

CRESTED BUTTE FIRE PROTECTION DISTRICT BOARD
OF DIRECTORS REGULAR MEETING

Station 2

751 Gothic Road, Mt. Crested Butte, CO 81225

Tuesday June 20, 2023 5:15 PM

- 5:00 CALL REGULAR MEETING TO ORDER
1. Introduction of Guests
 - a. Todd Goulding – Goulding Development Advisors
 2. Review / Changes to Agenda
- 5:05 CONSENT AGENDA
1. Approval of minutes May 9, 2023 regular meeting
 2. Approval of monthly financial reports
- 5:10 OATH OF OFFICE
- 5:15 EMS & FIRE CHIEF REPORT
1. Operations and Staffing Report
 - a. Paramedic Recruitment
 - b. Vehicle Updates
- 5:30 PUBLIC COMMENT
- 5:50 OLD / UNFINISHED BUSINESS
1. Emergency Services Campus Update – Caffrey / Goulding / Lo / Harris
 - a. Review and Approve Sewer Service Conditions
 - b. Review Water Service Proposal
 - c. Design, Entitlement, Schedule and Budget Update
 2. Larkspur Lots Update
 3. Lazy K Lottery – Next Round July 20th
- 6:15 CHIEF EXECUTIVE OFFICER REPORT / NEW BUSINESS
1. Fire Prevention Report
- 6:25 UNSCHEDULED BUSINESS AND BOARD MEMBER COMMENTS
- 6:30 EXECUTIVE SESSION (If Needed)
1. Pursuant to Section 24-6-402(4)(e), C.R.S., Determining positions relative to matters that may be subject to negotiations; developing strategy for negotiations; and instructing negotiators related to the new District facilities and potential utility services to those facilities.
- 6:45 ADJOURNMENT

Online Meeting Information

<https://zoom.us/j/9703495333?pwd=ZUINRFBCL253UzlxSGNhQ0laS29TQT09>

One Tap Mobile +16699009128,,9703495333# US (San Jose)

+1 312 626 6799 US (Chicago) - Meeting ID: 970 349 5333

Password: 5333

CRESTED BUTTE FIRE PROTECTION DISTRICT
MINUTES OF REGULAR MEETING
Mt. Crested Butte Fire Station 2
Tuesday, May 9, 2023
Approved _____

Attendance

Board Members Present: Chris McCann, Jack Dietrich, Ken Lodovico, Tina Kempin, Eric Tunkey
Guests: John Chmil- Lyons Gaddis Attorneys; Todd Goulding- Goulding Development Advisors
Staff, Volunteers and Public: Sean Caffrey, Robert Weisbaum, Annie Tunkey, Ric Ems, Joe Wonnacott, Jeff Duke, Dwayne Lehnertz

Changes to Agenda

Meeting called to order at 5:15 pm by Board Chairman Chris McCann.
There were no changes to the agenda.

Oath of Office

Newly elected board members John (Jack) Dietrich, Kristina (Tina) Kempin, W. Eric Tunkey were duly sworn and seated.

Consent Agenda

Approval of minutes April 2023 Regular Meeting
Approval of Monthly Financial Reports
Motion to approve the consent agenda by Dietrich, seconded by Lodovico. Motion passes unanimously.

EMS & Fire Chief Report

Chief Weisbaum presented his written report highlighting the volunteer retention and recruitment challenges in the district. Weisbaum noted personnel changes including, Melvin Seyfried moving to part-time and Dustin Morgan retiring from emergency service. As such, there is currently a posting for a paramedic/firefighter, which will remain open until May 31, and John Bielak will be starting next week in the Engineer position. Chief Weisbaum notes that the Driver Operator Pumper training concluded and was a benefit to the department. In vehicle updates, an apparatus committee was formed for the engine replacement and the new ambulance build will be delayed due to supply chain issues. Chief Weisbaum has submitted an extension on the ambulance grant will hear if it is approved in June.

