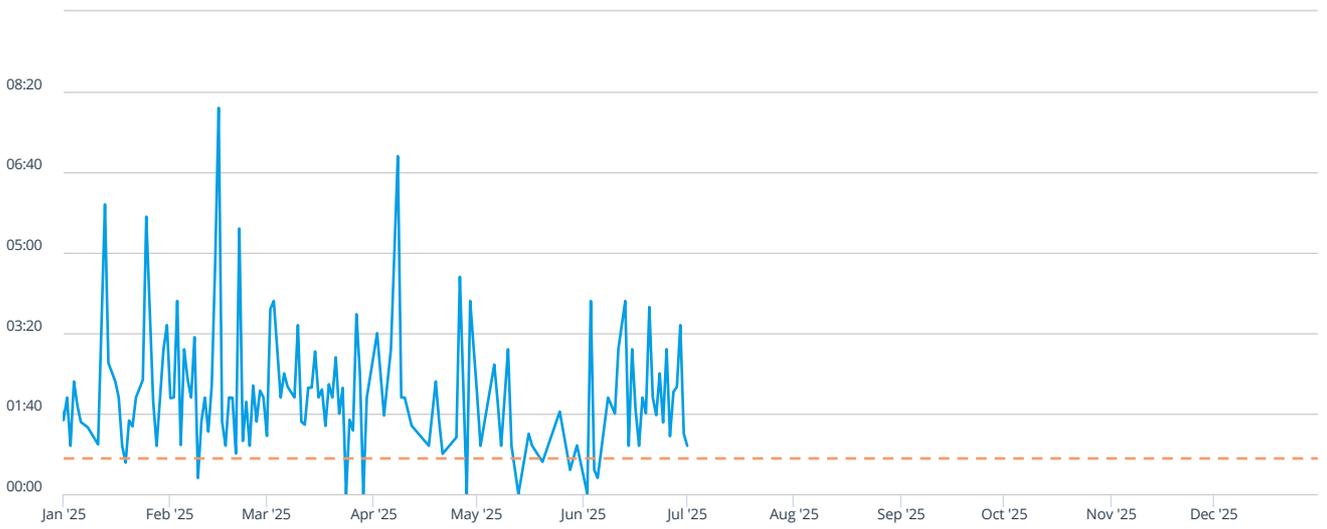
% of RESPONSES
Chute time < 00:45

365

DAYS
In Selected Time Slice

4,855

UNIT RESPONSES
In Selected Time Slice



Counts % Rows % Columns % All

	Jan '25	Feb '25	Mar '25	Apr '25	May '25	Jun '25	Jul '25	Aug '25	Sep '25	Oct '25	Nov '25	Dec '25	Jan '26	Total
00:00 - 00:29	5	9	9	3	4	8								38
00:30 - 00:59		3	1	2	3	1								10
01:00 - 01:29	12	22	16	4	7	13	1							75
01:30 - 01:59	3	3	6		1	5								18
02:00 - 02:59	17	25	24	9	3	13								91
03:00 - 04:59	11	8	9	5	2	7								42
04:00 - 04:59	2	4	8	2	1	4								21
05:00 - 09:59	1	4	4	2		1								12
Total	51	78	77	27	21	52	1							307
Exceptions														5

Custom ▾ Jan 1, 2025 - Dec 31, 2025 ▾

09:49

MM:SS
Average Response Time

16:03

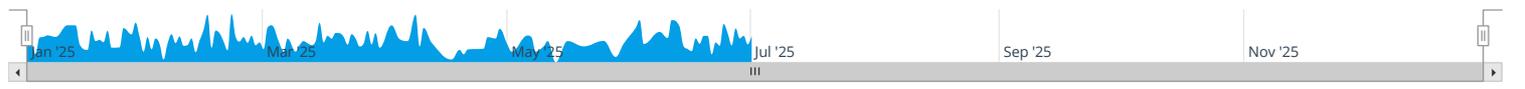
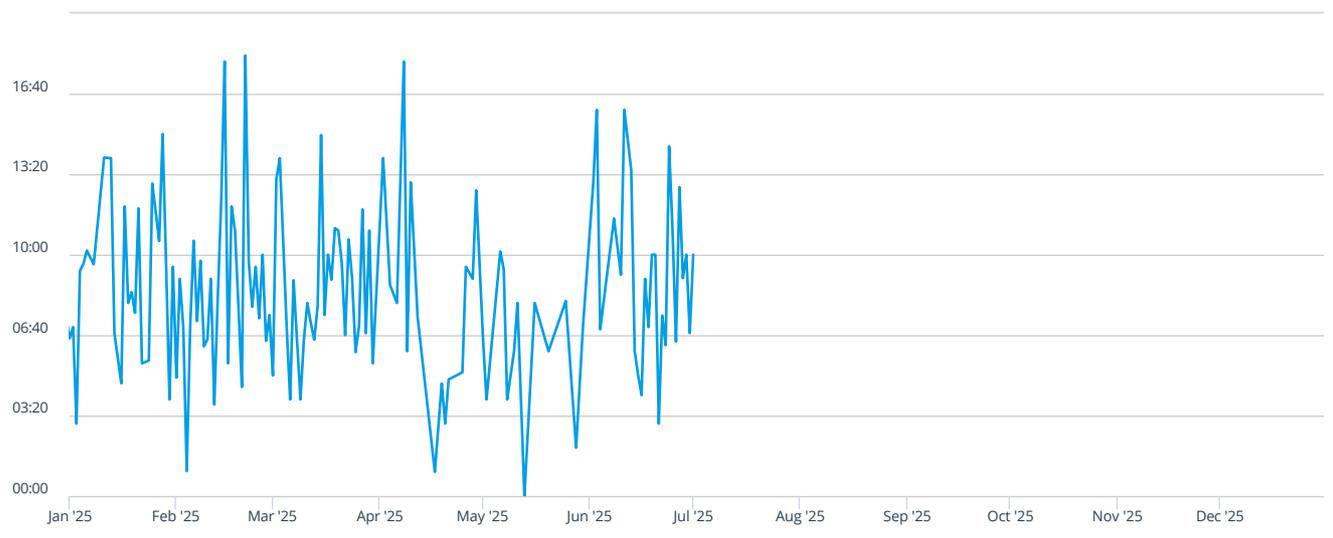
MM:SS
90th Percentile Response Time

365

DAYS
In Selected Time Slice

4,746

UNIT RESPONSES
In Selected Time Slice



- Counts**
- % Rows
- % Columns
- % All

	Jan '25	Feb '25	Mar '25	Apr '25	May '25	Jun '25	Jul '25	Aug '25	Sep '25	Oct '25	Nov '25	Dec '25	Jan '26	Total
00:00 - 04:59	7	16	15	6	5	9								58
05:00 - 07:59	13	22	17	7	7	10								76
08:00 - 08:59	8	7	6	3	2	2								28
09:00 - 09:59	4	10	7	4	1	6								32
10:00 - 11:59	8	15	11	1	4	13	1							53
12:00 - 14:59	7	5	13	1		4								30
15:00 - 16:59	2	1	4	1		4								12
17:00 - 17:59	1	1				2								4
18:00 - 19:59		1	1	2										4
20:00 - 29:59	2	1	1			1								5
30:00 - 59:59	1	2		1										4
Total	53	81	75	26	19	51	1							306
Exceptions														19

Custom ▾ Jan 1, 2025 - Dec 31, 2025 ▾

46%

FIRE
Percentage of Total Incidents

54%

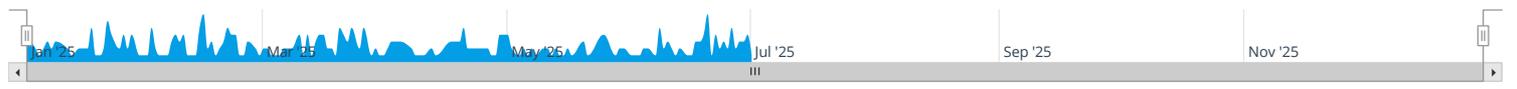
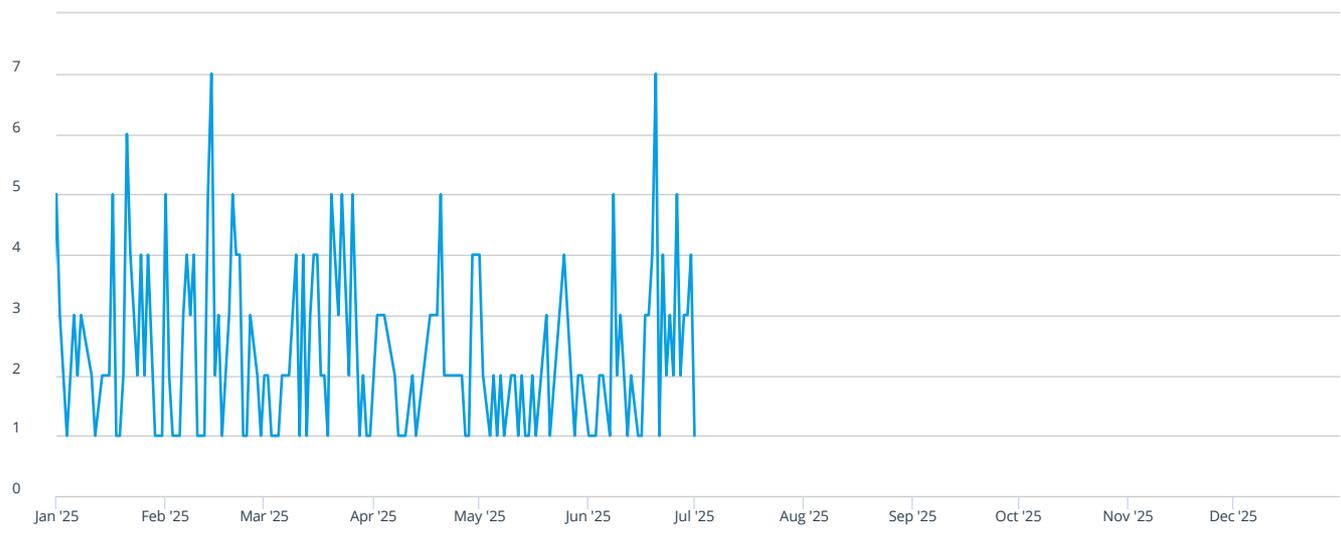
EMS
Percentage of Total Incidents

1,120

INCIDENTS
In Selected Time Slice

365

DAYS
In Selected Time Slice

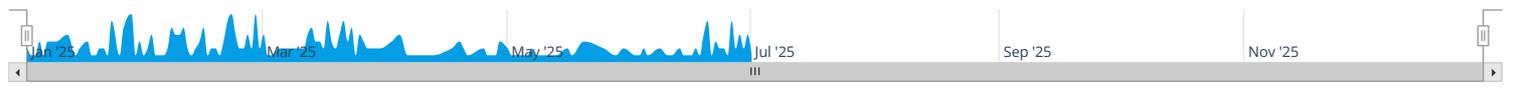
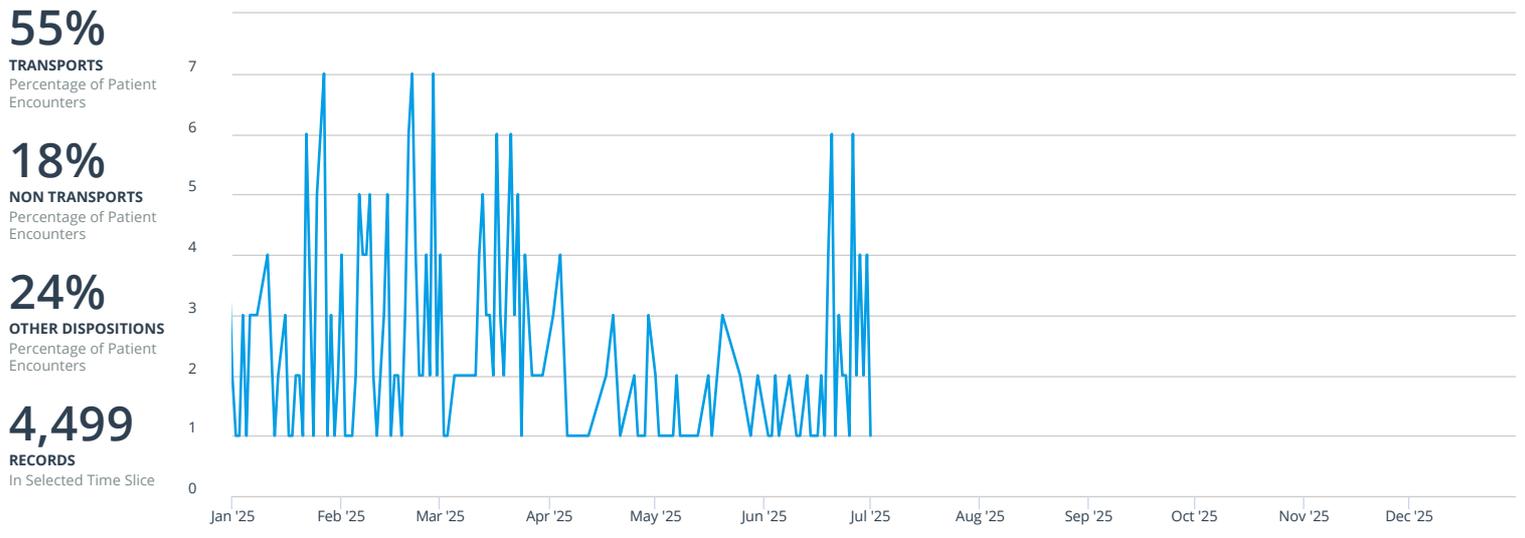


Counts | % Rows | % Columns | % All

	Jan '25	Feb '25	Mar '25	Apr '25	May '25	Jun '25	Jul '25	Aug '25	Sep '25	Oct '25	Nov '25	Dec '25	Jan '26	Total
(11) Structure Fire	1	1												2
(14) Natural vegetation fire				1		2								3
(15) Outside rubbish fire						2								2
(30) Rescue, emergency medical call (EMS), other	9	15	12	5	7	17								65
(31) Medical assist		8		2	1	4								15
(32) Emergency medical service (EMS) incident	19	16	24	12	8	16								95
(35) Extrication, rescue	1			1		1								3
(38) Rescue or EMS standby	1					1								2
(41) Combustible/f... spills & leaks	3		5	8	1	2								19
(42) Chemical release, reaction, or toxic condition	3	3												6
(44) Electrical wiring/equipm.. problem	1	2	1											4
(50) Service call, other	1		1		1	1								4
(52) Water problem		2	1											3
(53) Smoke, odor problem	1		1			1								3
(55) Public service assistance	2	2	2	1	1	2								10

	Jan '25	Feb '25	Mar '25	Apr '25	May '25	Jun '25	Jul '25	Aug '25	Sep '25	Oct '25	Nov '25	Dec '25	Jan '26	Total
(60) Good intent call, other			1		1									2
(61) Dispatched and canceled en route	4	8	2	4	2	6								26
(62) Wrong location, no emergency found						1								1
(65) Steam, other gas mistaken for smoke	1		1		1	1								4
(70) False alarm and false call, other	7	3	9	2	4	8								33
(71) Malicious, mischievous false alarm	1	2												3
(73) System or detector malfunction		2		2	2									6
(74) Unintentional system/detect... operation (no fire)	7	7	6	3	9	6	1							39
(90) Special type of incident, other			1											1
Total	62	71	67	41	38	71	1							351

Custom ▾ Jan 1, 2025 - Dec 31, 2025 ▾



Counts | % Rows | % Columns | % All

	Jan '25	Feb '25	Mar '25	Apr '25	May '25	Jun '25	Jul '25	Aug '25	Sep '25	Oct '25	Nov '25	Dec '25	Jan '26	Total
Assist, Public	1	2		5	1	2								11
Cancelled (No Patient Contact)	1		6	1	1	4								13
Cancelled (Prior to Arrival at Scene)	2	3	5	1	2	3								16
Cancelled on Scene/No Patient Found	1	1	1	2	1									6
Patient Evaluated, No Treatment/Tra.. Required	2	3	2	2	2	1								12
Patient Refused Evaluation/Ca... (Without Transport)	5	10	7	5	5	15								47
Patient Treated, Released (AMA)		1				1								2
Patient Treated, Released (per protocol)	2	4	1			1								8
Patient Treated, Transported by Private Vehicle		1												1
Transported Lights/Siren	4	6	5	1		1	1							18
Transported No Lights/Siren	34	49	51	10	9	25								178
NULL	5	5	2			1								13
Total	57	85	80	27	21	54	1							325



CRESTED BUTTE FIRE PROTECTION DISTRICT

306 MAROON AVENUE
P.O. BOX 1009
CRESTED BUTTE, CO 81224
(970) 349-5333 FAX: (970) 349-3420
WEBSITE: WWW.CBFPD.ORG

July 3rd, 2025

CBFPD Board of Directors (BOD)

RE: Fire Prevention Division work summary for June 2025

Dear Board of Directors,

The list below is some of the larger projects in the development and review stages:

Major Projects: (planning, fire requirements & pre application meetings) ON GOING

Mount Crested Butte
-Prospect II-on going
-North Village-on going
-17 Marcellina (Oros)
-Bear Crossing
-Nevada Ridge
-NEW Sunridge Estates
-Oros (on Marcellina)

Crested Butte
-Fire Campus
-Mineral Point
-CBCS-new additions
-Forest Queen
-Princess

County
-County Whetstone Housing
(256 units)
-Starview at Cement Creek (140) -
-Solar Farm on Hwy 135
-Lacy Ranch 400 acres-300 homes
(Lower Verzuh Ranch)

Approved Plan Reviews/Letters: completed in June-27

Mount Crested Butte:
3

Crested Butte:
6

County:
18

Inspections & Meetings: competed in June-45

Mount Crested Butte:
11

Crested Butte:
25

County:
9

Out of District

Company Level (OP's) Annual Life Safety Inspections: to be updated at the BOD meeting

- Total Assigned in June-15
- Fully Completed- 6 completed (passed)
- Re-inspections -2
- Inspected with failures-3 (due for re-inspection)

Fire Prevention Division summary:

1. Fire Prevention staff scheduled in July to meet with Aaron Johnson with Western Regional Wildfire Council and complete our on-site Home Assessment Training.
2. Gunnison County R&B is still making additional updates & revisions to their standards. Once we review them we can incorporate these changes into our upcoming code adoption.

3. Construction continues at the Whetstone Workforce housing project. Moss Construction will soon be connecting to the Riverland Industrial Park's water system for their temporary water supply. The County is in the process of applying with the State for their Fire Suppression underground permits.
5. This fall, we are still planning on sponsoring a wildfire defensible space community education program. This will include landscape engineers, the local reality associations, etc.
With all the cuts to State and Federal budgets, CBFPD may need to fund this program.
6. CBCS construction is progressing. FCI has a huge workload to complete by the 2nd week of August.
7. Our reflective addressing sign program is ongoing and being well received.

Updates & Enforcement issues:

1. The new fire alarm system has been installed, tested and completed at the Grand Lodge FP performed approximately 18 hours of fire alarm testing. The Grand Lodge still must complete has a building Life Safety corrections list in the next 60 days.

Action request to the Board of Directors:

-none at this time

CRESTED BUTTE FIRE PROTECTION DISTRICT
Chief Executive's Report

July 8, 2025

1. Consent Agenda

- a) June 10th Regular Meeting Minutes
- b) Monthly Financial Reports

2. Chief Executive's Comments:

It was amazing to once again see our team produce the 51st Annual Fourth of July Pancake Breakfast. The entire team of staff, volunteers, explorers and even a few retirees pulled together to produce an amazing community event. Special thanks once again to our ringleaders Tara Sweitzer and Katie Harper who were responsible for most of the planning work and overall supervision during the event. Despite some rain, we had a good turnout and a successful event. Following the breakfast, we had a strong presence in the parade and a safe and fun water fight. Finally, congratulations are also in order for Paramedic / Firefighter Jordan Iraola for completing his fireworks operator certification and for being the lead member of the Mt. Crested Butte fireworks team on July 3rd.

We also made some good progress on safety and wellness last month with the completion of our firefighter physicals in accordance with the NFPA 1580 standard. The vast majority of the regular staff completed these physicals as well as a good number of our active volunteers. Our contracted provider, SiteMed, sent a crew from Georgia that did a fine job. Overall, the process while expensive was efficient and effective. We did identify a few issues for improvement and look forward to offering future physicals on a 2-year cycle. Chief Weisbaum also deserves credit for working with our team on some exercise equipment updates to the current stations and for putting the order together for equipment for the new facility based on staff input.

On a programming note this month we will have a number of guests and may also have some press interest in our main presentation so we have adjusted the agenda slightly and will be minimizing the staff report and old business portions of the meeting. I also moved the public comment section to follow new business. We also have an executive session to further discuss contracting with Western Slope Towers at the end of the meeting that John Chmil will be available for.

For staff reports I expect a few routing updates from Fire Marshal Ems and Chief Weisbaum. Of note last month were the upgrades to the Grand Lodge fire alarm system and ongoing progress with the operational crews on company-level inspections. Operations staffing continues to look good throughout the month and we are negotiating a job offer with our preferred training officer candidate, Jay Bettencourt from North Carolina.

From the CEO report perspective, Annie and I had the opportunity to attend the American Ambulance Association (AAA) Annual Conference in Lexington, Kentucky in late June. In addition to the educational content, we were also able to spend time with fellow Coloradans from Loveland and Granby to compare notes. I am also pleased that the new online policy platform, Dynamic Policy, is now up and running and has been rolled out.

In old business this month Todd will be joining us online to discuss the current status of the emergency services campus project. The main area of concern as we move through the summer is schedule, particularly the drilling of a 3rd well location and the arrival of the equipment for the sewer lift station. Other areas of interest of late include flooring, lightning protection and final site design, particularly around the training building and detention pond. There are no new significant financial concerns this month and we are happy to report that we have come to a resolution on the excavation change order from last year.

CRESTED BUTTE FIRE PROTECTION DISTRICT
Chief Executive's Report

The other two old business are placeholders for items we are continuing to work on. Assistant Chief Duke has made some progress on the Larkspur housing project he will report on next month, Additionally, I intend to continue the work on updates to our member housing agreements with John Chmil prior to our August meeting.