Public Comments

Mt. Crested Butte resident Dwayne Lehnertz, 25 Cinnamon Mountain Rd, addressed the board to comment on the district's election. Lehnertz felt that the ballot language "without raising taxes" was devious and that the De-brucing was asked for because the district needs more money for the station 1 construction. Additionally, Lehnertz states the instructions on the envelope and secrecy sleeve were conflicting stating, "There are several dozen people whose vote did not count". Lehnertz felt the election was "bungled" and may look at the process necessary to protest the election. Chairman McCann thanked Lehnertz for his comments and clarified that the TABOR issue was not related to the station 1 build but instead an attempt to rectify de-brucing that should have occurred in the 1990s. Further McCann states he is aware that the mail ballot was not perfect, on this first attempt, and that the board learned a lot. In the future, there will be drop boxes locally to receive ballots the day of the election.

New Business

CEO Caffrey provided his written report in the packet and touched on the election results stating that Colorado law is clear that ballots must be received by 7 pm on Election Day, unless you are an overseas UOCAVA voter. Tunkey suggests a drop box at the new HQ location and Kempin states she was happy with the voter participation. Dietrich asks about the property tax assessment. CEO Caffrey states the new assessment rates will increase CBFPD revenue by about 40%. Caffrey and A. Tunkey will be attending an SDA regional workshop in June, which will clarify legislation passed by the State Legislature regarding any tax credits due to assessed evaluation rates. Dietrich suggests being sensitive to the taxpayers new assessed valuations as we plan for the upcoming budget.

Fire Marshal Ems presented his written report stating the prevention office is under considerable pressure to turn over plan reviews at the start of the building season once again. In updates Ems states: two new subdivisions are being added to Mt. Crested Butte, dry hydrant testing is underway, and First Due representatives will be in the office Tuesday so the team has been hustling to get ESO transferred into the new software system. Kempin asks how the road/subdivision naming process works to prevent redundant names. Ems states that there is not a process to request names but he will always address issues in his plan review additionally, Caffrey states that he will take the redundant naming issue to the COM board.

In employee housing, Caffrey reports that CBFPD participated in the Lazy K lottery but were not chosen therefore, the information included in the packet is for future opportunities. The CBFPD is interested in a master lease at 65 Paradise Rd., which is owned by the Town of Mt. Crested Butte. The lease rate will be \$2800/ month and the district will subsidize at about \$700/month. Board member Kempin thinks a master lease is great and asks about the subsidy. Caffrey responds that as long as we are charging fair market rent the subsidy will not turn into compensation to the employee.

Both CEO Caffrey and Annie Tunkey will be of town for the June 9th regular board meeting. The board moved the meeting to June 20th.

The board suggests holding the strategic planning retreat November 9-11.

Unscheduled Business

Caffrey asks board members to mark their calendar for September 10th for the 50th Anniversary Open House.

Old Business

There has been no further design work on the campus project as we are waiting for the location and extent/land use meeting with the county. The planning commission meeting will take place at 9 am, May 18th at the Blackstock Building in Gunnison. Goulding states this meeting will “set the record” and anticipates having public present who may voice their concerns regarding water, sewer, and sustainability. Kempin asks about the on-going negotiation with the Town of Crested Butte and if that will affect the negotiations with the county. Caffrey states if we can be closer to an agreement with the Town of Crested Butte, it will likely benefit the May 18th meeting. Dietrich asks what the EQR for the tap fees would be for the Town of CB. Goulding states that he was carrying \$250,000 in the budget for tap fees; at this time the tap fees are looking to be closer to \$500,000.

Executive Session

Motion to enter executive session Pursuant to Section 24-6-402(4)(e), C.R.S., Determining positions relative to matters that may be subject to negotiations; developing strategy for negotiations; and instructing negotiators and Section 24-6-402(4)(b) to receive legal advice related to the new District facilities and potential utility services to those facilities by McCann, Seconded by Dietrich. Motion passes unanimously.

The board entered executive session at 7:00 pm.