For new business this month we will be joined by a number of guests. First up will be some introductions to our partners at Emergency Management and the Gunnison Regional Communications Center. Lisa Bickford is our new Emergency Manager who replaces Scott Morrill after his recent retirement. Lisa previously served as Gunnison County's Deputy Emergency Manager in addition to experience in larger jurisdictions. Lisa will be assisted by Ryan White, the current Deputy emergency Manager who also serves as the leader of Western Search & Rescue in Gunnison. Also joining us for the meeting will be Jodie Chinn, the Executive Director of the Gunnison – Hinsdale Combined Emergency Telecommunications Authority (GHCETSA) which is the intergovernmental authority that operates the Gunnison Regional Communications Center. The CBFPD is one of 8 primary members of the GHCETSA. Both Lisa and Jodie will also have an interest in the Western Slope Towers presentation. I also invited CB South POA Manager Derek Harwell to join us for the presentation.

As a follow-up to our tower discussion last month and a as a precursor to the presentation this month, I was able to do some research on tower construction and ownership. A typical tower project in Colorado runs between \$600k – \$1 million based on the type of tower and the amount of construction required. Construction costs are heavily influenced by the accessibility of the site and the cost to provide utilities. Stealth towers alone have a price tag of \$200 - \$300k each before any site work and erection costs. Sites are also required to have a shed with suitable security and climate control. All that being said, once a site is operational, leases are usually long-term, however the payback period for capital costs can be a decade or more. Considering we only have an \$800k grant for radio equipment and infrastructure available, I don't see a path where we could commit more than \$100 – 200k for tower costs after the necessary equipment purchases. As such, it seemed prudent to continue to explore a joint venture, especially if a partnership could improve local public wireless service in addition to our radio coverage.

As noted, the main event for this month will be a telecommunications tower proposal for CB South. Western Slope Towers principals Scott and Chris Stryker will provide background about their company and projects. Following the background, WST will provide a tower proposal for the area immediately adjacent to Station 3 including the proposed footprint, height, design, anticipated zoning procedures and construction process. I also expect that they will provide photo renderings of the tower designs and discuss typical safety concerns. Once their presentation is concluded I look forward to a robust question and answer session followed by public comment.

Following the presentation we will move on to any unscheduled business then, if desired, move into an executive session with John to further discuss a potential agreement with WST.

3. Action Items

- a) Approve consent agenda
- b) Introduction to Lisa Bickford and Jodie Chinn
- c) Western Slope Tower proposal Q&A and public comment
- d) Executive session

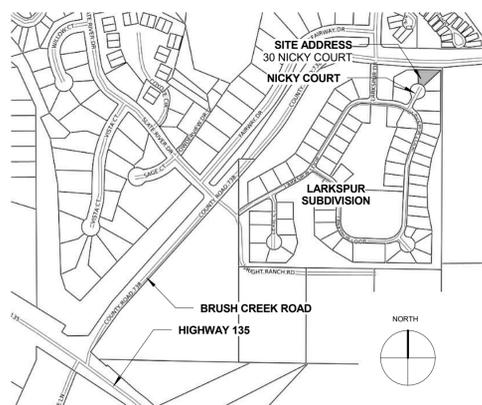
General Notes

- DO NOT SCALE DRAWINGS. DRAWINGS MAY NOT BE PRINTED TO SCALE. REPORT ANY DIMENSIONAL DISCREPANCIES TO THE ARCHITECT.
- ALL WORK SHALL COMPLY WITH THE 2021 INTERNATIONAL RESIDENTIAL CODE AS AMENDED BY GUNNISON COUNTY, LARKSPUR SUBDIVISION DESIGN GUIDELINES AND ANY OTHER APPLICABLE STATE AND LOCAL CODES AND REGULATIONS.
- SUB-SURFACE BEARING CONDITIONS ARE ASSUMED TO BE STABLE AND NON-EXPANSIVE. CONTACT ARCHITECT IF SUSPECT CONDITIONS ARE DISCOVERED DURING EXCAVATION.
- FIELD VERIFY EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION.
- DIMENSIONS ARE TO FACE OF STUD WALL, CEILING JOIST, STONE WALL, CONCRETE, TOP OF BEAM, OR CENTERLINE OF LOG OR TIMBER UNLESS NOTED OTHERWISE.
- "TYPICAL" (TYP) MEANS IDENTICAL FOR ALL SIMILAR LOCATIONS.
- "SIMILAR" (SIM) MEANS COMPARABLE CHARACTERISTICS FOR THE CONDITION NOTED. VERIFY DIMENSIONS AND ORIENTATION WITH DRAWINGS.
- "BASIS OF DESIGN" (BOD) MEANS A MANUFACTURERS PRODUCT IS NAMED TO ESTABLISH SIGNIFICANT QUALITIES FOR THE PURPOSE OF EVALUATING COMPARABLE PRODUCTS.
- REFERENCE ELEVATIONS AND BUILDING SECTIONS FOR ALL EXTERIOR WALL FINISHES.
- FINISH FLOOR ELEVATIONS ARE SHOWN AS AN ARCHITECTURAL DATUM. REFERENCE SITE PLAN FOR ACTUAL ELEVATION REFERENCE.
- ALL FIRE-RETARDANT-TREATED WOOD PRODUCTS SHALL BE LABELED WITH AN APPROVAL AGENCY MARK.
- ALL LEGAL EXITS SHALL FUNCTION FROM THE INTERIOR SPACE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
- COORDINATE ALL ELECTRICAL AND MECHANICAL WIRING, PIPING, DUCTS, ETC TO FIT WITHIN CEILINGS, WALLS, AND DEDICATED CHASES.
- COORDINATE ALL PLUMBING IN PROTECTED AREAS TO AVOID FREEZING OF PIPES AND TRAPS.
- INSTALL DOORS WITH JAMBS 6" FROM NEAREST WALL OR CENTERED IN OPENING UNLESS NOTED OTHERWISE.
- PROVIDE SOUND BATT INSULATION IN ALL OFFICE, RESTROOM, BATHROOM, AND SLEEPING ROOM WALLS UNLESS NOTED OTHERWISE.
- PROVIDE ALL NECESSARY BLOCKING IN STUD WALLS AND CEILINGS. LOCATIONS INCLUDE BUT ARE NOT LIMITED TO: HANDRAILS, TOILET ACCESSORIES, CEILING AND WALL MOUNTED ELECTRICAL FIXTURES, SHELVES, CABINETS AND CASEWORK, BUILT-INS, DRAPERY RODS, COUNTER TOPS, AND FALSE BEAMS.
- PROVIDE BLOCKING AT THE SIDE OF ALL TOILETS FOR THE INSTALLATION OF FUTURE GRAB BARS. BLOCKING SHALL BE 2x10 LOCATED 36" ABOVE THE FINISHED FLOOR AND 60" LONG.
- COORDINATION OF BUILDING INSPECTIONS IS THE RESPONSIBILITY OF THE CONTRACTOR. ANY SPECIAL INSPECTIONS REQUIRED BY THE BUILDING INSPECTOR IS THE RESPONSIBILITY OF THE OWNER.
- DEFERRED SUBMITTALS SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT FOR APPROVAL PRIOR TO CONSTRUCTION.
- THE CONSTRUCTION DRAWINGS REPRESENT THE FINISHED WORK AND DO NOT INDICATE THE MEANS AND METHODS OF CONSTRUCTION OR JOB SITE SAFETY.
- THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR UNAPPROVED CHANGES TO THE CONSTRUCTION DRAWINGS.
- ONE COPY OF STAMPED CONSTRUCTION DOCUMENTS APPROVED BY THE BUILDING OFFICIAL AND ALL MANUFACTURER'S INSTALLATION INSTRUCTIONS SHALL BE KEPT AT THE SITE OF WORK FOR INSPECTION BY THE AUTHORITIES HAVING JURISDICTION AT ALL TIMES.

Graphic Symbols

-  DOOR NUMBER - REF DOOR SCHEDULE
-  WINDOWS & LOUVERS - REF WINDOW SCHEDULE
-  SECTION - BUILDING SECTION OR WALL SECTION
-  DETAILS, SECTIONS, OR ENLARGED PLANS
-  ASSEMBLY TYPES - FLOOR, WALL, CEILING & ROOF
-  KEY NOTES - REF APPLICABLE SCHEDULES
-  REVISION TAG - REF TITLE BLOCK ISSUE LOG

Area Map



CBFPD DUPLEX

30 NICKY COURT, LOT EM2

CRESTED BUTTE, CO 81224

ISSUE D - DRC REVIEW

JULY 7, 2025



** VIEW OF THE SOUTH ELEVATION

Contact Info

OWNER
 CRESTED BUTTE FIRE PROTECTION DISTRICT
 JEFF DUKE, ASSISTANT CHIEF
 PO BOX 1009
 CRESTED BUTTE, CO 81224
 (970) 349-5333
 jduke@cbfpd.org

CONTRACTOR
 TBD

ARCHITECT
 BEN WHITE ARCHITECTURE, LLC
 BENJAMIN WHITE, AIA
 PO BOX 2921
 CRESTED BUTTE, CO 81224
 (970) 376-6605
 ben@benwhitearchitecture.com

SITE ADDRESS
 30 NICKY COURT
 LARKSPUR SUBDIVISION
 CRESTED BUTTE, CO 81224
 LOT EM2
 ACCOUNT NO: R044076
 PARCEL NO: 3255-120-34-004
 GEOHAZARD: NONE
 FEMA FLOODPLAIN: NO
 WILDFIRE HAZARD: "HIGH"

Area Totals

	UNIT A	UNIT B	TOTAL
GARAGE			
GROSS AREA	507 SF	507 SF	1,014 SF
NET AREA	464 SF	464 SF	928 SF
LOWER LEVEL			
GROSS AREA	709 SF	534 SF	1,243 SF
NET AREA	653 SF	483 SF	1,136 SF
UPPER LEVEL			
GROSS AREA	768 SF	720 SF	1,488 SF
NET AREA	720 SF	665 SF	1,385 SF
TOTALS			
GROSS AREA	1,984 SF	1,761 SF	3,745 SF
NET AREA	1,837 SF	1,612 SF	3,449 SF
MISCELLANEOUS			
FRONT PORCH	86 SF	86 SF	172 SF
BACK DECK	220 SF	176 SF	396 SF

* GROSS AREA IS TAKEN FROM THE OUTSIDE FACE OF EXTERIOR WALLS.

** NET AREA IS TAKEN FROM THE INSIDE FACE OF EXTERIOR WALLS.

FLOOR AREA WITH CEILING HEIGHTS LESS THAN 5'-0" ARE INCLUDED.

Electric Ready Code

2023 COLORADO MODEL ELECTRIC READY AND SOLAR READY CODE REQUIREMENTS ARE AS FOLLOWS:

RESIDENTIAL ELECTRIC READY

- FUTURE ELECTRICAL EQUIPMENT - PROVIDE BRANCH CIRCUIT TO ACCOMMODATE FUTURE ELECTRICAL EQUIPMENT TO MEET THE HEATING LOAD. MINIMUM 2-POLE CIRCUIT BREAKER FOR EACH BRANCH CIRCUIT. LABELING REQUIRED.
- POWER SUPPLY - PROVIDE OUTLET OR JUNCTION BOX WITHIN 3 FEET OF COMBUSTION EQUIPMENT.
- ADDITIONAL SPACE - PROVIDE DEDICATED AREAS FOR FUTURE ELECTRICAL EQUIPMENT FOR SPACE OR WATER HEATING.
- CONDENSATE DRAIN - PROVIDE CONDENSATE DRAIN FOR COMBUSTION EQUIPMENT.

RESIDENTIAL SOLAR READY

- SOLAR READY ZONE - 300 SF OF ROOF AREA ORIENTED SOUTH OR LOW SLOPE ROOF.
- SOLAR READY ZONES SHALL BE FREE FROM OBSTRUCTIONS.
- STRUCTURAL DESIGN ROOF LIVE AND DEAD LOADS INDICATED ON DRAWINGS.
- INTERCONNECTION PATHWAY - CONDUIT ROUTE FROM ROOF TO PANEL.
- MAIN ELECTRICAL SERVICE PANEL SHALL HAVE SUFFICIENT SPACE FOR A DUAL POLE CIRCUIT BREAKER FOR FUTURE SOLAR ELECTRIC INSTALLATION. RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER OR MAIN CIRCUIT LOCATION. LABEL SPACE "FOR FUTURE SOLAR ELECTRIC."

ELECTRIC VEHICLE READY

- ONE EV READY SPACE PER DWELLING.
- RECEPTACLE WITHIN 3 FEET OF THE PARKING SPACE. PROVIDE CONDUIT TO ELECTRICAL PANEL.
- MINIMUM CIRCUIT CAPACITY OF 8.3 KVA, 40A 209/240V. RESERVED CIRCUIT LABELED "FUTURE EV SUPPLY."

Insulation Notes

1.) INSULATION VALUES SHALL BE AS FOLLOWS:

ROOF / CEILING	R-40 SPRAY FOAM R-21 BATT INSULATION
EXTERIOR WALLS	R-6.6 CONTINUOUS R-21 BATT INSULATION
INTERIOR FLOOR	R-19 BATT INSULATION
FOUNDATION WALL	R-15 RIGID INSULATION
HEATED SLAB	R-15 RIGID INSULATION

- CEILING/ROOF SHALL BE SUPER-INSULATED WITH NO VENTILATION.
- CONTRACTOR SHALL PERFORM A BLOWER DOOR TEST AND PROVIDE A COMPLIANCE CERTIFICATE SHOWING LESS THAN 3 ACH.
- COMPLIANCE METHOD - PRESCRIPTIVE

Deferred Submittals

THE FOLLOWING DOCUMENTS SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL. THE CONTRACTOR SHALL THEN SUBMIT COPIES TO THE BUILDING DEPARTMENT AS PART OF THE CONSTRUCTION DOCUMENTS.

- FIRE SPRINKLER DRAWINGS
- FIRE ALARM DESIGN
- MANUFACTURED TRUSS SHOP DRAWINGS
- MAKE AND MODEL OF ERV

Mechanical, Electrical, and Plumbing Notes

GENERAL NOTE

CONTRACTOR TO PROVIDE DESIGN-BUILD MECHANICAL HEATING & VENTILATION, ELECTRICAL, AND PLUMBING SYSTEMS. COORDINATE ALL INFRASTRUCTURE WITH OWNER PRIOR TO CONSTRUCTION.

HEATING AND VENTILATION

- PRIMARY HEATING SYSTEMS SHALL BE HYDRONIC HEAT VIA NATURAL GAS BOILER.
- DOMESTIC HOT WATER SHALL BE PROVIDED BY 40 GALLON SIDE ARM VIA NATURAL GAS FIRED BOILER.
- PROVIDE A WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM (ERV) WITH AN AIR-TO-AIR HEAT EXCHANGER PER 2021 IRC SECTION M1505.4.
- PROVIDE EXHAUST FAN IN THE GARAGE CONTROLLED BY A DEHUMIDISTAT.
- PROVIDE A 400 CFM KITCHEN VENT HOOD. DISCHARGE TO THE EXTERIOR VIA WALL VENT WITH BIRD SCREEN AND BACK-DRAFT DAMPER.
- DRYER VENTS SHALL BE LIMITED TO 35 FEET LESS 5 FEET FOR EACH ELBOW. DRYER BOOSTER FANS ARE NOT PERMITTED.
- ALL THERMOSTATS SHALL BE PROGRAMMABLE.
- SUPPLY AND RETURN DUCTS SHALL HAVE R-8 INSULATION IN ATTICS AND R-6 IN ALL OTHER LOCATIONS. SEAL ALL DUCT JOINTS.
- CONDENSATE DRAIN NEUTRALIZER SHALL BE READILY ACCESSIBLE AND CLEANED PRIOR TO OCCUPANCY.
- ALL EXTERIOR WALL VENT CAPS SHALL BE STEEL WITH 1/4" BIRD SCREEN. DRYER VENT SHALL BE STEEL WITH BACK DRAFT DAMPER ONLY.

PASSIVE RADON MITIGATION

- RADON MITIGATION PIPE SHALL EXTEND FROM THE CRAWL SPACE SEALED TO THE VAPOR RETARDER AND EXTENDED IN A DEDICATED 3" PVC STACK TERMINATING 12" ABOVE THE ROOF. MARK PIPE AS "RADON SYSTEM".
- CONTRACTOR TO PROVIDE A DEDICATED CIRCUIT IN THE CRAWL SPACE FOR THE INSTALLATION OF A FUTURE ACTIVE RADON FAN.
- CONTRACTOR SHALL TEST FOR RADON PRIOR TO COMPLETION. SUBMIT TEST RESULTS TO OWNER, ARCHITECT, AND BUILDING OFFICIAL.

PLUMBING

- CONTRACTOR SHALL PROVIDE PLUMBING FIXTURE TYPES AND QUANTITIES FOR REVIEW BY OWNER.
- ALL PLUMBING FIXTURES SHALL BE WATERSENSE LABELED PRODUCTS WITH THE EXCEPTION OF THE KITCHEN SINK FAUCET.
- ALL PIPING, VENTS, AND MANIFOLDS SHALL BE CONCEALED WITHIN WALL SPACES OR SHAFTS AS INDICATED ON THE PLANS.
- ALL DOMESTIC HOT WATER PIPES SHALL BE INSULATED R-4 MIN.
- COMBINE VENT STACKS AND LOCATE AS HIGH ON ROOF RIDGES AS POSSIBLE. VENT STACKS SHALL BE PAINTED TO MATCH SURROUNDING ROOF FINISH.
- PROVIDE FROST-PROOF HOSE BIBBS AS NOTED ON THE PLANS WITH ISOLATION VALVE AND SERVICE LOOP. INSTALL 8" BY 8" WALL ACCESS PANELS AT ANY WET WALL LOCATIONS.
- CENTERLINE OF ALL SINKS SHALL BE LOCATED 18" FROM THE ADJACENT FINISHED WALL.

- HOT WATER PIPING LENGTH SHALL BE LIMITED TO 100 FEET.
- ISOLATE ALL PLUMBING AND PIPE PENETRATIONS IN THE CONCRETE SLAB FLOOR.

ELECTRICAL & LIGHTING

- CONTRACTOR TO SCHEDULE A SITE-WALK WITH THE OWNER AFTER ELECTRICAL ROUGH-IN TO VERIFY THE LOCATION OF ALL RECEPTACLES AND SWITCHES.
- ALL LIGHTING FIXTURES SHALL HAVE HIGH-EFFICACY RATED LAMPS.
- AN OUTDOOR EMERGENCY DISCONNECT IS REQUIRED FOR THE ELECTRICAL SERVICE.
- SURGE-PROTECTIVE DEVICES ARE REQUIRED FOR ALL ELECTRIC SERVICES.
- GFCI OUTLETS AND LIGHTING SHALL BE USED IN ALL CRAWLSPACE AREAS.
- ALL EXTERIOR FIXTURES SHALL BE FULLY SHIELDED, NIGHT SKY COMPLIANT. MOUNT 18" FROM DOOR JAMB AND 72" ABOVE FINISHED FLOOR UNLESS NOTED OTHERWISE.
- ALL RECESSED FIXTURES IN INSULATED ASSEMBLIES SHALL BE IC RATED.
- PROVIDE RING DOOR BELL AT THE FRONT DOOR. CONFIRM TYPE WITH OWNER.
- ALL SMOKE DETECTORS SHALL BE PHOTOELECTRIC.
- PROVIDE A FIRE ALARM CONTROL PANEL WITH CENTRAL BACK-UP BATTERY POWER TO EACH SMOKE & CO ALARM. FIRELITE MS-2(E) OR EQUAL. COORDINATE TYPE AND FUNCTIONS WITH OWNER.