Motion to exit executive session and adjourn by Dietrich, seconded by Tunkey at 7:55 pm. Motion passes unanimously.

Crested Butte Fire Protection District

BUDGET VS. ACTUALS: CBFPD 2023 APPROVED - FY23 P&L

January - December 2023

	Actual	Budget	over Budget	Total % of Budget
INCOME				
4000 Property Tax - General Fund	2,418,182.82	3,364,776.00	-946,593.18	71.87 %
4020 Specific Ownership Tax	57,219.23	130,000.00	-72,780.77	44.01 %
4040 Intergovernmental Revenue		25,000.00	-25,000.00	
4100 Ambulance/ EMS Service Fees	141,688.26	300,000.00	-158,311.74	47.23 %
4200 Plan Review Fees	171,521.50	125,000.00	46,521.50	137.22 %
4240 Rental Income	40,726.00	69,500.00	-28,774.00	58.60 %
4300 Impact Fees	11,963.81	25,000.00	-13,036.19	47.86 %
4400 Interest Income	37,558.25	25,000.00	12,558.25	150.23 %
4500 Grant Proceeds		150,000.00	-150,000.00	
4600 Contributions / Donations	1,000.00		1,000.00	
4710 Sale of Assets	6,300.00	2,000.00	4,300.00	315.00 %
4720 Vendor Refunds	13,560.00		13,560.00	
Unapplied Cash Payment Income	-3,104.00		-3,104.00	
Total Income	2,896,615.87	4,216,276.00	-1,319,660.13	68.70 %
GROSS PROFIT	2,896,615.87	4,216,276.00	-1,319,660.13	68.70 %
EXPENSES				
5010 (A) Wages - Administration	67,824.51	176,000.00	-108,175.49	38.54 %
5020 (A) Wages - Fire Prevention	114,692.70	303,208.00	-188,515.30	37.83 %
5030 (A) Part-Time / Temp Salaries		4,800.00	-4,800.00	
5060 (A) Payroll Processing Fees	2,738.20	6,000.00	-3,261.80	45.64 %
5130 (A) Medicare Tax	2,209.98	7,018.00	-4,808.02	31.49 %
5140 (A) Social Security Tax	2,177.32	6,112.00	-3,934.68	35.62 %
5150 (A) FPPA Pension - ER	14,036.21	41,338.00	-27,301.79	33.95 %
5160 (A) FAMILI Premium - ER	731.52	2,178.00	-1,446.48	33.59 %
5200 (A) Health Benefits	37,274.35	95,193.00	-57,918.65	39.16 %
5210 (A) EAP Program Fees	416.00	3,500.00	-3,084.00	11.89 %
5260 (A) Workers Compensation	40,664.00	45,000.00	-4,336.00	90.36 %

	Actual	Budget	over Budget	Total % of Budget
Insurance				
5270 (A) Ski Pass Benefit		6,000.00	-6,000.00	
5290 (A) Health Reimbursement	53,207.17	92,700.00	-39,492.83	57.40 %
5300 (A) Advertising	1,919.83	5,000.00	-3,080.17	38.40 %
5320 (A) Accounting and Audit Fees	4,115.45	8,000.00	-3,884.55	51.44 %
5330 (E) Ambulance Billing Fees	6,009.98	18,000.00	-11,990.02	33.39 %
5340 (A) Bank Charges	582.23	2,500.00	-1,917.77	23.29 %
5341 QB Credit Card/ACH Fees	1,085.96		1,085.96	
Total 5340 (A) Bank Charges	1,668.19	2,500.00	-831.81	66.73 %
5360 (A) Board Expenses	388.60	11,000.00	-10,611.40	3.53 %
5365 (A) Board Stipends	2,900.00	7,000.00	-4,100.00	41.43 %
5370 (A) Debt Service - Lease Purchase	7,125.53	13,979.00	-6,853.47	50.97 %
5380 (A) Down Payment Assistance		1,500.00	-1,500.00	
5400 (A) Dues & Subscriptions	3,634.90	8,000.00	-4,365.10	45.44 %
5420 (A) Education & Training	2,527.08	18,000.00	-15,472.92	14.04 %
5440 (A) Elections	18,890.26	25,000.00	-6,109.74	75.56 %
5460 (A) Fire Prevention & Life Safety	3,894.06	15,000.00	-11,105.94	25.96 %
5500 (A) Insurance - General	35,174.00	35,000.00	174.00	100.50 %
5520 (A) IT Services & Subscriptions	21,027.24	40,000.00	-18,972.76	52.57 %
5540 (A) Legal & Professional	8,898.68	45,000.00	-36,101.32	19.77 %
5550 (A) Meals & Incentives	3,641.16	23,500.00	-19,858.84	15.49 %
5600 (A) Office Supplies & Equipment	5,157.35	18,000.00	-12,842.65	28.65 %
5620 (A) Postage & Shipping	453.75	3,000.00	-2,546.25	15.13 %
5640 (A) Rent	8,132.96	39,000.00	-30,867.04	20.85 %
5640.1 410 Cascadilla Unit A	12,000.00		12,000.00	
Total 5640 (A) Rent	20,132.96	39,000.00	-18,867.04	51.62 %
5660 (A) Repairs - Buildings	6,425.46	40,000.00	-33,574.54	16.06 %
5670 (A) - Repairs - Rental Units	1,423.11	5,000.00	-3,576.89	28.46 %
5700 (A) Snow Removal	12,432.51	10,000.00	2,432.51	124.33 %
5720 (A) Telecom - Fixed	982.38	9,000.00	-8,017.62	10.92 %
5760 (A) Travel	7,058.04	20,000.00	-12,941.96	35.29 %
5780 (A) Treasurer's Fee - GF	72,563.41	102,001.00	-29,437.59	71.14 %
5810 (A) Utilities - Rental Units	2,287.98	3,000.00	-712.02	76.27 %

				Total
	Actual	Budget	over Budget	% of Budget
5820 (A) Utilities	22,759.75	45,000.00	-22,240.25	50.58 %
5850 (A) Volunteer Pension Contribution	75,000.00	75,000.00	0.00	100.00 %
5900 (A) Miscellaneous-1		2,000.00	-2,000.00	
6010 (O) Wages - Ops FT	582,218.23	1,487,218.00	-904,999.77	39.15 %
6020 (O) Wages - Ops PT	45,133.00	165,000.00	-119,867.00	27.35 %
6060 (O) Unscheduled Overtime	25,599.77	79,011.00	-53,411.23	32.40 %
6070 (O) Training Pay		7,500.00	-7,500.00	
6080 (O) Special Event Pay		1,500.00	-1,500.00	
6090 (O) Volunteer Stipends	9,300.00	50,000.00	-40,700.00	18.60 %
6130 (O) Medicare Tax	8,610.25	25,828.00	-17,217.75	33.34 %
6140 (O) Social Security Tax	3,512.94	13,330.00	-9,817.06	26.35 %
6150 (O) FPPA Pension - ER	65,725.91	178,411.00	-112,685.09	36.84 %
6160 (O) FAML I Premium - ER	2,591.99	8,016.00	-5,424.01	32.34 %
6200 (O) Health Benefits	96,452.71	290,707.00	-194,254.29	33.18 %
6270 (O) Ski Pass Benefit		45,000.00	-45,000.00	
6360 (O) Dispatch Fees	49,219.11	51,000.00	-1,780.89	96.51 %
6420 (O) Education & Training	16,583.45	50,000.00	-33,416.55	33.17 %
6440 (E) EMS Supplies	12,648.70	35,000.00	-22,351.30	36.14 %
6450 (F) Firefighting Supplies	1,641.07	15,000.00	-13,358.93	10.94 %
6460 (O) Fuel	15,059.85	45,000.00	-29,940.15	33.47 %
6480 (O) Hazardous Waste Disposal		1,600.00	-1,600.00	
6550 (O) Meals - Training	6,785.64	16,800.00	-10,014.36	40.39 %
6580 (E) Medical Direction	4,582.20	10,000.00	-5,417.80	45.82 %
6600 (O) Protective Equipment	14,636.48	30,000.00	-15,363.52	48.79 %
6620 (O) Radio & Computer Equipment	12,428.94	20,000.00	-7,571.06	62.14 %
6640 (O) Repairs - Equipment	391.68	6,000.00	-5,608.32	6.53 %
6660 (O) Repairs - Vehicles	7,981.25	40,000.00	-32,018.75	19.95 %
6670 (O) Responder Incentives	2,144.61	10,000.00	-7,855.39	21.45 %
6675 (O) Station Supplies	3,310.59	7,500.00	-4,189.41	44.14 %
6680 (E) Service Contracts	19,776.22	12,700.00	7,076.22	155.72 %
6720 (O) Telecom - Mobile	4,995.90	14,000.00	-9,004.10	35.69 %
6730 (O) Tools & Hardware	543.31	2,000.00	-1,456.69	27.17 %
6750 (O) Training Equipment &	6,961.93	8,000.00	-1,038.07	87.02 %