Sheet Index

A0.1	COVER SHEET
A0.2	SITE PLAN
A0.3	WILDFIRE MITIGATION
A0.4	MANAGEMENT PLAN
A1.1	LOWER LEVEL PLAN
A1.2	UPPER LEVEL PLAN
A1.3	ROOF PLAN
A1.4	ASSEMBLIES & SCHEDULES
A2.1	ELEVATIONS
A2.2	ELEVATIONS
A3.1	SECTIONS
A3.2	SECTIONS
A7.1	3D VIEWS

ISSUE LOG	
A	6/14/24 SCHEMATIC DESIGN 01
B	6/17/24 SCHEMATIC DESIGN 02
C	9/20/24 SCHEMATIC DESIGN 03
D	7/07/25 DESIGN REVIEW SET 01

COVER SHEET

PROJECT NO.: 240221

PROJECT DATE: 6/14/24

SHEET NUMBER:

A0.1

FOR REVIEW ONLY
NOT FOR CONSTRUCTION

ISSUE LOG		
A	6/14/24	SCHEMATIC DESIGN 01
B	6/17/24	SCHEMATIC DESIGN 02
C	9/20/24	SCHEMATIC DESIGN 03
D	7/07/25	DESIGN REVIEW SET 01

SITE PLAN

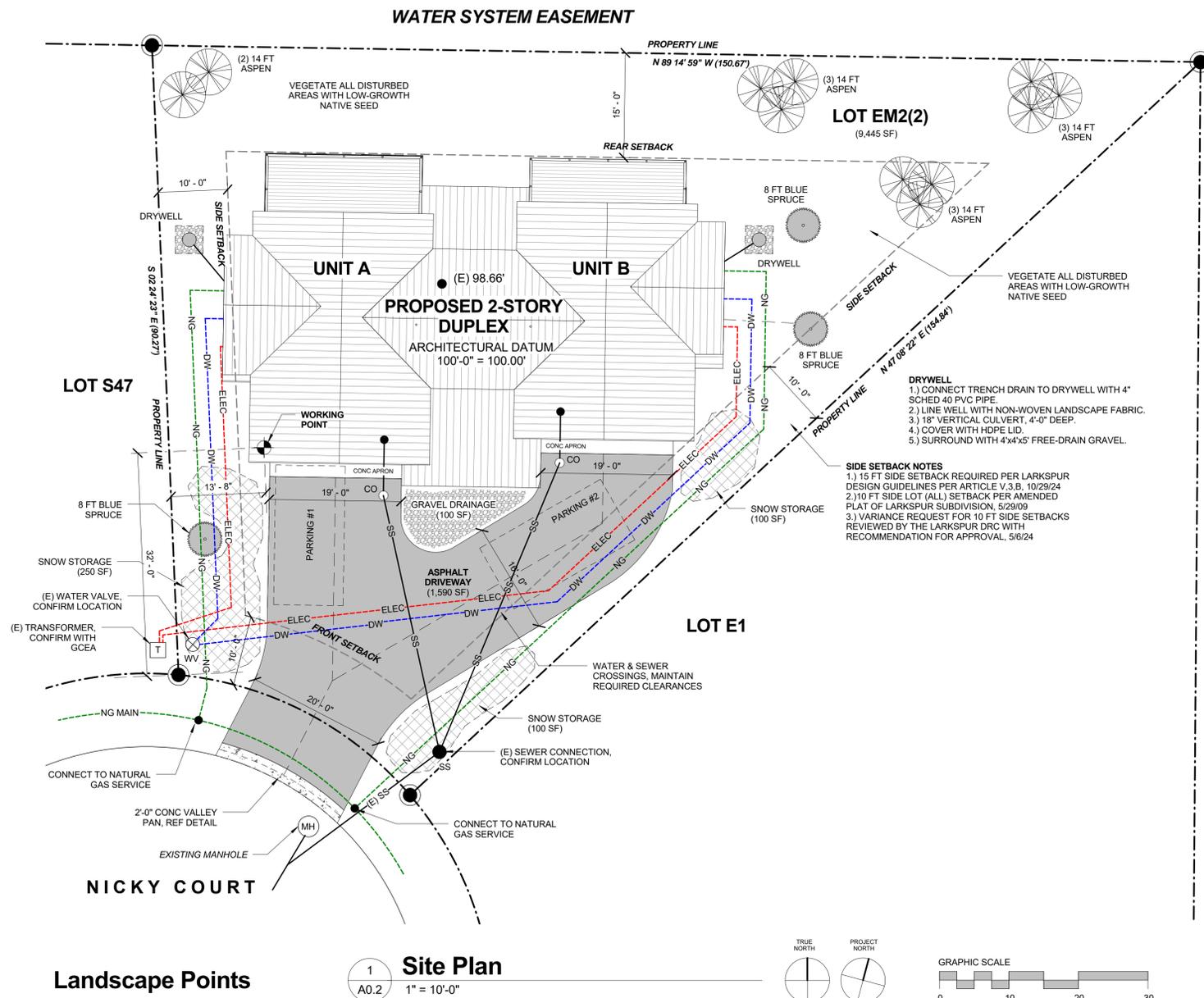
PROJECT NO.: 240221

PROJECT DATE: 6/14/24

SHEET NUMBER:

A0.2

**FOR REVIEW ONLY
NOT FOR CONSTRUCTION**



Landscaping Notes

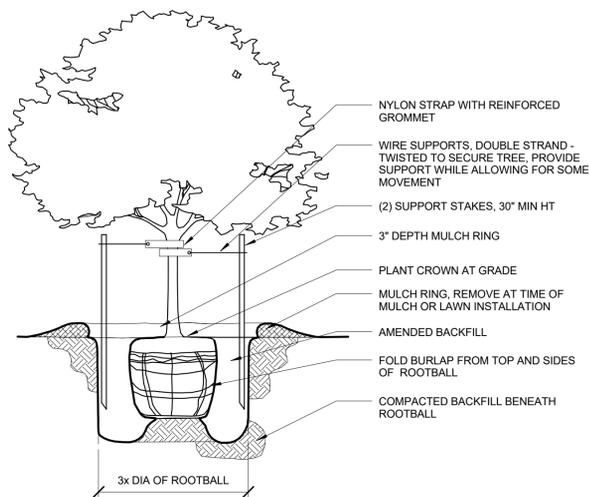
- 1.) CONTRACTOR SHALL VERIFY ALL PLANT COUNTS PRIOR TO STARTING WORK. IF A DISCREPANCY EXISTS, THE PLANS SHALL GOVERN.
- 2.) FURNISH PLANT MATERIAL FREE OF PESTS OR PLANT DISEASE. LANDSCAPING CONTRACTOR SHALL PROVIDE A WRITTEN GUARANTEE TO REPLACE ANY LOST PLANTINGS FOR 1 YEAR FOLLOWING INSTALLATION.
- 3.) LANDSCAPING CONTRACTOR SHALL STAKE ALL PLANTING MATERIALS AND GAIN OWNER'S APPROVAL PRIOR TO STARTING WORK.
- 4.) ALL NATIVE GRASS SEED SHALL BE MECHANICALLY APPLIED HYDROSEEDING, WITH ORGANIC FERTILIZER, MULCH AND ORGANIC TACKIFIER. PRIOR TO SEEDING, LOOSEN TOP 2" OF SOIL AND REMOVE ANY DEBRIS AND STONES. GRADE SMOOTH TO ALLOW FOR SURFACE DRAINAGE. SLOPES GREATER THAN 2:1 SHALL BE CONTROLLED WITH EROSION NETTING.
- 5.) AMENDED PLANTING BACKFILL SHALL CONSIST ON 80% NATIVE TOPSOIL FREE OF ROCKS AND DEBRIS AND 20% COMPOST.
- 6.) ALL TREES WELLS AND SHRUB BEDS ARE TO BE MULCHED WITH 3" SHREDDED HARDWOOD MULCH.
- 7.) HARDSCAPE WALKWAY AREAS, TYPE AND COLOR BY OWNER.
- 8.) PROVIDE PERMANENT DRIP IRRIGATION SYSTEM FOR ALL TREES. (LARKSPUR REQUIREMENT)
- 9.) CONTRACTOR SHALL INSTALL AN 60" WIDE WASHED GRAVEL ZONE AT ALL ROOF DRIP LINES. LINE DRIP EDGE WITH LANDSCAPING FABRIC.

Site Notes

- 1.) ARCHITECTURAL DATUM: 100'-0" = 100.0'
- 1.) DUE TO THE FLAT CONDITION OF THE SITE, NO TOPOGRAPHY LINES ARE SHOWN. IT IS THE INTENT OF THIS DESIGN THAT THE CONTRACTOR SET TOP OF EXISTING GRADE AT 98'-8" ARCHITECTURAL DATUM. THE FLOOR ELEVATION OF THE STRUCTURE WILL SIT AT 100'-0".
- 2.) THIS DRAWING IS NOT A SURVEY.
- 3.) SLOPE FINAL GRADE WAY FROM STRUCTURE AT 4% (1/2" PER FOOT) FOR THE FIRST 10 FEET.
- 4.) PERIMETER FOUNDATION DRAIN SHALL DISCHARGE TO DAYLIGHT. PROVIDE VERTICAL RISER AND CLEAN OUT AT HIGH POINT OF SYSTEM.
- 5.) EXISTING UNDERGROUND UTILITIES ARE NOT LOCATED ON THIS PLAN. CONTRACTOR SHALL CALL FOR LOCATES PRIOR TO EXCAVATION.
- 6.) DRIVEWAY SURFACE SHALL BE MINIMUM 3" ASPHALT AND SLOPED TO DRAIN.
- 7.) UNDERGROUND UTILITIES SHALL BE INSTALLED ON COMPACTED CLASS 6 FILL WITH APPROPRIATE WARNING TAPE WITHIN 12" OF FINAL GRADE.
- 8.) CONTRACTOR SHALL MAINTAIN EROSION CONTROL DEVICES FOR THE DURATION OF CONSTRUCTION ACTIVITIES AND UNTIL 70% GROUND COVER RESTORATION IS ACHIEVED.
- 9.) NO TRENCH OR EXCAVATION SHALL BE LEFT OPEN OVERNIGHT WITHOUT A TEMPORARY CONSTRUCTION FENCE.
- 10.) ALL ROUGH GRADING AND EXCESS DIRT SHALL BE REMOVED FROM THE SITE WITHIN 30 DAYS OF BACKFILLING THE FOUNDATION.

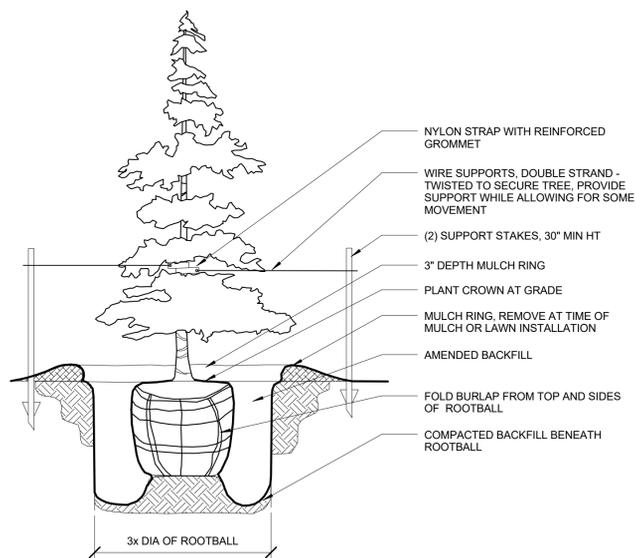
Asphalt Mix

- 1.) SCARIFY SUBGRADE TO A DEPTH OF 12".
- 2.) PROOF ROLL SUBGRADE. REMOVE AND REPLACE ANY SOFT SPOTS WITH ABC. DO NOT PROOF ROLL SATURATED SUBGRADES.
- 3.) CONSULT WITH GEOTECHNICAL REPRESENTATIVE TO OBSERVE AND TEST SUBGRADE PRIOR TO PLACEMENT OF BASE COURSE.
- 4.) REF GEOTECH REPORT AND CIVIL DRAWINGS.
- 5.) MINIMUM OF 6" CLASS 6 ABC BASE COURSE BELOW LIGHT PARKING AREAS.
- 6.) COMPACT BASE COURSE TO 95% PROCTOR.
- 7.) PAVEMENT DESIGN SHALL CONFORM TO CDOT ROAD AND BRIDGE SPECIFICATIONS. SUBMIT DESIGN MIX FOR APPROVAL PRIOR TO INSTALLATION.
- 8.) HOT MIX ASPHALT SHALL BE 3" THICK UNLESS NOTED OTHERWISE.



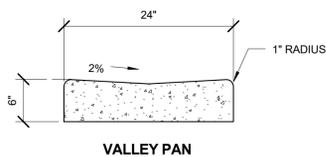
2 Deciduous Planting

A0.2 1" = 1'-0"



3 Conifer Planting

A0.2 1" = 1'-0"



4 Valley Pan Detail

A0.2 1" = 1'-0"

Wildland Urban Interface

FIRE HAZARD SEVERITY: "HIGH"
 MITIGATION DIFFICULTY: "2" HERBACEOUS SHALLOW SLOPE
 REQUIRED DEFENSIBLE SPACE (TABLE 4): 30 FT
 DEFENSIBLE SPACE, CONFORMING
 WATER SUPPLY, CONFORMING
 IGNITION-RESISTANT CONSTRUCTION: IR-2

DEFENSIBLE SPACE

AN AREA EITHER NATURAL OR MAN-MADE, WHERE MATERIAL CAPABLE OF ALLOWING A FIRE TO SPREAD UNCHECKED HAS BEEN TREATED, CLEARED, OR MODIFIED TO SLOW THE RATE AND INTENSITY OF AN ADVANCING WILDFIRE AND TO CREATE AN AREA FOR FIRE SUPPRESSION. DISTANCE SHALL BE FROM THE EAVE OF THE STRUCTURE TO THE REQUIRED DISTANCE OR TO THE PROPERTY LINE.

REFERENCES

GUNNISON COUNTY GIS MAP, LOCAL WILDFIRE HAZARD LAYER
 2021 IWUIC TABLE 503.1, IGNITION RESISTANT CONSTRUCTION
 2021 IWUIC TABLE 603.2, REQUIRED DEFENSIBLE SPACE
 2021 IWUIC SECTION 101.5, ADDITIONS OR ALTERATIONS
 2021 IWUIC SECTION 602.1, FIRE SPRINKLER REQUIREMENT

GENERAL NOTES

- 1.) TREES WITHIN DEFENSIBLE SPACE SHALL BE SPACED 10 FEET APART AND 10 FEET FROM ANY STRUCTURE
- 2.) ALL CHIMNEYS SHALL BE INSTALLED WITH SPARK ARRESTORS WITH SCREENING NOT TO EXCEED 1/2" SPACING.
- 3.) HARDENED ZONE: PROVIDE A 5 FT NON-COMBUSTIBLE PERIMETER AROUND ENTIRE STRUCTURE USING ROCK, GRAVEL, OR PAVERS.
- 4.) FIREWOOD SHALL NOT BE STORED WITH 20 FEET OF THE STRUCTURE. (NOT APPLICABLE)
- 5.) FUEL GAS CONTAINERS, SUCH AS LP, SHALL BE LOCATED WITHIN THE DEFENSIBLE ZONE. (NONE)
- 6.) MAINTENANCE OF THE DEFENSIBLE SPACE SHALL BE THE RESPONSIBILITY OF THE OWNER.

CLASS 2 IGNITION-RESISTANT CONSTRUCTION

ROOF ASSEMBLY (NONCOMBUSTIBLE)
 CLASS A RATING, OR
 NONCOMBUSTIBLE ROOF COVERING
 ROOF PROFILES (FIRESSTOPPED)
 FIRESSTOPPED, OR
 APPLIED OVER MINERAL SURFACED CAP SHEET
 ROOF VALLEYS (WILL COMPLY)
 28 GAUGE METAL OVER 36" WIDE 72 LB
 MINERAL-SURFACED CAP SHEET

EAVES AND SOFFITS (WILL COMPLY)
 COMBUSTIBLE EAVE, SOFFIT, AND FASCIA PERMITTED
 ENCLOSE SOFFIT WITH 1/2" SOLID MATERIAL
 NO EXPOSED NOMINAL RAFTER TAILS
 HEAVY TIMBER RAFTER TAILS PERMITTED

GUTTERS AND DOWNSPOUTS (N/A)
 NON-COMBUSTIBLE AND PROTECTED

EXTERIOR WALLS (NONCOMBUSTIBLE)
 1-HOUR FIRE RESISTANCE RATED, OR
 APPROVED NONCOMBUSTIBLE MATERIALS, OR
 LOG WALL OR HEAVY TIMBER, OR
 FRT WOOD ON EXTERIOR PER IBC 2303.2, OR
 IGNITION-RESISTANT MATERIALS PER WUI 503.2

UNDERFLOOR ENCLOSURE (N/A)
 ENCLOSE TO THE GROUND, OR
 1-HOUR FIRE RESISTANCE RATED, OR
 HEAVY TIMBER, OR
 FIRE-RETARDANT-TREATED WOOD

APPENDAGES AND PROJECTIONS (IGNITION-RESISTANT)
 (UNENCLOSED DECKS & PORCHES)
 1-HOUR RATED CONSTRUCTION, OR
 HEAVY TIMBER CONSTRUCTION, OR
 NONCOMBUSTIBLE MATERIALS, OR
 FIRE-RETARDANT-TREATED WOOD, OR
 IGNITION-RESISTANT MATERIALS PER WUI SECTION 503.2

DECKS OVER SLOPE (N/A)
 PROJECTING OVER A +10% SLOPE SHALL BE ENCLOSED

EXTERIOR GLAZING (DOUBLE-PANED)
 TEMPERED GLASS, OR
 MULTILAYERED GLAZED PANELS, OR
 20 MINUTE FIRE PROTECTION RATING

EXTERIOR DOORS (NON-COMBUSTIBLE, TEMPERED)
 NONCOMBUSTIBLE CONSTRUCTION, OR
 1-3/4" SOLID CORE WOOD, OR
 20 MINUTE FIRE PROTECTION RATING
 GLAZING SHALL BE TEMPERED
 GARAGE DOORS ARE EXEMPT

VENTS (WILL COMPLY)
 SHALL NOT EXCEED 144 SQUARE INCHES EACH
 COVERED IN NONCOMBUSTIBLE MESH NOT TO EXCEED 1/2"
 SQUARE OR DESIGNED FOR FLAME & EMBER PROTECTION
 SHALL NOT BE LOCATED IN SOFFITS OR EAVES
 SHALL NOT BE LOCATED LESS THAN 10 FEET FROM THE
 PROPERTY LINE

DETACHED ACCESSORY STRUCTURES (N/A)
 (LESS THAN 50 FEET FROM THE PRIMARY RESIDENCE)
 (HABITABLE)
 1-HOUR RATED CONSTRUCTION, OR
 HEAVY TIMBER CONSTRUCTION, OR
 NONCOMBUSTIBLE MATERIALS, OR
 FIRE-RETARDANT-TREATED WOOD, OR
 IGNITION-RESISTANT MATERIALS PER WUI SECTION 503.2

Defensible Space

ZONE 1 - 0-5 FT FROM THE STRUCTURE

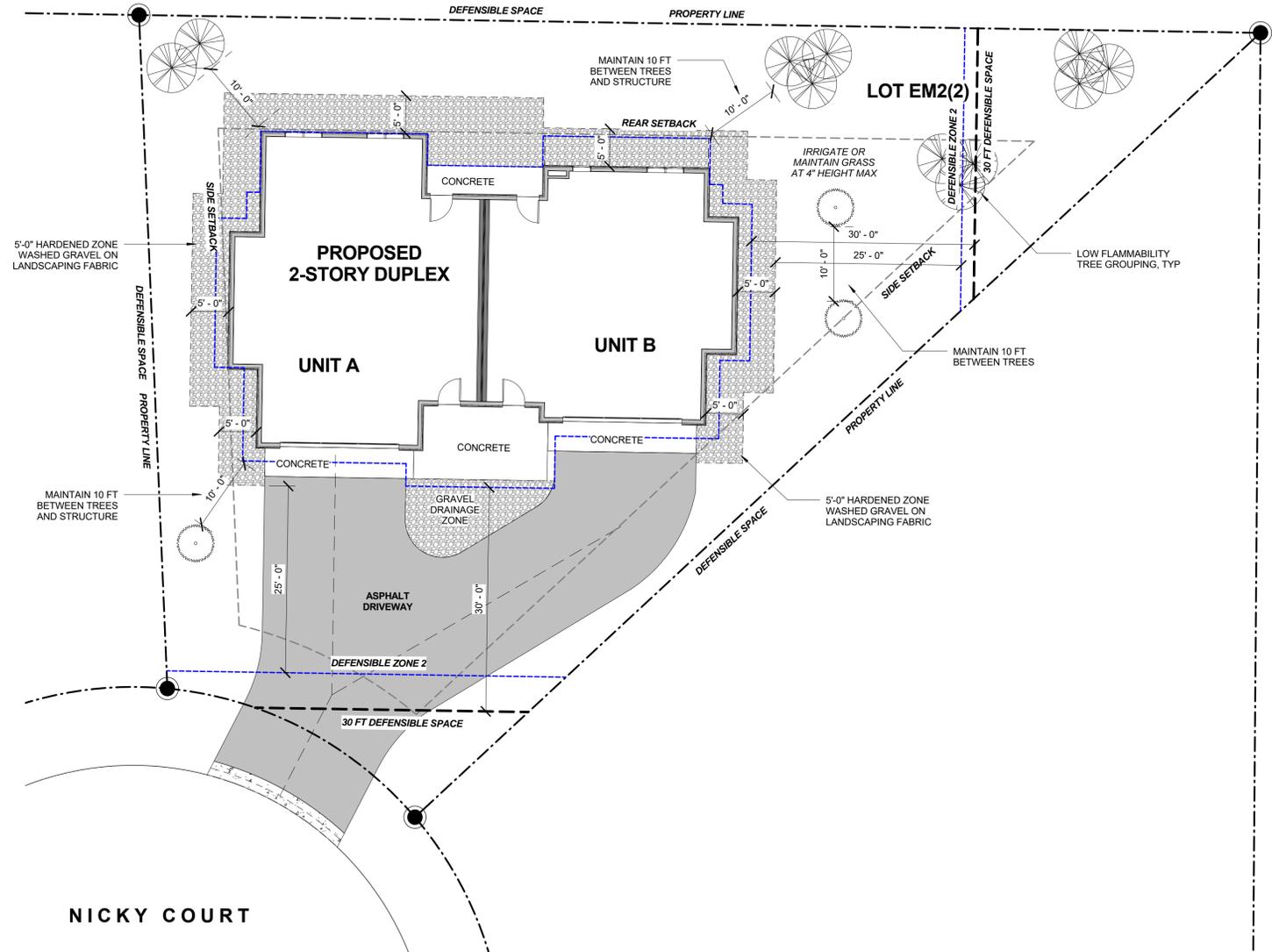
REMOVE ALL VEGETATION AND MULCH
 KEEP FIREWOOD 30 FT AWAY FROM HOUSE
 KEEP TREES 10 FT AWAY FROM HOUSE
 KEEP TREES 20 FT AWAY FROM CHIMNEYS
 REMOVE COMBUSTIBLE DEBRIS FROM ROOFS, DECKS, AND GUTTERS
 DO NOT USE SPACE UNDER DECKS FOR STORAGE

ZONE 2 - 5-30 FT FROM THE STRUCTURE

MOW GRASS TO 4 IN TALL OR LESS
 KEEP GRASSES AND GROUND COVERS GREEN DURING FIRE SEASON
 BREAK UP CONTINUOUS VEGETATION
 KEEP TREES 10 FEET APART
 PRUNE TREE BRANCHES UP TO 6 FT OR 1/3 HEIGHT OF TREE
 MINIMIZE ORNAMENTAL CONIFEROUS SHRUBS AND TREES
 REMOVE DEAD OR DYING TREES

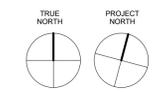
ZONE 3 - 30-100 FT FROM THE STRUCTURE

MOWING NOT NECESSARY
 KEEP TREES 10 FEET APART
 REMOVE LOWER GROWTH LADDER FUELS



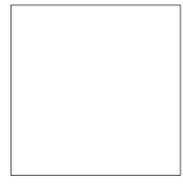
NICKY COURT

1 Wildfire Mitigation
 A0.3 1" = 10'-0"



CBFPD DUPLEX
 30 NICKY COURT, LOT EM2
 CRESTED BUTTE, CO 81224

ISSUE LOG		
A	6/14/24	SCHEMATIC DESIGN 01
B	6/17/24	SCHEMATIC DESIGN 02
C	9/20/24	SCHEMATIC DESIGN 03
D	7/07/25	DESIGN REVIEW SET 01