	Actual	Budget	over Budget	Total % of Budget
Supplies				
6760 (O) Travel	10,922.55	20,000.00	-9,077.45	54.61 %
6800 (O) Uniforms	25,175.39	22,500.00	2,675.39	111.89 %
6820 (O) Wellness & Physicals	1,944.80	10,000.00	-8,055.20	19.45 %
6900 (O) Miscellaneous		2,000.00	-2,000.00	
Total Expenses	1,741,342.09	4,217,148.00	-2,475,805.91	41.29 %
NET OPERATING INCOME	1,155,273.78	-872.00	1,156,145.78	-132,485.53 %
OTHER EXPENSES				
8010 Capital Expenditures		472,500.00	-472,500.00	
Total Other Expenses	0.00	472,500.00	-472,500.00	0.00%
NET OTHER INCOME	0.00	-472,500.00	472,500.00	0.00 %
NET INCOME	\$1,155,273.78	\$ -473,372.00	\$1,628,645.78	-244.05 %

Crested Butte Fire Protection District

Balance Sheet As of May 31, 2023

	TOTAL
ASSETS	
Current Assets	
Bank Accounts	
1000 Operating Checking	257,155.08
1010 BOTW Money Market	314,213.84
1100 COLORTRUST - General Fund	3,060,114.00
1120 COLORTRUST - Debt Proceeds	0.00
1130 CSIP Operating	504,909.08
1200 Triplex Lease Purchase	0.00
Total Bank Accounts	\$4,136,392.00
Accounts Receivable	
1210 Accounts Receivable- Rent/Fees	19,535.37
1211 Mill Levy Property Tax Receivable	946,593.18
1250 Property Tax Receivable	0.00
2220 Prepaid Rent Revenue	0.00
Total Accounts Receivable	\$966,128.55
Other Current Assets	
1000.3 Clearing Account	0.00
1150 Due from CBFPD Bond Fund	0.00
1255 Accounts Receivable - AUDIT	0.00
1260 Undeposited Funds	1,350.00
1300 Prepayments	57,321.41
Total Other Current Assets	\$58,671.41
Total Current Assets	\$5,161,191.96
Fixed Assets	
1500.1 306 Maroon Ave	
Depreciation	0.00
Original cost	0.00
Total 1500.1 306 Maroon Ave	0.00
1500.2 751 Gothic Road	
Depreciation	0.00
Original cost	0.00
Total 1500.2 751 Gothic Road	0.00

	TOTAL
1500.3 331 Teocalli Road	0.00
Depreciation	0.00
Original cost	0.00
Total 1500.3 331 Teocalli Road	0.00
1500.4 104 Avion Dr	
Depreciation	0.00
Original cost	0.00
Total 1500.4 104 Avion Dr	0.00
1500.5 819,821 & 823 Teocalli Ave.	0.00
1500.6 10 9th Street	0.00
1500.8 New Station 1 Campus	0.00
1510 Vehicles	
1510.3 2020 North Star Med 46	0.00
Original cost	0.00
Total 1510.3 2020 North Star Med 46	0.00
1510.4 2020 Kenworth Tender	0.00
Original cost	0.00
Total 1510.4 2020 Kenworth Tender	0.00
1510.5 2020 Chevrolet Blazer	0.00
Original cost	0.00
Total 1510.5 2020 Chevrolet Blazer	0.00
1510.6 2020 Light Rescue	0.00
Original cost	0.00
Total 1510.6 2020 Light Rescue	0.00
1510.7 2021 Chevrolet Suburban	0.00
Original cost	0.00
Total 1510.7 2021 Chevrolet Suburban	0.00
1510.8 2022 Type 6- Brush 1	0.00
Total 1510 Vehicles	0.00
1510.1 2019 Chevrolet Colorado D-1	0.00
1510.2 2019 Chevrolet Colorado D-2	0.00
1520 Capital Equipment	53,170.52
1520.2 Machinery & Equipment	0.00
Total 1520 Capital Equipment	53,170.52
1520.1 Machinery & Equipment	0.00
1540 Computer & Office Equipment	425.88
Total Fixed Assets	\$53,596.40
Other Assets	
1600 Bond Fund Reimbursables	0.00
Total Other Assets	\$0.00
TOTAL ASSETS	\$5,214,788.36

	TOTAL
LIABILITIES AND EQUITY	
Liabilities	
Current Liabilities	
Accounts Payable	
2000 Accounts Payable	0.00
Total Accounts Payable	\$0.00
Credit Cards	
1050.1 CBFPD Mastercard	11,985.43
Total Credit Cards	\$11,985.43
Other Current Liabilities	
2005 Accounts Payable- Audit	0.00
2140 Payroll Wages Payable	0.00
2150 Payroll Taxes Payable	0.00
2151 Federal Withholding Liability	0.00
2155 FICA / Medicare Payable	0.00
2160 State Withholding Liability	0.00
2170 FPPA Pension Payable	375.39
2180 Garnishment Payable	0.00
2225 Prepaid Rent	3,104.00
2300 Cash Due Vol Pension Fund	0.00
Total Other Current Liabilities	\$3,479.39
Total Current Liabilities	\$15,464.82
Long-Term Liabilities	
2210 Deferred Property Tax	946,593.18
2500 Rental Unit Security Deposits	500.00
2500.1 Triplex Lease - Purchase	-23,687.45
Total Long-Term Liabilities	\$923,405.73
Total Liabilities	\$938,870.55
Equity	
3000 Opening Balance Equity	0.00
3050 TABOR Reserve	124,000.00
3100 Operating Reserve	1,421,189.00
3150 Restricted for Spann Note Payable	0.00
3200 Major Incident Reserve	100,000.00
3250 Down Payment Assistance Fund	80,000.00
3300 Impact Fee (Capital) Reserve	389,815.38
3310 Mt. CB Impact Fee Reserve	0.00
3320 CB Impact Fee Reserve	0.00
3330 County Impact Fee Reserve	0.00
3350 Committed Subs Years Budget	521,021.00
3400 Unrestricted Reserve	445,774.19
Net Income	1,194,118.24
Total Equity	\$4,275,917.81
TOTAL LIABILITIES AND EQUITY	\$5,214,788.36