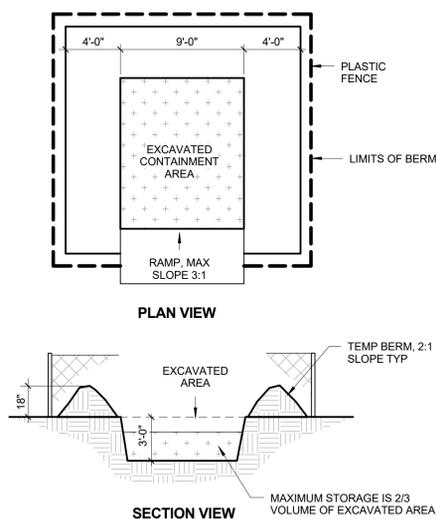


WILDFIRE MITIGATION

PROJECT NO.: 240221
 PROJECT DATE: 6/14/24
 SHEET NUMBER:

A0.3

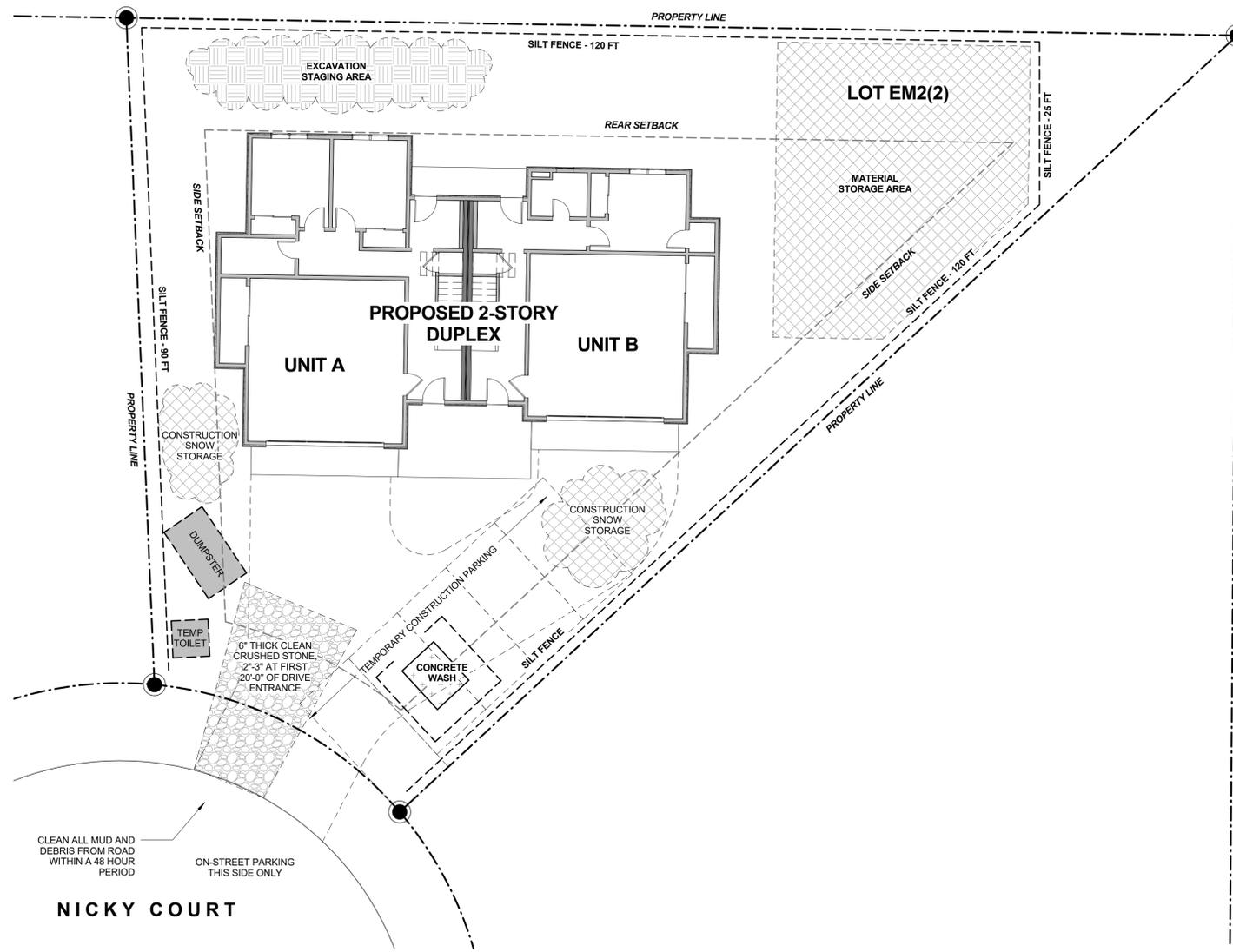
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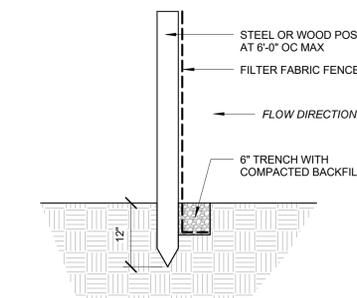
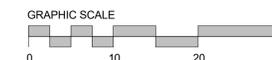
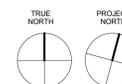
2 Concrete Wash
A0.4 1/4" = 1'-0"

Erosion Control Notes

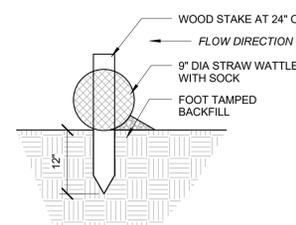
- 1.) CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL DEVICES THROUGHOUT CONSTRUCTION UNTIL 70% OF THE PERMANENT GROUND COVER IS ESTABLISHED.
- 2.) RETAIN AND PROTECT EXISTING GROUND COVER WHEREVER POSSIBLE.
- 3.) SOIL STOCKPILES SHALL NOT EXCEED 10 FEET IN HEIGHT. NO SOILS SHALL BE STOCKPILED LONGER THAN 30 DAYS WITHOUT ESTABLISHING TEMPORARY OR PERMANENT EROSION CONTROL SUCH AS SEEDING OR MULCH.
- 4.) THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION CONTROL MEASURES AS REQUIRED DUE TO GRADING OPERATIONS OR UNFORESEEN CONDITIONS.
- 5.) EXISTING STREETS SHALL BE KEPT FREE OF DIRT AND DEBRIS AND MAINTAINED IN GOOD ORDER. DUST CONTROL MEASURES SHALL BE IMPLEMENTED TO MINIMIZE DISTURBANCES DOWNWIND.
- 6.) CONTRACTOR SHALL IMMEDIATELY REPAIR ANY ROAD SURFACES DAMAGED DURING CONSTRUCTION.
- 7.) EROSION CONTROL MEASURES SHALL BE INSPECTED AND REPAIRED EVERY TWO WEEKS AND AFTER EACH SIGNIFICANT STORM EVENT.
- 8.) IT IS UNLAWFUL TO DISCHARGE OR ALLOW THE DISCHARGE OF ANY POLLUTANT OR CONTAMINATED WATER IN THE CONSTRUCTION SITE. THE CONTRACTOR SHALL DISPOSE OF POLLUTANTS IN A PROPER AND LEGAL MANNER.
- 9.) UPON REMOVAL OF EROSION CONTROL DEVICES, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEAN-UP AND REMOVAL OF SEDIMENT AND DEBRIS FROM ALL DRAINAGE CONTROL INFRASTRUCTURE.



1 Management Plan
A0.4 1" = 10'-0"



3 Silt Fence
A0.4 3/4" = 1'-0"



4 Waddle Detail
A0.4 3/4" = 1'-0"

Working Hours

CONSTRUCTION HOURS ARE AS FOLLOWS:
MONDAY TO FRIDAY - 7:00 AM TO 6:00 PM
SATURDAY - 7:00 AM TO 6:00 PM
SUNDAY - NO WORK ALLOWED

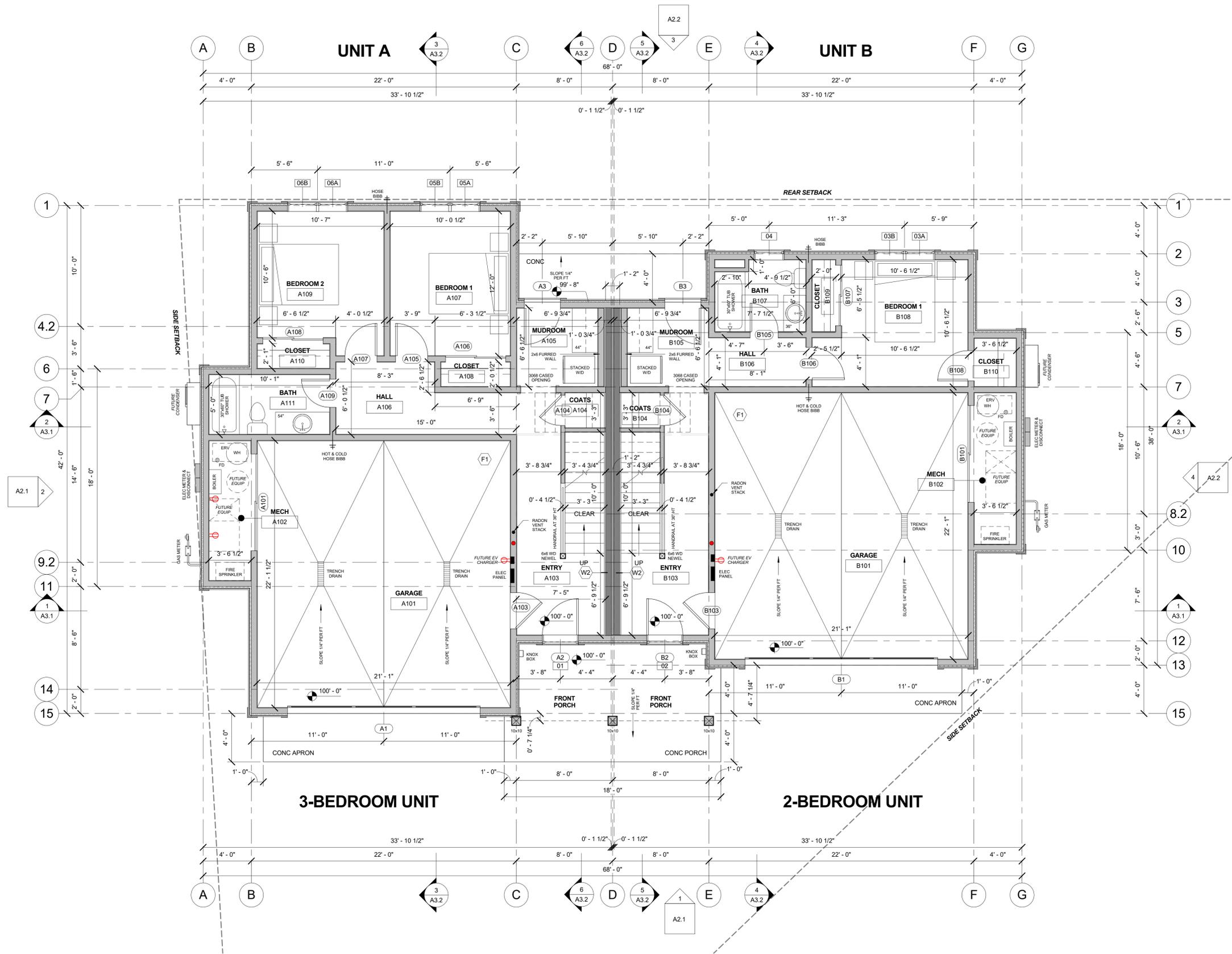
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ISSUE LOG	
A	6/14/24 SCHEMATIC DESIGN 01
B	6/17/24 SCHEMATIC DESIGN 02
C	9/20/24 SCHEMATIC DESIGN 03
D	7/07/25 DESIGN REVIEW SET 01

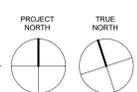
MANAGEMENT PLAN

PROJECT NO.: 240221
PROJECT DATE: 6/14/24
SHEET NUMBER:

A0.4



1 Lower Level
1/4" = 1'-0"



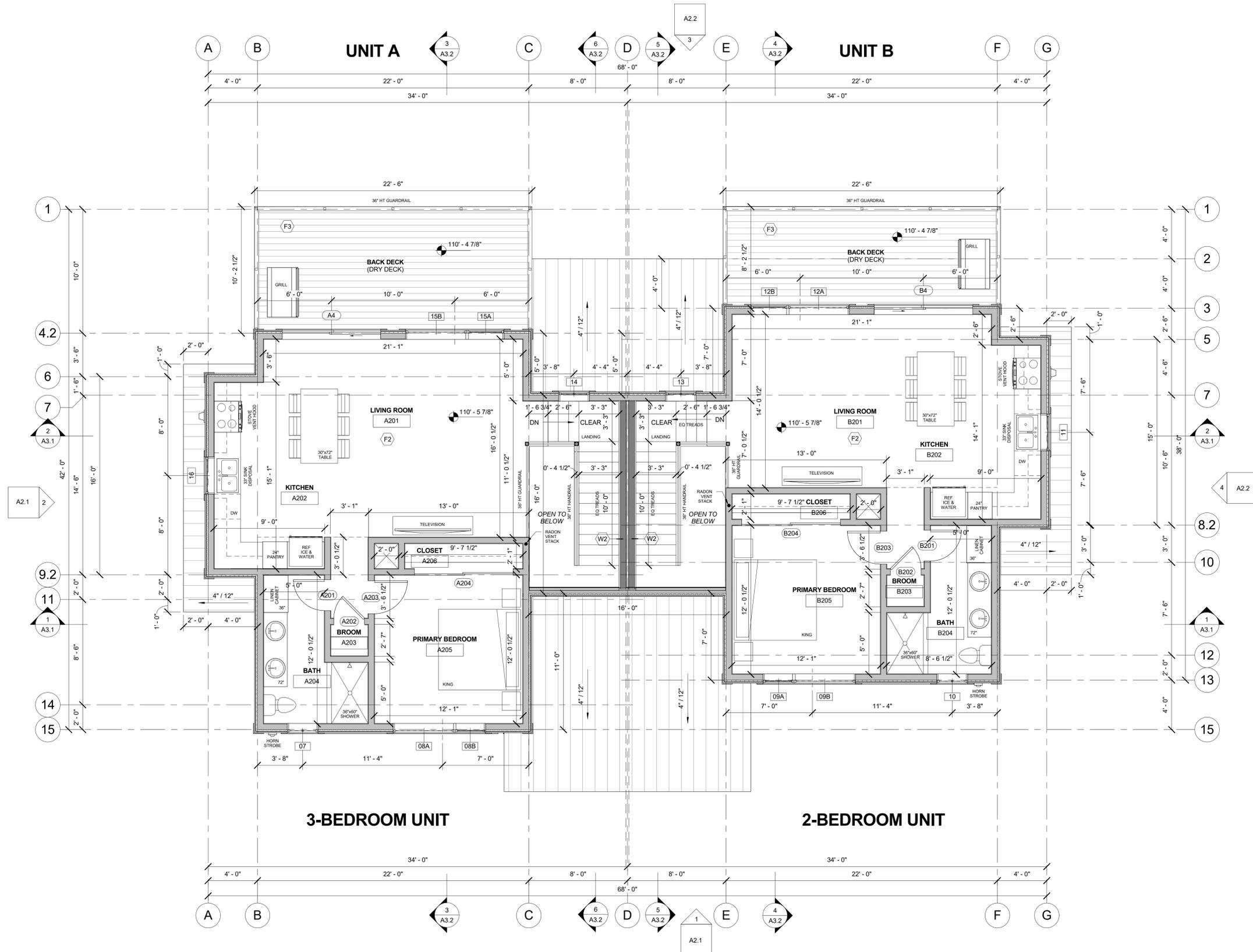
ISSUE LOG	
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B	6/17/24 SCHEMATIC DESIGN 02
C	9/20/24 SCHEMATIC DESIGN 03
D	7/07/25 DESIGN REVIEW SET 01

LOWER LEVEL PLAN

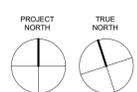
PROJECT NO.: 240221
PROJECT DATE: 6/14/24
SHEET NUMBER:

A1.1

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1 Upper Level
1/4" = 1'-0"



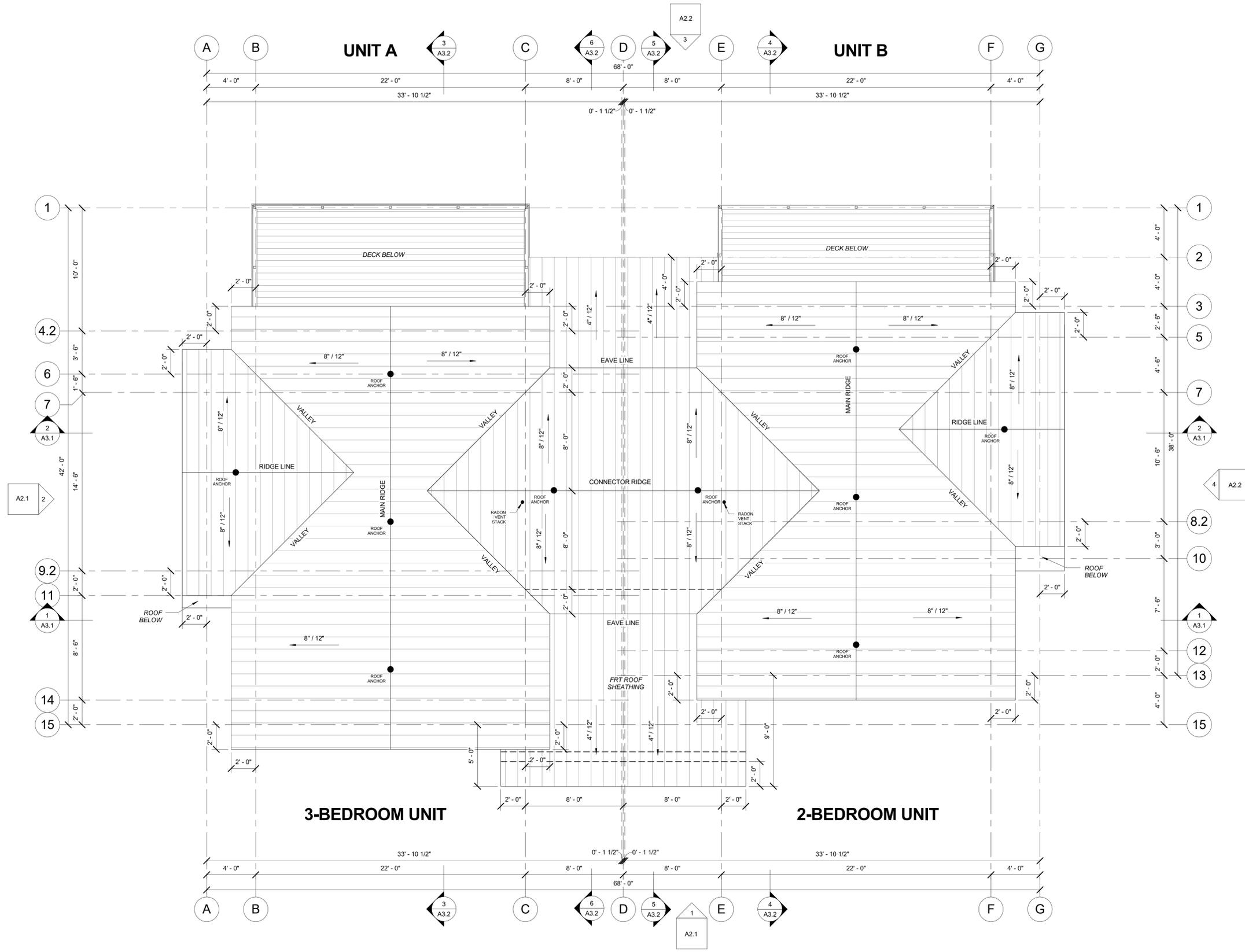
ISSUE LOG	
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C	9/20/24 SCHEMATIC DESIGN 03
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UPPER LEVEL PLAN

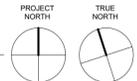
PROJECT NO.: 240221
PROJECT DATE: 6/14/24
SHEET NUMBER:

A1.2

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1 Roof Plan
A1.3 1/4" = 1'-0"



ISSUE LOG	
A	6/14/24 SCHEMATIC DESIGN 01
B	6/17/24 SCHEMATIC DESIGN 02
C	9/20/24 SCHEMATIC DESIGN 03
D	7/07/25 DESIGN REVIEW SET 01

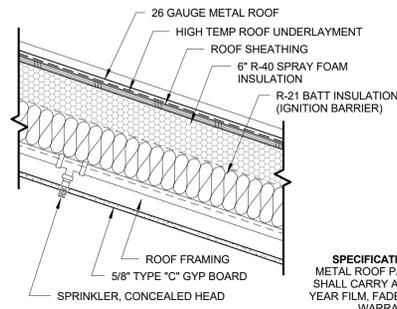
ROOF PLAN

PROJECT NO.: 240221
PROJECT DATE: 6/14/24
SHEET NUMBER:

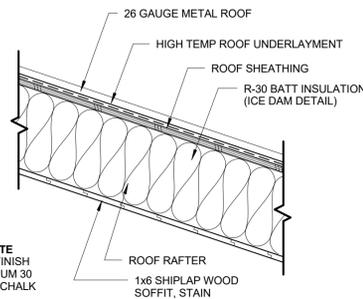
A1.3

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Roof Assembly Types



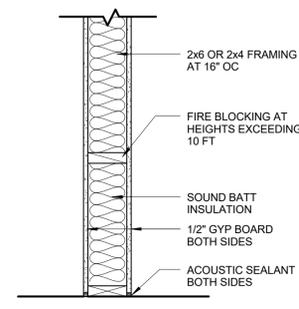
R1 ROOF ASSEMBLY 1
CONDITIONED SPACE



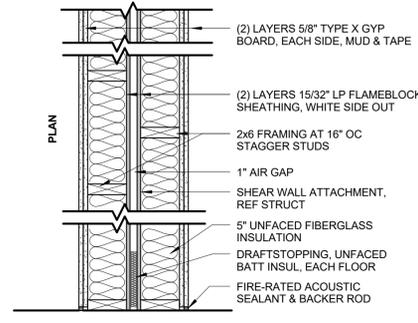
R2 ROOF ASSEMBLY 2
EXTERIOR CANOPY

SPECIFICATION NOTE
METAL ROOF PANEL FINISH SHALL CARRY A MINIMUM 30 YEAR FILM, FADE, AND CHALK WARRANTY

Interior Wall Types



W1 INTERIOR WALL 1
UNRATED PARTITION WALL, TYP UNLESS OTHERWISE NOTED



W2 INTERIOR WALL 2
1-HOUR RATED UL U341 STC 57

PARTY WALL SHALL NOT CONTAIN PLUMBING, DUCTS, OR VENTS IN THE WALL CAVITY.