Crested Butte Fire Protection District

Expenses by Vendor Summary

May 2023

	TOTAL
5.11	223.18
5b's Bbq	2,034.79
ADP	368.40
AeroCare, USA	130.00
Alerus	2,185.57
Alpengardener	599.94
Amazon	1,141.19
Amazon Web Services	7.05
Ambulance Medical Billing	1,901.44
Apple	0.99
AT&T	540.16
ATMOS Energy	1,010.84
AV-TECH Electronics	13.20
Badge And Wallet	358.00
Bank of the West	50.25
Big Als Bicycle Heaven	77.46
Camp 4 Coffee	75.75
CenturyLink	208.42
Chris Carver	10.40
Chris McCann	100.00
Clark's Market	263.90
Colorado ALS	140.00
Crested Butte News	45.00
Crested Butte South Metro District	314.63
Dropbox	119.88
Eagle Engraving	37.00
Embroidered Sportswear Company	400.00
Exxon Mobil	2,839.12
Fire Marshal's Association of Colorado	50.00
Firefighting Depot	157.61
Firepenny	148.47
Galls	421.98
Gear Grid	2,767.00
Gunnison County Electric Association	882.54
Gunnison Valley Family Physicians	250.00
Guru Importer	10.00
Halvorson Alpine Condos	975.00
Henry Schein	1,431.87
Hill's Fire & Speed Shop	3,525.20
Home Depot	109.96
Jack Dietrich	100.00
Jayson Simons Jones	2,400.00
Ken Lodovico	100.00
King Systems	600.00

	TOTAL
Kristina F Kempin	100.00
L.N. Curtis & Sons	2,502.48
Laudick Auto Parts	21.96
Life Assist	459.00
LifeBlanket	619.00
Lodging (Generic)	189.00
Marchitelli's	230.53
Mikey's Pizza	231.94
Montrose Water Factory	140.50
Monty's Auto Parts	4.51
Mt. Crested Butte Water& Sanitation	115.49
Nathan Bilow Photography, LLC	3,000.00
Oriental Trading Company	317.87
Paper Clip	232.33
Quality Health Network	275.50
QuickBooks Payments	532.24
Restaurant (Generic)	136.07
Ryce Asian Bistro	382.50
SatCom Global	110.30
Sean Caffrey	328.45
Secret Stash	88.39
Shay Krier MD	475.00
SlingTV	55.00
Special District Association of Colorado	70.00
Special District Solutions	2,286.00
Spectrum	237.54
Supply Cache	399.71
Thai Chili	90.10
The Bubble Wrap	7.83
Town of Crested Butte	961.59
U.S. Postal Service	178.00
UMR	6,083.11
Verizon	363.27
Visionary Broadband	146.10
W. Eric Tunkey	100.00
Waste Management	440.70
Watts Manufacturing LLC	3,111.00
West Elk Windshields	325.00
Witmer Public Safety Group, Inc.	150.26
Zappos	76.92
Zoom	139.41
Not Specified	230,609.81
TOTAL	\$285,450.60