Window Schedule

TAG	WIDTH	HEIGHT	MULLED UNIT	OPERATION	TEMPERED	NOTES
01	36"	36"		FIXED		DOOR TRANSOM
02	36"	36"		FIXED		DOOR TRANSOM
03A	30"	48"	MULLED	CASEMENT		EGRESS
03B	30"	48"	MULLED	CASEMENT		EGRESS
04	30"	36"		AWNING	TEMPERED	WET AREA
05A	30"	48"	MULLED	CASEMENT		EGRESS
05B	30"	48"	MULLED	CASEMENT		EGRESS
06A	30"	48"	MULLED	CASEMENT		EGRESS
06B	30"	48"	MULLED	CASEMENT		EGRESS
07	30"	36"		AWNING	TEMPERED	WET AREA
08A	60"	60"	MULLED	FIXED		
08B	30"	60"	MULLED	CASEMENT		EGRESS
09A	30"	60"	MULLED	CASEMENT		EGRESS
09B	60"	60"	MULLED	FIXED		
10	30"	36"		AWNING	TEMPERED	WET AREA
11	36"	48"		CASEMENT		KITCHEN
12A	60"	60"	MULLED	FIXED	TEMPERED	
12B	36"	60"	MULLED	CASEMENT		
13	30"	48"		FIXED	TEMPERED	STAIRS
14	30"	48"		FIXED	TEMPERED	STAIRS
15A	36"	60"	MULLED	CASEMENT		
15B	60"	60"	MULLED	FIXED	TEMPERED	
16	36"	48"		CASEMENT		KITCHEN
17	36"	36"		FIXED		LIVING ROOM
18	36"	36"		FIXED		LIVING ROOM

WINDOW NOTES
1.) PARTIES SHALL BE FIBERGLASS, "BLACK" EXTERIOR AND INTERIOR.
2.) ALL WINDOWS SHALL HAVE A U-FACTOR OF U-0.32 OR LESS.
3.) ALL GLAZING SHALL BE DOUBLE PANE, LOW-E 366.
4.) PROVIDE BUG SCREENS WITH ALL OPERABLE WINDOWS.
5.) REFERENCE DETAILS FOR INTERIOR AND EXTERIOR TRIM.

Door Schedule

TAG	TYPE	WIDTH	HEIGHT	GLAZING	HARDWARE	NOTES
A1	GARAGE DOOR	16'-0"	8'-0"	TOP LITES	BELT DRIVE	KEYPAD ON JAMB
A2	FRONT DOOR	3'-0"	7'-0"	HALF LITE	ENTRY	
A3	BACK DOOR	3'-0"	6'-8"	HALF LITE	ENTRY	
A4	PATIO SLIDER	8'-0"	8'-0"	FULL LITE	ENTRY	
A101	BYPASS SLIDER	8'-0"	6'-8"		PULLS	MECH
A103	GARAGE ENTRY	3'-0"	6'-8"		ENTRY	20 MIN CLOSER
A104	COATS	2'-6"	6'-8"		PASSAGE	
A105	BEDROOM	2'-8"	6'-8"		PRIVACY	
A106	BYPASS SLIDER	5'-0"	6'-8"		PULLS	
A107	BEDROOM	2'-8"	6'-8"		PRIVACY	
A108	BYPASS SLIDER	5'-0"	6'-8"		PULLS	
A109	BATH	2'-4"	6'-8"		PRIVACY	
A201	BATH	2'-6"	6'-8"		PRIVACY	
A202	BROOM	2'-6"	6'-8"		PASSAGE	
A203	BEDROOM	2'-8"	6'-8"		PRIVACY	
A204	BYPASS SLIDER	8'-0"	6'-8"		PULLS	
B1	GARAGE DOOR	16'-0"	8'-0"	TOP LITES	BELT DRIVE	KEYPAD ON JAMB
B2	FRONT DOOR	3'-0"	7'-0"	HALF LITE	ENTRY	
B3	BACK DOOR	3'-0"	6'-8"	HALF LITE	ENTRY	
B4	PATIO SLIDER	8'-0"	8'-0"	FULL LITE	ENTRY	
B101	BYPASS SLIDER	8'-0"	6'-8"		PULLS	MECH
B103	GARAGE ENTRY	3'-0"	6'-8"		ENTRY	20 MIN CLOSER
B104	COATS	2'-6"	6'-8"		PASSAGE	
B105	BATH	2'-4"	6'-8"		PRIVACY	
B106	BEDROOM	2'-8"	6'-8"		PRIVACY	
B107	BYPASS SLIDER	5'-0"	6'-8"		PULLS	
B108	CLOSET	2'-6"	6'-8"		PASSAGE	
B201	BATH	2'-6"	6'-8"		PRIVACY	
B202	BROOM	2'-6"	6'-8"		PASSAGE	
B203	BEDROOM	2'-8"	6'-8"		PRIVACY	
B204	BYPASS SLIDER	8'-0"	6'-8"		PULLS	

DOOR NOTES
1.) EXTERIOR DOORS SHALL BE INSULATED FIBERGLASS.
2.) ALL EXTERIOR DOORS SHALL HAVE A U-FACTOR OF U-0.35 OR LESS.
3.) GARAGE DOORS SHALL BE INSULATED TO R-7 MIN.
4.) GARAGE DOORS SHALL HAVE A PERMANENT LABEL IDENTIFYING WIND PRESSURE RATINGS.
5.) PROVIDE SLIDING SCREEN DOORS WITH ALL PATIO DOORS.
6.) COORDINATE THRESHOLD HEIGHTS WITH FLOOR MATERIALS.
7.) REFERENCE DETAILS FOR INTERIOR AND EXTERIOR TRIM.

Finish Schedule

NO	ROOM	CEILING HEIGHT	FLOOR FINISH	BASE FINISH	WALL FINISH	CEILING FINISH
A101	GARAGE	9'-0"	CONCRETE	4" WOOD	PAINT	PAINT
A102	MECH	7'-6"	PLYWOOD	NONE	PAINT	PAINT
A103	ENTRY	17'-9"	LVP	4" WOOD	PAINT	PAINT
A104	COATS	7'-0"	LVP	4" WOOD	PAINT	PAINT
A105	MUDROOM	9'-0"	LVP	4" WOOD	PAINT	PAINT
A106	HALL	9'-0"	LVP	4" WOOD	PAINT	PAINT
A107	BEDROOM 1	9'-0"	CARPET	4" WOOD	PAINT	PAINT
A108	CLOSET	9'-0"	CARPET	4" WOOD	PAINT	PAINT
A109	BEDROOM 2	9'-0"	CARPET	4" WOOD	PAINT	PAINT
A110	CLOSET	9'-0"	CARPET	4" WOOD	PAINT	PAINT
A111	BATH	9'-0"	LVP	4" WOOD	PAINT	PAINT
A201	LIVING ROOM	VAULTED	LVP	4" WOOD	PAINT	PAINT
A202	KITCHEN	VAULTED	LVP	4" WOOD	PAINT	PAINT
A203	BROOM	9'-0"	LVP	4" WOOD	PAINT	PAINT
A204	BATH	9'-0"	LVP	4" WOOD	PAINT	PAINT
A205	PRIMARY BEDROOM	9'-0"	CARPET	4" WOOD	PAINT	PAINT
A206	CLOSET	9'-0"	CARPET	4" WOOD	PAINT	PAINT
B101	GARAGE	9'-0"	CONCRETE	4" WOOD	PAINT	PAINT
B102	MECH	7'-6"	PLYWOOD	NONE	PAINT	PAINT
B103	ENTRY	17'-9"	LVP	4" WOOD	PAINT	PAINT
B104	COATS	7'-0"	LVP	4" WOOD	PAINT	PAINT
B105	MUDROOM	9'-0"	LVP	4" WOOD	PAINT	PAINT
B106	HALL	9'-0"	LVP	4" WOOD	PAINT	PAINT
B107	BATH	9'-0"	LVP	4" WOOD	PAINT	PAINT
B108	BEDROOM 1	9'-0"	CARPET	4" WOOD	PAINT	PAINT
B109	CLOSET	9'-0"	CARPET	4" WOOD	PAINT	PAINT
B110	CLOSET	9'-0"	CARPET	4" WOOD	PAINT	PAINT
B201	LIVING ROOM	VAULTED	LVP	4" WOOD	PAINT	PAINT
B202	KITCHEN	VAULTED	LVP	4" WOOD	PAINT	PAINT
B203	BROOM	9'-0"	LVP	4" WOOD	PAINT	PAINT
B204	BATH	9'-0"	LVP	4" WOOD	PAINT	PAINT
B205	PRIMARY BEDROOM	9'-0"	CARPET	4" WOOD	PAINT	PAINT
B206	CLOSET	7'-6"	CARPET	4" WOOD	PAINT	PAINT

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30 NICKY COURT, LOT EM2
CRESTED BUTTE, CO 81224

ISSUE LOG	
A	6/14/24 SCHEMATIC DESIGN 01
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ASSEMBLIES & SCHEDULES

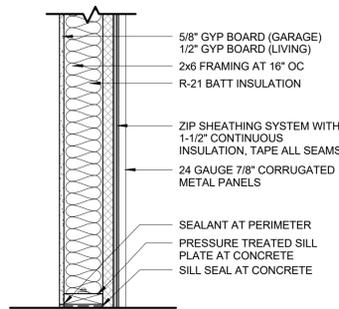
PROJECT NO.: 240221

PROJECT DATE: 6/14/24

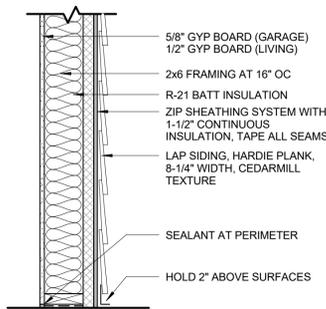
SHEET NUMBER:

A1.4

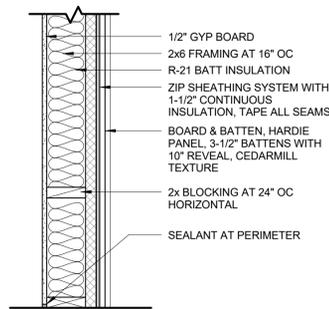
Exterior Wall Finishes



E1 EXTERIOR FINISH 1
METAL SIDING
NONCOMBUSTIBLE FINISH

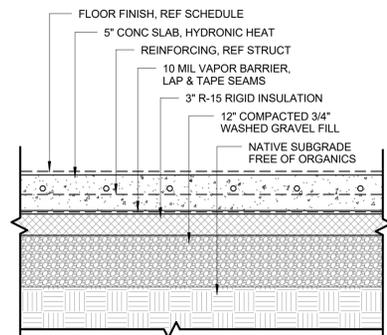


E2 EXTERIOR FINISH 2
LAP SIDING
NONCOMBUSTIBLE FINISH

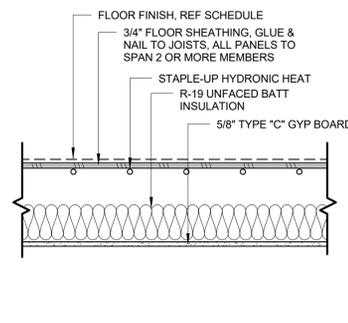


E3 EXTERIOR FINISH 3
BOARD & BATTEN
NONCOMBUSTIBLE FINISH

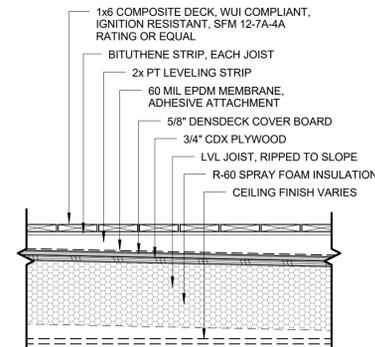
Floor / Ceiling Assembly Types



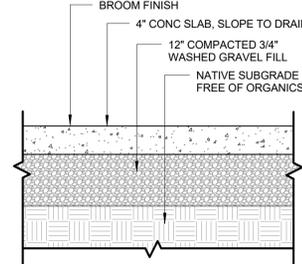
F1 FLOOR TYPE 1
CONCRETE SLAB ON GRADE



F2 FLOOR TYPE 2
FLOOR / CEILING NOT RATED



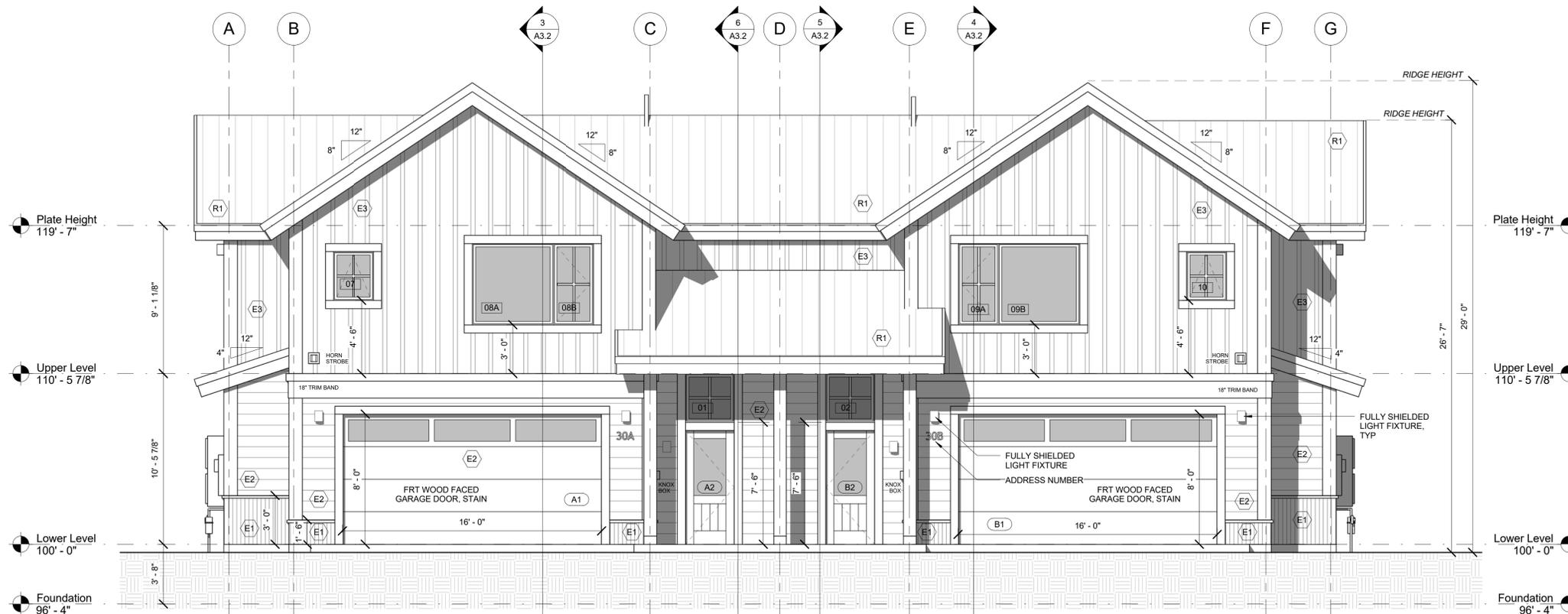
F3 EXTERIOR DECK
DRY DECK



F4 FLOOR TYPE 4
EXTERIOR PATIOS

1 Assemblies

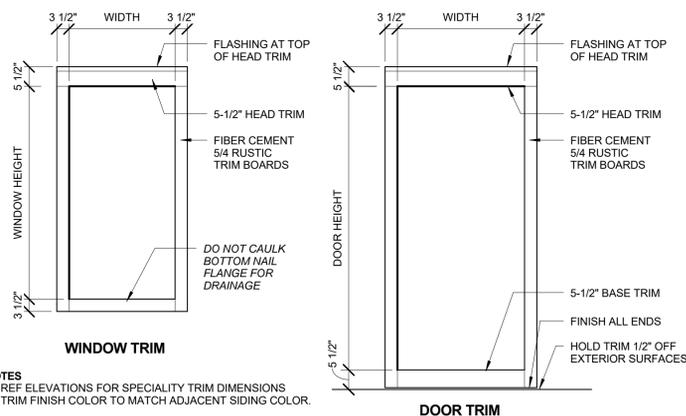
A1.4 1" = 1'-0"



1 South (Front) Elevation
A2.1 1/4" = 1'-0"

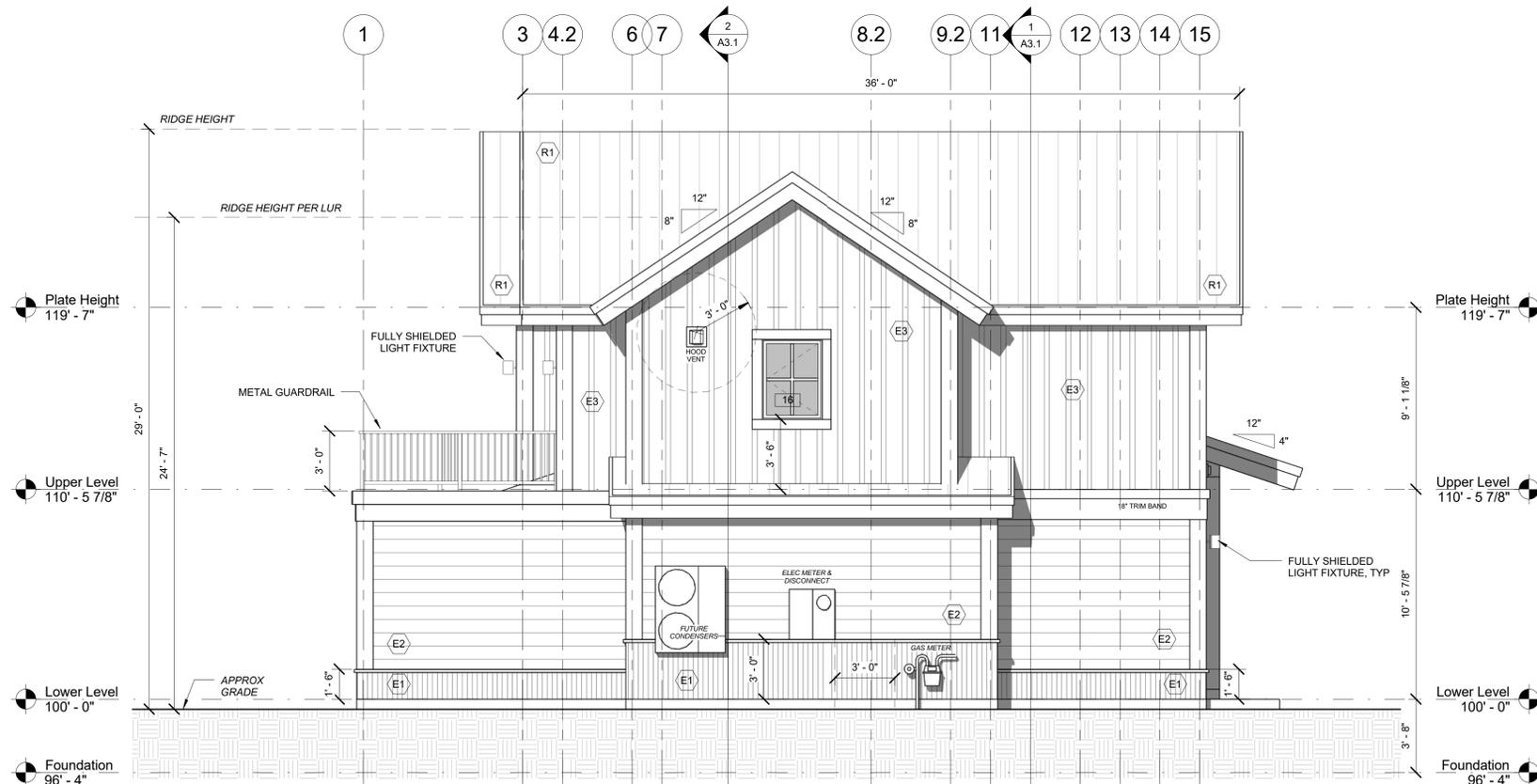
Material Legend

- E1 EXTERIOR FINISH #1 24 GAUGE 7/8" CORRUGATED METAL WAINSCOT, 36" WIDE PANELS, COLOR MS "ZINC GREY"
 - E2 EXTERIOR FINISH #2 LAP SIDING, HARDIE PLANK, 8-1/4" WIDTH, CEDARMILL TEXTURE, PAINT COLOR BM "NORTHWOOD BROWN"
 - E3 EXTERIOR FINISH #3 BOARD & BATTEN, HARDIE PANEL, 3-1/2" BATTENS WITH 10" REVEAL, CEDARMILL TEXTURE, COLOR "REVERE PEWTER"
 - R1 ROOF TYPE #1 26 GAUGE METAL PRO-PANEL ROOFING, 36" WIDE PANELS, COLOR MS "ZINC GREY"
- EXTERIOR TRIM 5/4 FIBER CEMENT, RUSTIC GRAIN, PAINT TO MATCH SIDING COLOR
- FASCIA 5/4 FIBER CEMENT, RUSTIC GRAIN, PAINT BM "NORTHWOOD BROWN"
- SOFFIT & CEILINGS 1x6 SHIPLAP PINE, STAIN "CEDAR NATURAL TONE"
- HEAVY TIMBER ROUGH SAWN DOUG FIR, STAIN "CANYON BROWN"



NOTES
1.) REF ELEVATIONS FOR SPECIALITY TRIM DIMENSIONS
2.) TRIM FINISH COLOR TO MATCH ADJACENT SIDING COLOR.

4 Exterior Trim
A2.1 1/2" = 1'-0"



2 West Elevation
A2.1 1/4" = 1'-0"

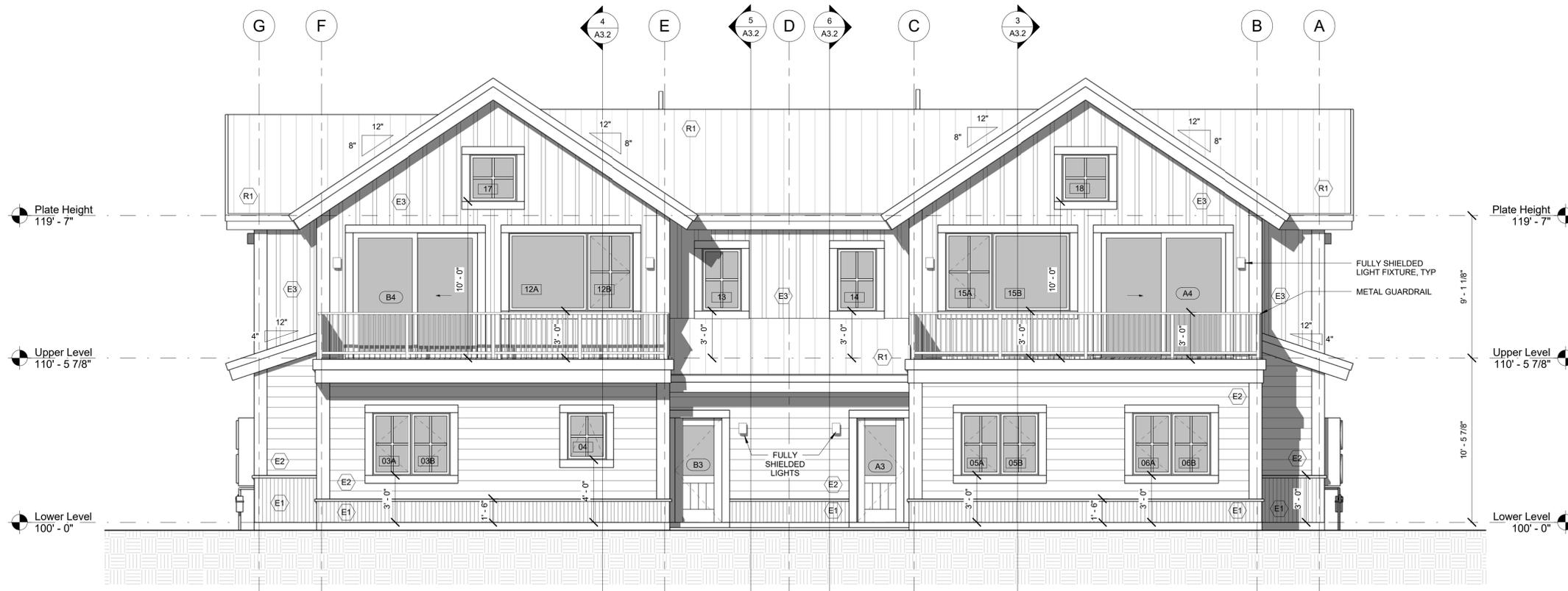
ISSUE LOG	
A	6/14/24 SCHEMATIC DESIGN 01
B	6/17/24 SCHEMATIC DESIGN 02
C	9/20/24 SCHEMATIC DESIGN 03
D	7/07/25 DESIGN REVIEW SET 01

ELEVATIONS

PROJECT NO.: 240221
PROJECT DATE: 6/14/24
SHEET NUMBER:

A2.1

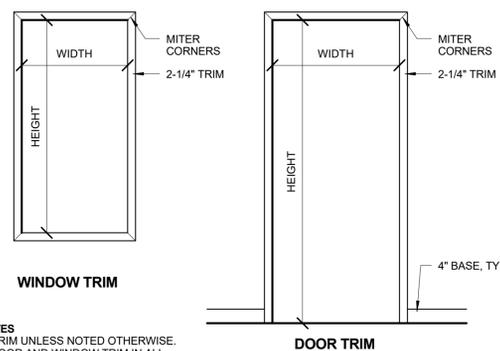
**FOR REVIEW ONLY
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3 North Elevation
A2.2 1/4" = 1'-0"

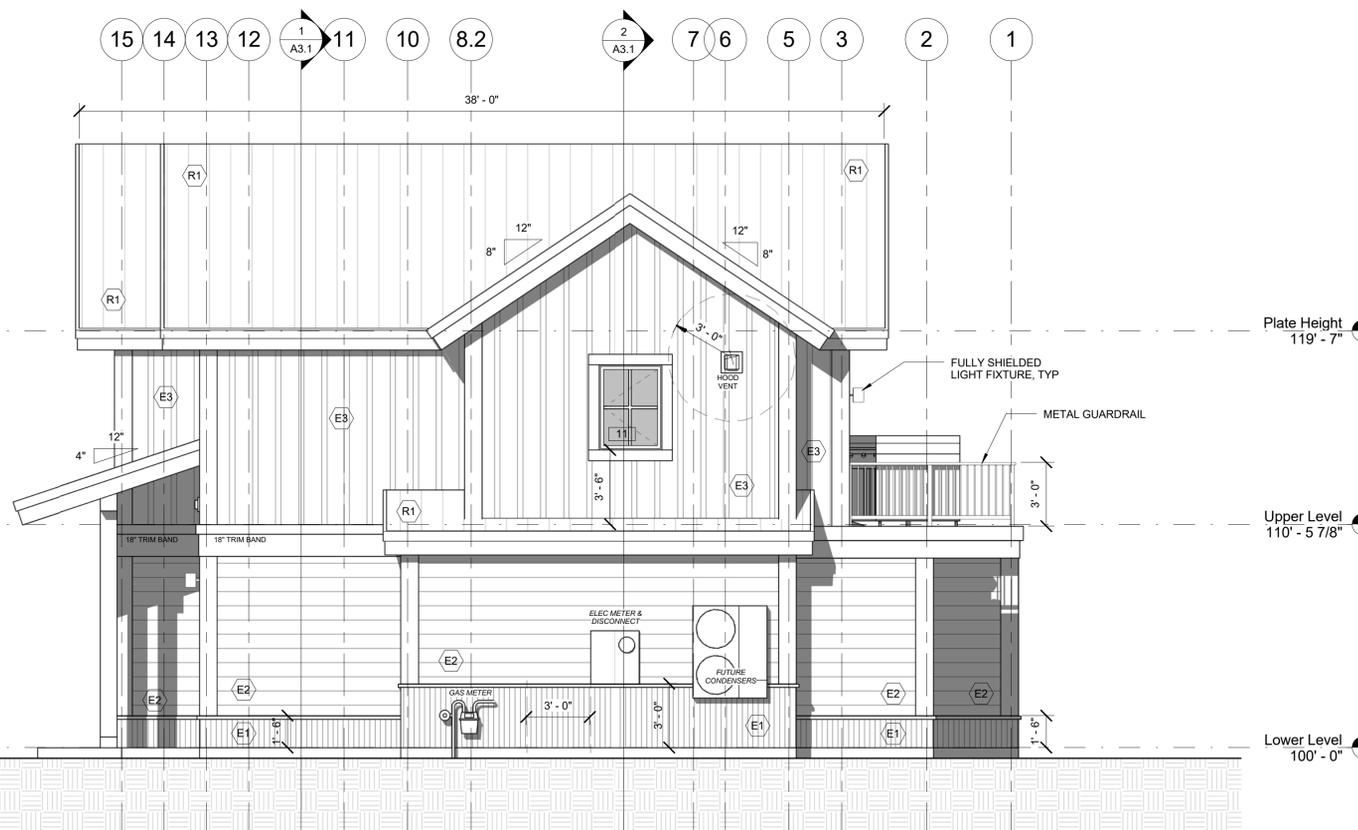
Material Legend

- E1 EXTERIOR FINISH #1 24 GAUGE 7/8" CORRUGATED METAL WAINSCOT, 36" WIDE PANELS, COLOR MS "ZINC GREY"
 - E2 EXTERIOR FINISH #2 LAP SIDING, HARDIE PLANK, 8-1/4" WIDTH, CEDARMILL TEXTURE, PAINT COLOR BM "NORTHWOOD BROWN"
 - E3 EXTERIOR FINISH #3 BOARD & BATTEN, HARDIE PANEL, 3-1/2" BATTENS WITH 10" REVEAL, CEDARMILL TEXTURE, COLOR "REVERE PEWTER"
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- FASCIA 5/4 FIBER CEMENT, RUSTIC GRAIN, PAINT BM "NORTHWOOD BROWN"
- SOFFIT & CEILINGS 1x6 SHIPLAP PINE, STAIN "CEDAR NATURAL TONE"
- HEAVY TIMBER ROUGH SAWN DOUG FIR, STAIN "CANYON BROWN"



- TRIM NOTES**
- 1.) MDF TRIM UNLESS NOTED OTHERWISE.
 - 2.) PVC DOOR AND WINDOW TRIM IN ALL BATHROOM LOCATIONS.
 - 3.) CAULK TRIM TO WALL.
 - 4.) PAINT TRIM TO MATCH WALL COLOR.

1 Interior Trim
A2.2 1/2" = 1'-0"



4 East Elevation
A2.2 1/4" = 1'-0"

ISSUE LOG

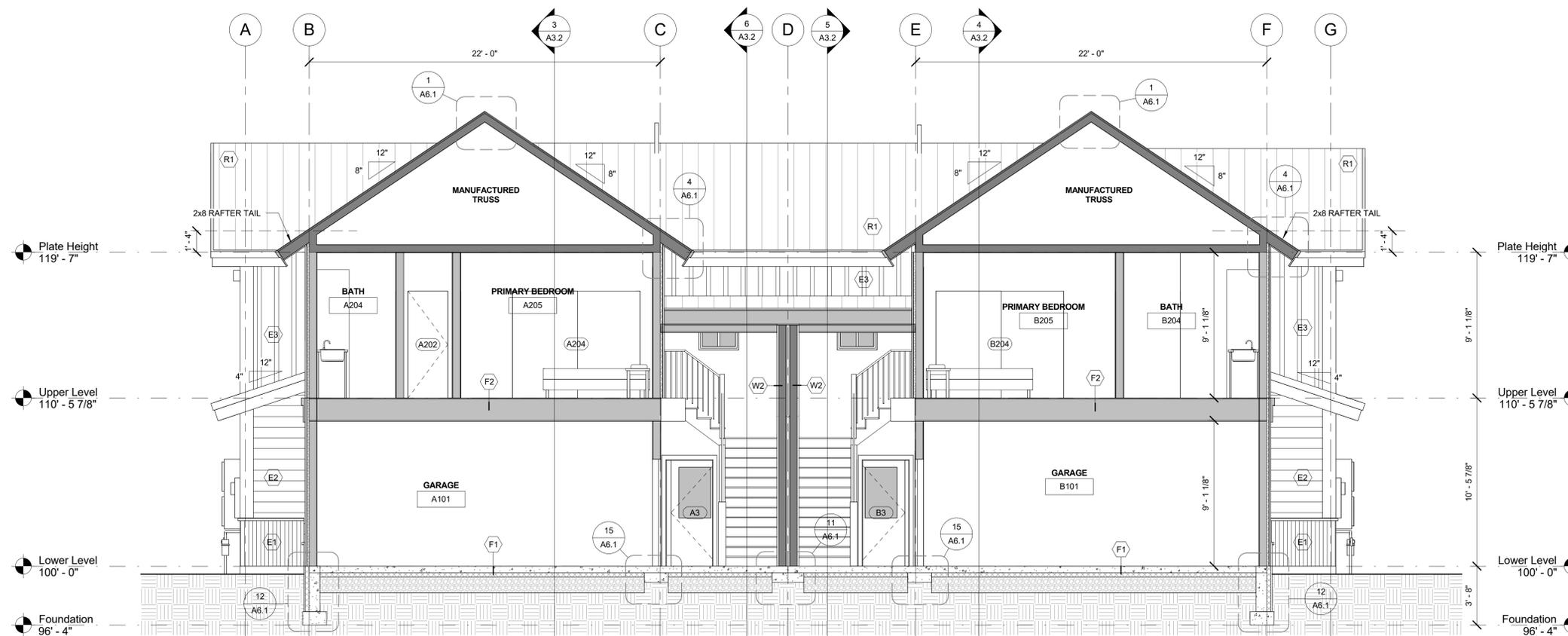
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B	6/17/24	SCHEMATIC DESIGN 02
C	9/20/24	SCHEMATIC DESIGN 03
D	7/07/25	DESIGN REVIEW SET 01

ELEVATIONS

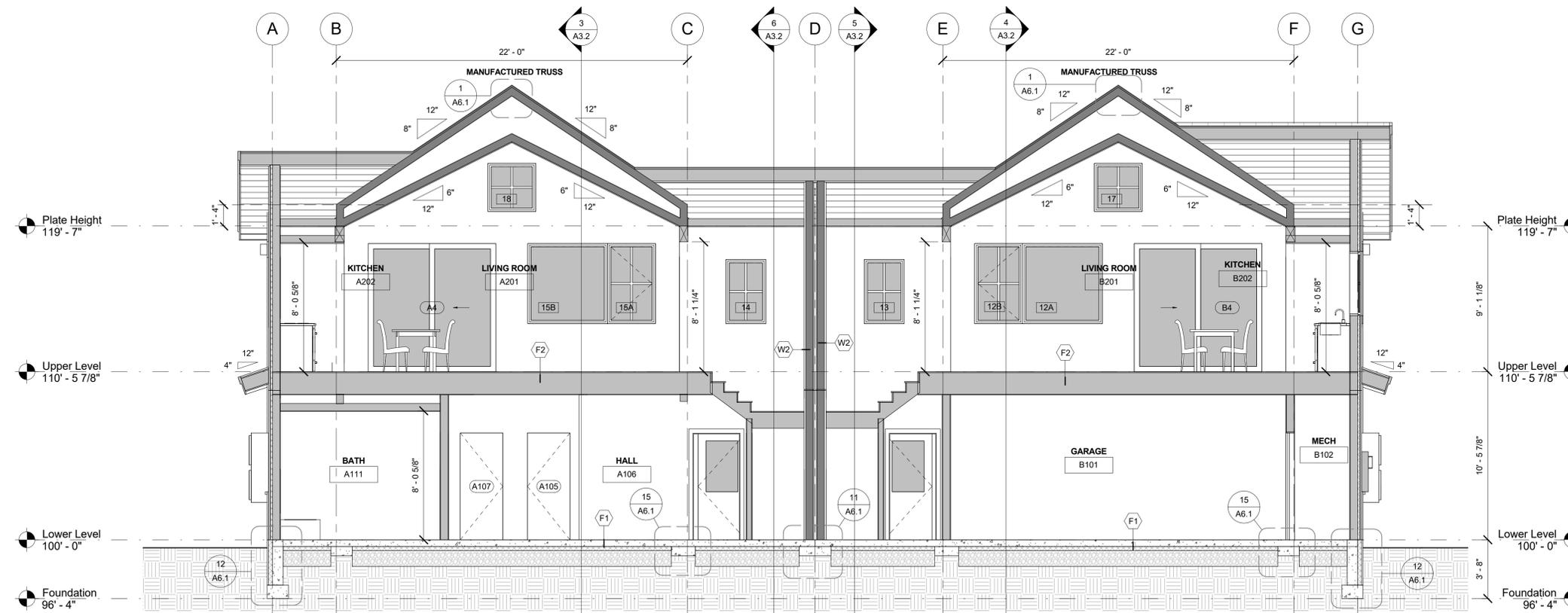
PROJECT NO.: 240221
PROJECT DATE: 6/14/24
SHEET NUMBER:

A2.2

FOR REVIEW ONLY
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1 Section Long Axis 1
1/4" = 1'-0"



2 Section Long Axis 2
1/4" = 1'-0"

ISSUE LOG	
A	6/14/24 SCHEMATIC DESIGN 01
B	6/17/24 SCHEMATIC DESIGN 02
C	9/20/24 SCHEMATIC DESIGN 03
D	7/07/25 DESIGN REVIEW SET 01

SECTIONS

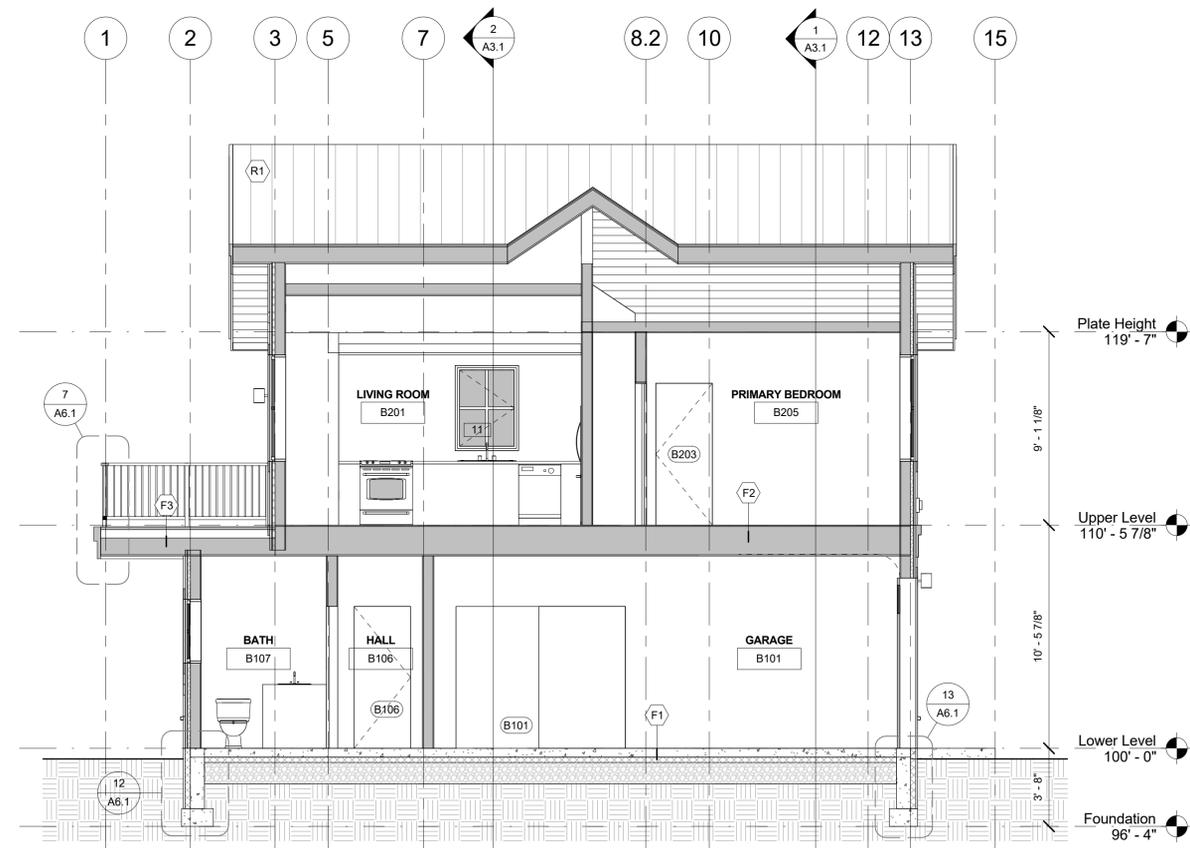
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PROJECT DATE: 6/14/24
SHEET NUMBER:

A3.1

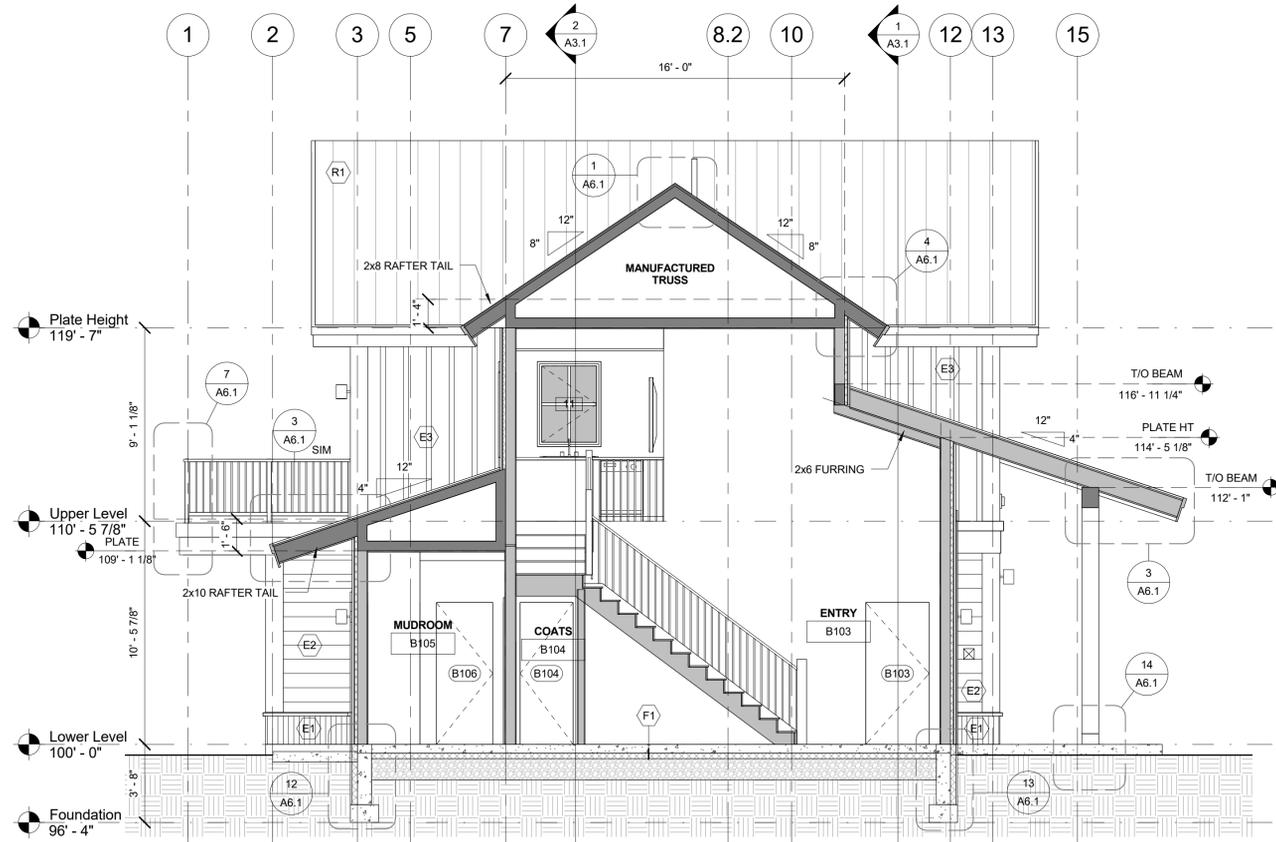
**FOR REVIEW ONLY
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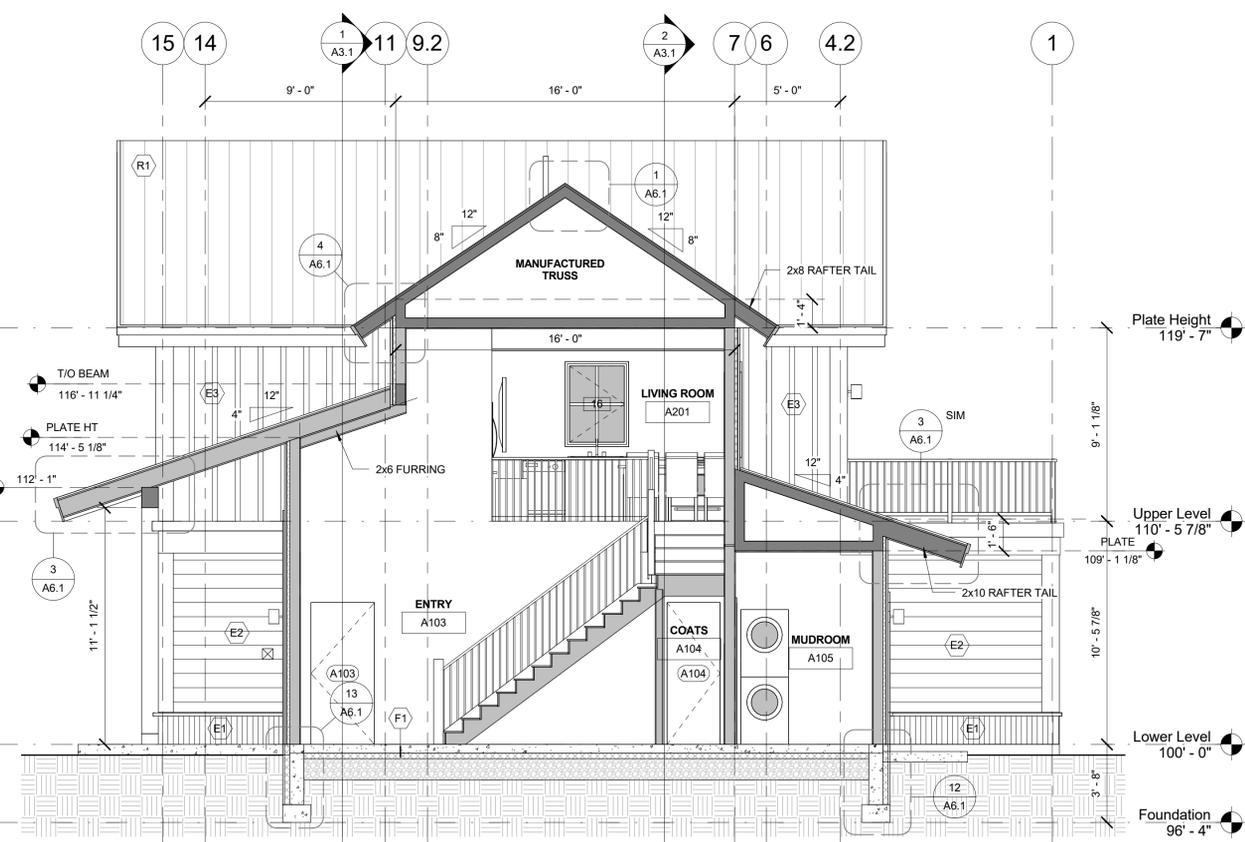
3 Section Unit A Living
A3.2 1/4" = 1'-0"



4 Section Unit B Living
A3.2 1/4" = 1'-0"



5 Section Unit B Stairs
A3.2 1/4" = 1'-0"



6 Section Unit A Stairs
A3.2 1/4" = 1'-0"

ISSUE LOG	
A	6/14/24 SCHEMATIC DESIGN 01
B	6/17/24 SCHEMATIC DESIGN 02
C	9/20/24 SCHEMATIC DESIGN 03
D	7/07/25 DESIGN REVIEW SET 01

SECTIONS

PROJECT NO.: 240221
PROJECT DATE: 6/14/24
SHEET NUMBER:

A3.2

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1 Southwest View
A7.1



2 Southeast View
A7.1



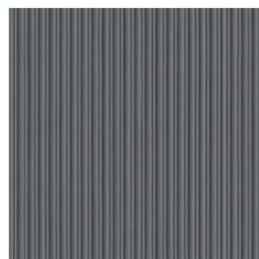
3 Northeast View
A7.1



4 Northwest View
A7.1



R1 - STANDING SEAM METAL ROOF
24 GAUGE, 16" PANELS, 1-1/2" RIB
HEIGHT, COLOR "CLASSIC BRONZE"



E1 - 24 GAUGE 7/8" CORRUGATED
METAL WAINSCOT, 36" WIDE
PANELS, COLOR MS "ZINC GREY"



E2 - LAP SIDING, HARDIE PLANK, 8-1/4"
WIDTH, CEDARMILL TEXTURE, PAINT
COLOR BM "NORTHWOOD BROWN"



E3 - BOARD & BATTEN, HARDIE
PANEL, 3-1/2" BATTENS WITH 10"
REVEAL, CEDARMILL TEXTURE,
COLOR "REVERE PEWTER"



HEAVY TIMBER
ROUGH SAWN DOUG FIR,
STAIN "CANYON BROWN"



SOFFIT AND CEILINGS
1x6 SHIPLAP PINE, STAIN
"CEDAR NATURAL TONE"



WINDOWS
FIBERGLASS,
SIMULATED
DIVIDED LIGHTS,
COLOR "BLACK"



GARAGE DOOR
FRY WOOD-FACED,
STAIN "CANYON BROWN"



FRONT DOOR
WOOD, STAIN
"CANYON BROWN"



EXTERIOR LIGHT FIXTURE,
FULLY SHIELDED SINGLE
CYLINDER, LED BULB,
BLACK

ISSUE LOG	
A	6/14/24 SCHEMATIC DESIGN 01
B	6/17/24 SCHEMATIC DESIGN 02
C	9/20/24 SCHEMATIC DESIGN 03
D	7/07/25 DESIGN REVIEW SET 01

3D VIEWS

PROJECT NO.: 240221

PROJECT DATE: 6/14/24

SHEET NUMBER:

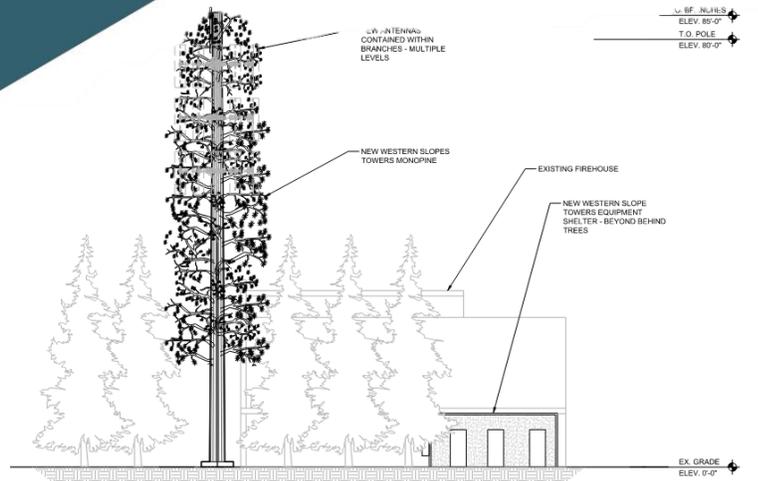
A7.1

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CB SOUTH COMM FACILITY

EMERGENCY/COMMERCIAL COMMUNICATIONS
 CONSTRUCT, OPERATE, AND MAINTAIN
 CRESTED BUTTE SOUTH, COLORADO



CRESTED BUTTE SOUTH FIRE DISTRICT
 5676 RED ROCK DR, CRESTED BUTTE SOUTH, CO 81224

236 S. 3rd. St. #319
 Montrose, CO 81401

Scott Stryker
 970.209.5138
 scott@strykerco.net



Crested Butte South Fire District
349 Teocalli Rd.
Crested Butte South, CO 81224

Dear Board Members,

We want to thank you for the opportunity to submit the following proposal for this project. Within the attached documents, you will find that we have worked diligently to exhaust multiple locations for a proposed Telecommunication Facility within the CB South area. After over a year and a half of researching multiple locations, we have identified the subject parcel as the best location to meet the projected coverage area. We have been working closely with CB Fire and Gunnison County Emergency Management to identify the most feasible and viable option to provide much-needed wireless service/coverage and emergency communications to the residents and visitors of Gunnison County, Crested Butte and South CB.

Factors evaluated when considering the placement of a new Communication Facility:

- **Topography**
- **Access**
- **Utilities**
- **Surrounding Vegetation**
- **Willing Property owners**
- **Coverage Objective**
- **Sensitivity to community**

Based on the above criteria, we then consider additional impacts. Due to the surrounding residential area, we are placing a high importance on aesthetics and visual appearance.

Project Details:

The proposed Multi-User facility will consist of a 12' x 40' "build in place" radio/electrical shelter along with a 85' "stealth" Mono-Pine designed structure to accommodate the antenna equipment. A back-up generator will also be installed in the event commercial power is lost or down for an extended period.

Recent Projects:

Over the past four years we have worked closely with local emergency responders and the State of Colorado in an effort to identify locations lacking wireless and emergency communications. Here are a few of our recently completed and current projects:

- **Almont/Commstock** – This site was constructed in 2021. And Currently have AT&T with First Net emergency communication as well as Gunnison Met Rec on the tower.
- **Little Blue Creek** – This site was constructed in partnership with Gunnison County, Delta County, Montrose County and the State to provide enhanced wireless and emergency communications during an extended, (3 year) HWY 50 Realignment project.
- **Crawford – Youngs Peak** – The Montrose BLM District Office approached us for assistance with the rebuilding/managing of a “damaged” downed tower, with multiple tenants. This site now accommodates two (2) radio stations, a commercial wireless provider and internet provider.
- **McClure Pass** – This location is currently in the permitting phase with two (2) USFS District Ranger Offices and recently received approval from the Gunnison County Land Use Department. This project involves four (4) different Counties as well as two (USFS) Offices and the State of Colorado.

We appreciate the opportunity and always attempt to keep the impacts to a minimum. We can't emphasize enough that as a neutral third party, we are not biased, we welcome all emergency, commercial and private users. This in turn promotes competition and eliminates the need for multiple towers in the area.

Best regards,

Chris C. Stryker
Manager/Member, Western Slope Towers, LLC

CB South Tower Path

Here are the 6 Property locations we've tried unsuccessfully to locate a multi user tower on. The location we believe best suits everyone's needs is the CB S

Legend

 CB South Fire - Center of Region, Distributes up and out to users.

CB South Metropolitan Water tank - Metal Roofs not conducive to low power wireless

 Spann Ranches - Concerned about future plans for property- also has access and utility challenges

Not receptive to new facility 

Google Earth

Image © 2025 Airbus

 CB South Fire - Center of Region, Distributes up and out to users



1 mi

 Niccoli Site - Existing CommNet Site

 Dietrich Site - Financially not feasible

 Forest Service - Red Mountain Ranch - Not Feasible

CONTACT INFORMATION

TOWER OWNER: WESTERN SLOPE TOWERS, LLC
 236 S. 3RD STEET #319
 MONTROSE, CO 81401
 SCOTT STRYKER
 970.209.5138

SITE DEVELOPMENT: STRYKER SITE SERVICES
 PO BOX 1558
 DENVER, CO 80201
 CHRIS STRYKER
 303-859-0344

ENGINEER OF RECORD: TELEMtn ENGINEERING LLC
 PO BOX 1453
 SALIDA, CO 81201
 KHRISTOPHER SCOTT, P.E.
 303.596.6804



**Western Slope
Towers, LLC**

SITE NAME: **CB SOUTH - FPD**
 SITE ID: **CO-0556**
 SITE TYPE: **85' MONOPINE**
 SITE TYPE: **NEW SITE BUILD**



**Western Slope
Towers, LLC**

PLANS PREPARED BY:



PO BOX 1453
 SALIDA, CO 81201
 303-596-6804

SITE INFORMATION

SITE ADDRESS: 349 TEOCALLIO ROAD
 CRESTED BUTTE, CO 81224

PARCEL NUMBER: 325727206003
 PROPERTY OWNER: CB FPD
 PO BOX 1009
 CRESTED BUTTE CO 81224

STRUCTURE TYPE: MONOPINE
 LATITUDE (NAD 83): 38° 48' 45.04" N +/-
 LONGITUDE (NAD 83): 106° 53' 19.61" W
 GROUND ELEV.: 8618' ± AMSL

COUNTY: GUNNISON COUNTY
 OCCUPANCY GROUP: UNOCCUPIED

POWER PROVIDER: T.B.D.

VICINITY MAP



SCOPE OF WORK

- NEW SCOPE OF WORK:
- INSTALL (1) MONOPINE
 - INSTALL (1) EQUIPMENT SHELTER
 - INSTALL BACK-UP GENERATOR
 - INSTALL FIBER/BACK-HAUL UTILITY

DRAWING INDEX

T1	TITLE SHEET
A1	OVERALL SITE PLAN
A2	ENLARGED SITE PLAN
A3	ELEVATION
A4	ELEVATION

DO NOT SCALE DRAWINGS

CONTRACTOR SHALL VERIFY ALL PLANS & EXISTING DIMENSIONS & CONDITIONS ON THE JOB SITE & SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME

GENERAL NOTES

THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. A TECHNICIAN WILL VISIT THE SITE AS REQUIRED FOR ROUTINE MAINTENANCE. THE PROJECT WILL NOT RESULT IN ANY SIGNIFICANT DISTURBANCE OR EFFECT ON DRAINAGE; NO SANITARY SEWER SERVICE, POTABLE WATER, OR TRASH DISPOSAL IS REQUIRED AND NO COMMERCIAL SIGNAGE IS NEW.

DRIVING DIRECTIONS

DIRECTIONS TO SITE FROM DENVER, CO:
 TAKE I70 WEST TO C470 EAST TO HWY 285 S. FOLLOW HWY 285 SOUTH TO PONCHA SPRINGS. TAKE A RIGHT ON HWY 50 AND HEAD WEST TO GUNNISON. TAKE A RIGHT ON CO-135 AND HEAD NORTH. FOLLOW FOR 20 MILES AND TAKE A RIGHT ON CEMENT CREEK ROAD. TAKE A LEFT ON TEOCALLI ROAD AND FOLLOW TO SITE ON THE RIGHT.

REFERENCE DOCUMENTS

DATE	DOCUMENT

APPLICABLE CODES

2021 INTERNATIONAL BUILDING CODE
 2023 NATIONAL ELECTRIC CODE



**Know what's below.
Call before you dig.**

TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN COLORADO, CALL COLORADO 811
 TOLL FREE: 1-800-922-1987 OR www.co811.org
 COLORADO STATUTE REQUIRES MIN OF 2 WORKING DAYS NOTICE BEFORE YOU EXCAVATE

LICENSURE NO:

**NOT FOR
CONSTRUCTION**

DRAWN BY:	CHK BY:	APV BY:
KS	MC	KS

CO-0556
 CB SOUTH - FPD
 349 TEOCALLI RD.
 CRESTED BUTTE, CO 81224

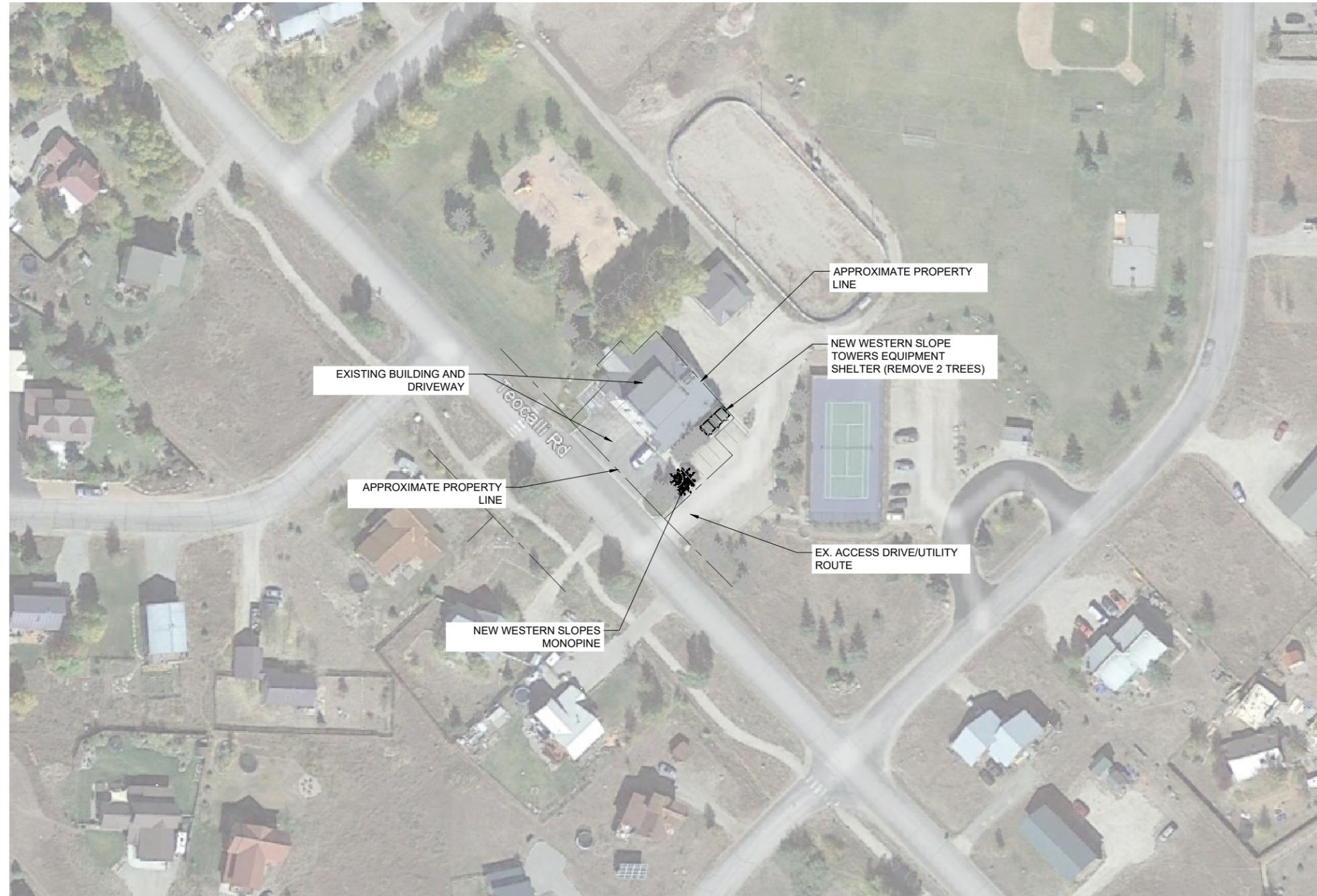
SHEET TITLE:

TITLE SHEET

SHEET NUMBER:

T1

NOTE:
1. SITE PLAN DONE WITHOUT BENEFIT OF A SURVEY



**Western Slope
Towers, LLC**

PLANS PREPARED BY:



PO BOX 1453
SALIDA, CO 81201
303-596-6804

Rev:	Date:	Description:	By:
0	06.18.25	PRELIM ZD	KS

LICENSURE NO:

**NOT FOR
CONSTRUCTION**

DRAWN BY:	CHK BY:	APV BY:
KS	MC	KS

CO-0556
CB SOUTH - FPD
349 TEOCALLI RD.
CRESTED BUTTE, CO 81224

SHEET TITLE:

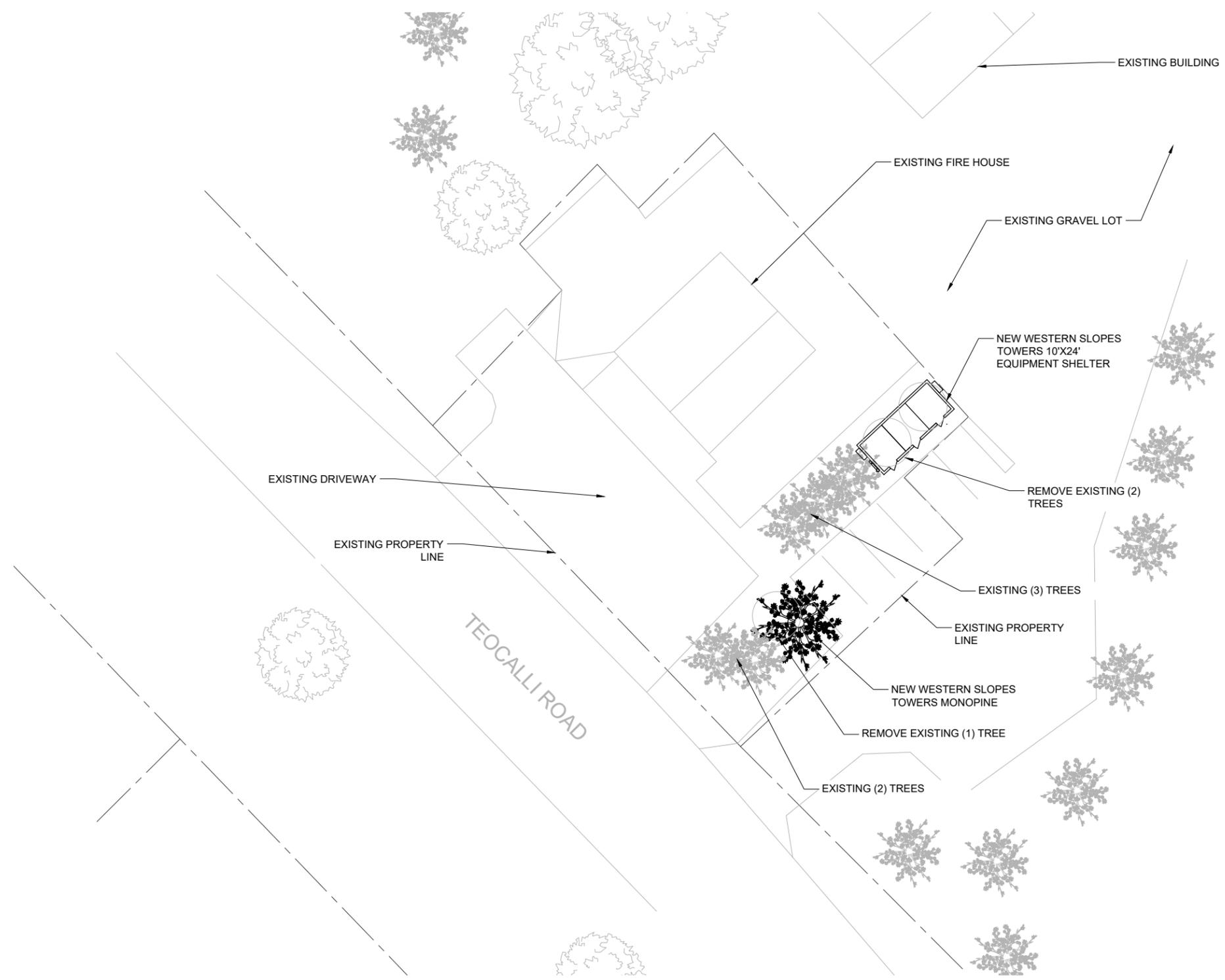
**OVERALL
SITE PLAN**

SHEET NUMBER:

A1



NOTE:
1. SITE PLAN DONE WITHOUT BENEFIT OF A SURVEY



**Western Slope
Towers, LLC**

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SALIDA, CO 81201
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Rev:	Date:	Description:	By:
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DRAWN BY:	CHK BY:	APV BY:
KS	MC	KS

CO-0556
CB SOUTH - FPD
349 TEOCALLI RD.
CRESTED BUTTE, CO 81224

SHEET TITLE:

**ENLARGED
SITE PLAN**

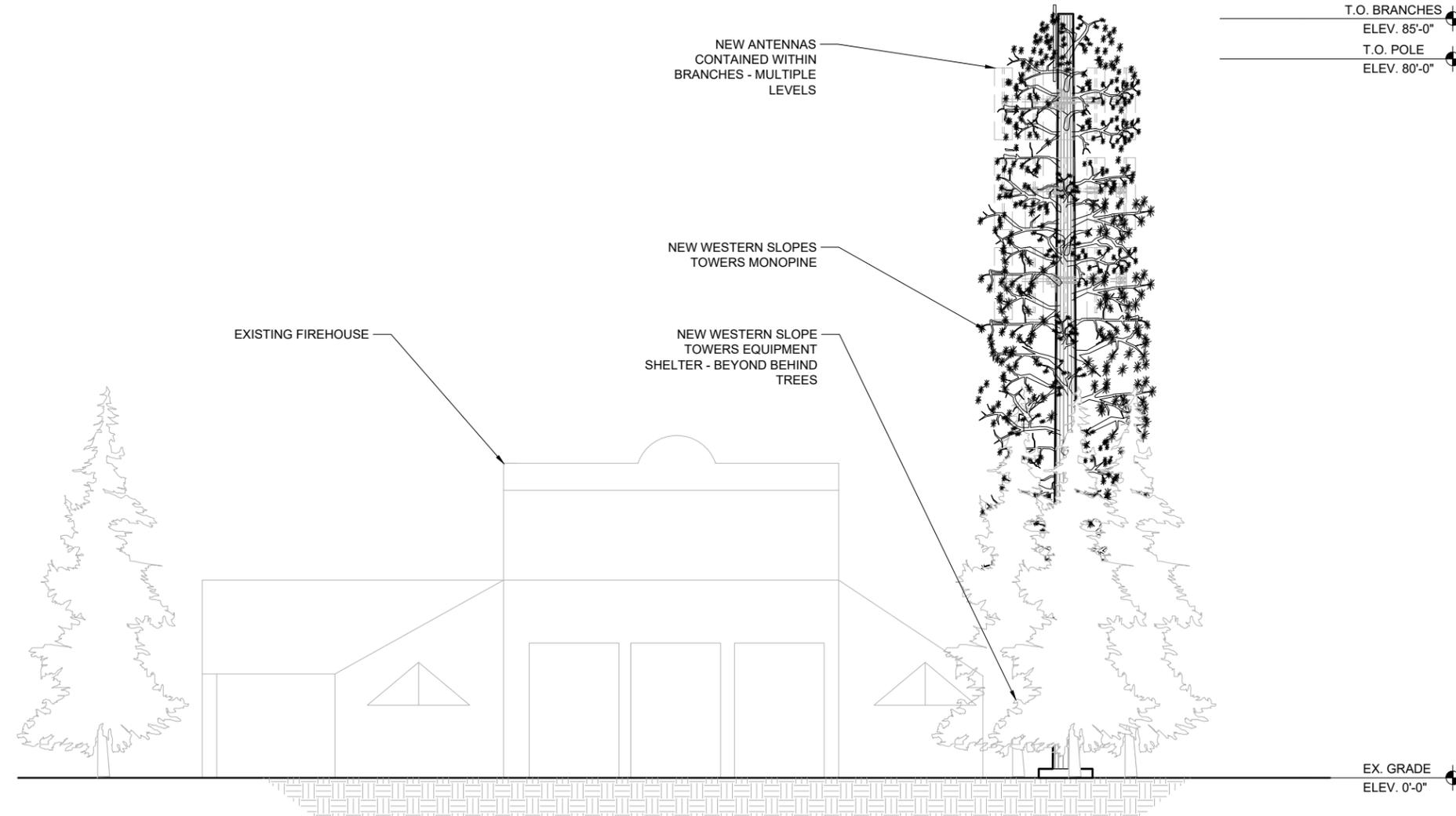
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A2



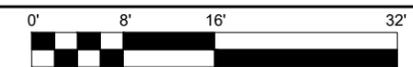
STRUCTURAL NOTES / STRUCTURAL SERVICES COMPLIANCE NOTE:

NO WORK SHALL COMMENCE WITHOUT THE APPROVED STRUCTURAL TOWER/ANTENNA/ MOUNT ANALYSIS REPORT (SIGNED AND SEALED) TO BE PROVIDED UNDER SEPARATE COVER. CONTRACTOR PRIOR TO CONSTRUCTION SHALL REVIEW THE APPROVED TOWER/ANTENNA/MOUNT ANALYSIS REPORT SUPPLIED BY WESTERN SLOPE TOWERS, AND MODIFY IF REQUIRED ALL APPLICABLE MEMBERS AS INDICATED IN CERTIFIED STRUCTURAL REPORT PRIOR TO INSTALLATION ON STRUCTURE.



SCALE: 1/16" = 1'-0" (11X17)

SCALE: 1/8" = 1'-0" (24X36)



**Western Slope
Towers, LLC**

PLANS PREPARED BY:



PO BOX 1453
SALIDA, CO 81201
303-596-6804

Rev:	Date:	Description:	By:
0	06.18.25	PRELIM ZD	KS

LICENSURE NO:

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CONSTRUCTION**

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KS	MC	KS

CO-0556
CB SOUTH - FPD
349 TEOCALLI RD.
CRESTED BUTTE, CO 81224

SHEET TITLE:

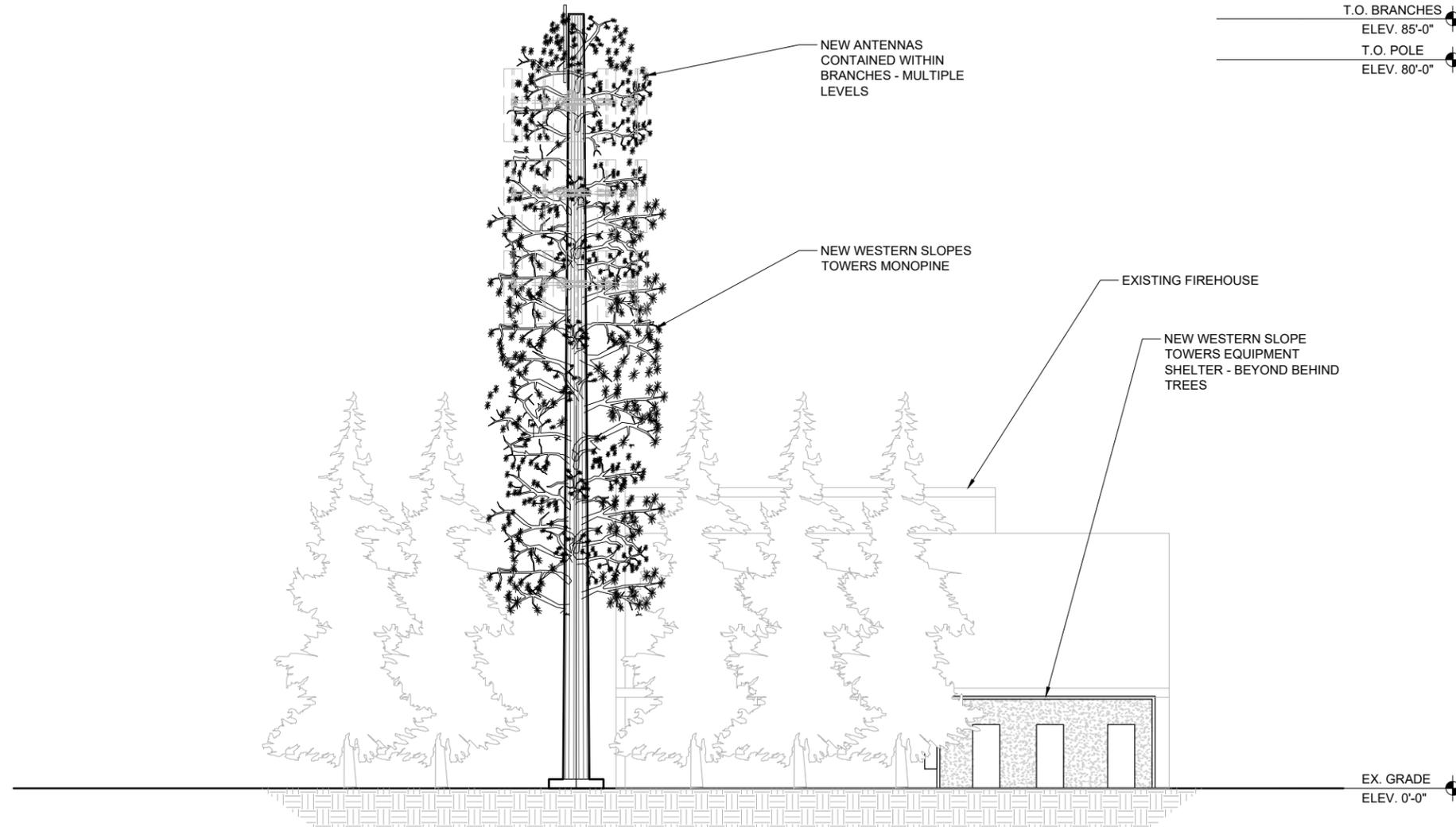
ELEVATION

SHEET NUMBER:

A3

STRUCTURAL NOTES / STRUCTURAL SERVICES COMPLIANCE NOTE:

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**Western Slope
Towers, LLC**

PLANS PREPARED BY:



PO BOX 1453
SALIDA, CO 81201
303-596-6804

Rev:	Date:	Description:	By:
0	06.18.25	PRELIM ZD	KS

LICENSURE NO:

**NOT FOR
CONSTRUCTION**

DRAWN BY:	CHK BY:	APV BY:
KS	MC	KS

CO-0556
CB SOUTH - FPD
349 TEOCALLI RD.
CRESTED BUTTE, CO 81224

SHEET TITLE:

ELEVATION

SHEET NUMBER:

A4

Western Slope Towers Site Name: CB South FS
Western Slope Towers Site Number: CO-0556



Existing View from the Northeast



New View with Proposed 80' Monopine + 5' Branches



(This photo simulation is for illustrative purposes only)

**Western Slope
Towers, LLC**



Western Slope Towers Site Name: CB South FS
Western Slope Towers Site Number: CO-0556



Existing View from the Northwest



Proposed Western Slope Towers Monopine

New View with Proposed 80' Monopine + 5' Branches



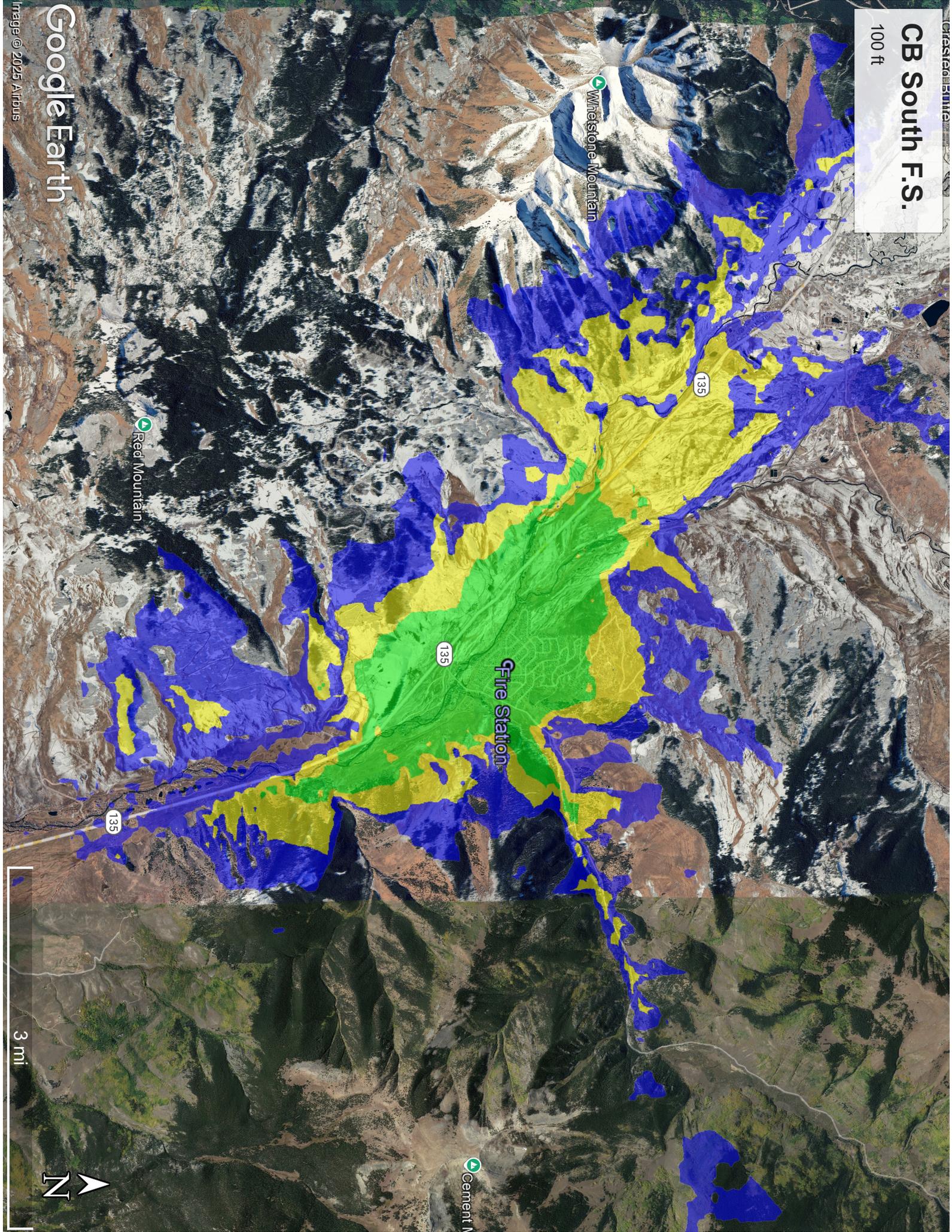
(This photo simulation is for illustrative purposes only)

**Western Slope
Towers, LLC**



CB South F.S.

100 ft



Whetstone Mountain

Red Mountain

Fire Station

Cement

135

135

135

3 mi





CRESTED BUTTE FIRE PROTECTION DISTRICT

306 MAROON AVENUE • P.O. Box 1009

CRESTED BUTTE, CO 81224

(970) 349-5333

ADMINISTRATION FAX: (970) 349-3420 • OPERATIONS FAX: (970) 349-0438

WEBSITE: WWW.CBFPD.ORG

April 16, 2024

Western Slope Towers
C/O Chris Stryker
236 S. 3rd St. #319
Montrose, CO 81401

Subject: Letter of Support for Tower Development – Red Mountain Ranch Area

Dear Chris,

The Crested Butte Fire Protection District is a political subdivision of the State of Colorado that provides fire protection and emergency medical services to 220 square miles of the Upper Gunnison Valley including the municipalities of Crested Butte, Mt. Crested Butte, and multiple subdivisions north of Mile Marker 19 on Colorado Highway 135 including Crested Butte South, the largest residential subdivision in Gunnison County. For a number of years our public safety radio system coverage has been inadequate to nonexistent once our radios travel south of Mile Marker 23 where the shadow of Crested Butte Mountain blocks the signal from our primary towers located on Sunlight Ridge in Mt. Crested Butte. The gap continues until well south of the Fire District Boundary until we can pick up tower sites on Comstock Mountain near Almont or W Mountain near Gunnison. Mobile phone coverage is also spotty in this area which includes the vast majority of the Crested Butte South subdivision and surrounding areas inhibiting communications among EMS, fire and police responders to the area.

As a result, we are very supportive of efforts by Western Slope Towers to identify and develop a suitable telecommunications tower location on the west side of Highway 135 in the vicinity of the Red Mountain Ranch subdivision. We understand negotiations with landowners are underway and if tower development is successful, we would look to install public safety radio equipment in cooperation with the tower developer at our earliest opportunity to support our mission to protect lives and property in the area. Furthermore, we believe the opportunity for mobile providers to install equipment at the site would improve the redundancy of our communications while also enhancing safety, connectivity and convenience for local residents and visitors.

Sincerely,

Sean Caffrey, MBA, NRP, CEMSO, FACPE
Chief Executive Officer & Commissioner
Crested Butte Fire Prevention District



COLORADO

Division of Homeland Security & Emergency Management

Department of Public Safety

Office of Public Safety Communications
9195 E. Mineral Avenue, Suite 200
Centennial, CO 80112

April 17, 2024

To whom it may concern:

Please consider this correspondence as a letter in full support of the proposed development of the Red Mountain Ranch Communications Site. The development of this communications site will provide desperately needed mission critical two-way radio communications for all local, tribal, state and federal public safety first responders across the area.

This area along Highway 135 has long been identified as an area with marginal public safety radio coverage, creating a dangerous situation for first responders and for the general public traveling through or recreating in the area. We are optimistic that the currently proposed development of this communication site will gain the approvals and authorizations as required and construction can commence as soon as possible.

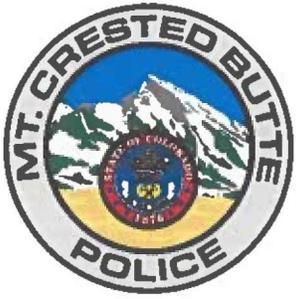
Very Respectfully,
Pam Monsees, Program Manager
State of Colorado
Office of Public Safety Communications



COLORADO
Department of Public Safety

700 Kipling Street, Lakewood, CO 80215 | PublicSafety.Colorado.gov

Jared Polis, Governor | Stan Hilkey, Executive Director



Mt. CRESTED BUTTE POLICE DEPARTMENT

911 Gothic Road • PO Box 5800
Mt. Crested Butte, Colorado
Office: 970-349-6516
Fax: 970-349-5866

May 6, 2024

The Honorable Pete Buttigieg
Secretary
United States Department of Transportation
1200 New Jersey Avenue, SE
Washington, DC 20590

RE: Mt. Crested Butte Police Department supports the Gunnison Valley SH 135 Comprehensive Safety Package

Dear Secretary Buttigieg,

I am writing to express the Mt. Crested Butte Police Department's strong support for the Gunnison Valley SH 135 Comprehensive Safety Package action plan as part of the DOT's *Safe Streets and Roads for All* grant program. Gunnison County, the City of Gunnison, Gunnison Valley Health, the Town of Crested Butte, Gunnison Regional 9-1-1 Center, and the Crested Butte Fire Protection District will together implement highway safety reconfigurations, critical intersection redesigns, and post-crash care emergency response improvements to improve the safety of our region's most critical corridor.

In conjunction with a Law Enforcement Agreement between and among the Gunnison County Board of County Commissioners, Gunnison County Sheriff, and the Town of Mt. Crested Butte, the Mt. Crested Butte Police Department (MtCBPD) provides Sheriff's department and law enforcement services to over 500 square miles of Gunnison County including SH 135, the municipality of Mt. Crested Butte and Crested Butte Mountain Resort. The MtCBPD supports the Gunnison Valley SH 135 Comprehensive Safety Package because it will improve safety for all roadway users; mitigate traffic congestion; increase efficiency at key intersections; and reduce greenhouse gas and pollutant emissions in support of multi-modal transit, climate sustainability and public health.

The MtCPD is ready to be engaged and supportive of the Gunnison Valley SH 135 Comprehensive Safety Project moving forward. We commit to be involved in the project as a local government partner, provide feedback on project deliverables, and implement improvements to post-crash care included in the grant action plan. Please give the application the highest consideration.

Best Regards,

A handwritten signature in black ink, appearing to read "Nate Stepanek".

Nate Stepanek
Chief of Police
Mt. Crested Butte Police Dept.