Crested Butte Fire Protection District

Transaction Report

May 2023

DATE	TRANSACTION TYPE	NUM	NAME	MEMO/DESCRIPTION	ACCOUNT	SPLIT	AMOUNT	BALANCE
05/05/2023	Expense	127		Ems Health Reimbursement	5290 (A) Health Reimbursement	1000 Operating Checking	55.00	55.00
05/08/2023	Journal Entry	0496		CO FAMILI - ER	6160 (O) FAMILI Premium - ER	-Split-	12.15	67.15
05/08/2023	Journal Entry	0496		CO FAMILI - ER	6130 (O) Medicare Tax	-Split-	39.15	106.30
05/08/2023	Expense		Mountain Colors Paint	Mountain Colors, INC	5670 (A) - Repairs - Rental Units	1050.1 CBFPD Mastercard	63.21	169.51
05/08/2023	Journal Entry	0496		Regular Earnings	6090 (O) Volunteer Stipends	-Split-	2,700.00	2,869.51
05/08/2023	Journal Entry	0496		CO FAMILI - ER	6140 (O) Social Security Tax	-Split-	167.40	3,036.91
05/09/2023	Journal Entry	0498		Regular Earnings	5010 (A) Wages - Administration	-Split-	6,769.20	9,806.11
05/09/2023	Journal Entry	0498		Employer Medicare Tax	5130 (A) Medicare Tax	-Split-	234.73	10,040.84
05/09/2023	Journal Entry	0498		Employer Social Security Tax	5140 (A) Social Security Tax	-Split-	223.40	10,264.24
05/09/2023	Journal Entry	0498		ER AD&D CORRECT	5150 (A) FPPA Pension - ER	-Split-	247.91	10,512.15
05/09/2023	Journal Entry	0498		ER PENSION CONT	5150 (A) FPPA Pension - ER	-Split-	1,319.93	11,832.08
05/09/2023	Journal Entry	0498		Voluntary Life Contribution	5200 (A) Health Benefits	-Split-	-81.41	11,750.67
05/09/2023	Journal Entry	0498		Overtime Earnings	6010 (O) Wages - Ops FT	-Split-	4,664.29	16,414.96
05/09/2023	Journal Entry	0498		Regular Earnings	6010 (O) Wages - Ops FT	-Split-	50,886.86	67,301.82
05/09/2023	Journal Entry	0498		SICK	6010 (O) Wages - Ops FT	-Split-	25.64	67,327.46
05/09/2023	Journal Entry	0498		VACATION	6010 (O) Wages - Ops FT	-Split-	624.32	67,951.78
05/09/2023	Journal Entry	0498		Overtime Earnings	6020 (O) Wages - Ops PT	-Split-	432.00	68,383.78
05/09/2023	Journal Entry	0498		Regular Earnings	6020 (O) Wages - Ops PT	-Split-	3,896.44	72,280.22
05/09/2023	Journal Entry	0498		OVERTIME UNSCH	6060 (O) Unscheduled Overtime	-Split-	679.31	72,959.53
05/09/2023	Journal Entry	0498		Employer Social Security Tax	6140 (O) Social Security Tax	-Split-	268.36	73,227.89
05/09/2023	Journal Entry	0498		ER AD&D CORRECT	6150 (O) FPPA Pension - ER	-Split-	955.42	74,183.31
05/09/2023	Journal Entry	0498		ER PENSION CONT	6150 (O) FPPA Pension - ER	-Split-	5,339.12	79,522.43
05/09/2023	Journal Entry	0498		Employer Medicare Tax	6130 (O) Medicare Tax	-Split-	775.88	80,298.31
05/09/2023	Journal Entry	0498		Fire Prevention	5020 (A) Wages - Fire Prevention	-Split-	11,416.80	91,715.11
05/09/2023	Journal Entry	0498		CO FAMILI - ER	5160 (A) FAMILI Premium - ER	-Split-	72.86	91,787.97
05/09/2023	Journal Entry	0498		CO FAMILI - ER	6160 (O) FAMILI Premium - ER	-Split-	240.77	92,028.74
05/10/2023	Journal Entry	0500			5780 (A) Treasurer's Fee - GF	-Split-	22,572.98	114,601.72
05/10/2023	Journal Entry	0499			5010 (A) Wages - Administration	-Split-	0.00	114,601.72
05/10/2023	Journal Entry	0499			5050 (A) Overtime	-Split-	0.00	114,601.72
05/10/2023	Journal Entry	0499			6010 (O) Wages - Ops FT	-Split-	0.00	114,601.72
05/10/2023	Journal Entry	0499			6080 (O) Special Event Pay	-Split-	0.00	114,601.72
05/10/2023	Journal Entry	0499			5150 (A) FPPA Pension - ER	-Split-	0.00	114,601.72
05/10/2023	Journal Entry	0499			6140 (O) Social Security Tax	-Split-	0.00	114,601.72
05/10/2023	Journal Entry	0499			6060 (O) Unscheduled Overtime	-Split-	0.00	114,601.72
05/10/2023	Journal Entry	0499			6030 (O) On-Call Pay	-Split-	0.00	114,601.72
05/10/2023	Journal Entry	0499			6150 (O) FPPA Pension - ER	-Split-	0.00	114,601.72
05/10/2023	Journal Entry	0499			6070 (O) Training Pay	-Split-	0.00	114,601.72
05/10/2023	Journal Entry	0499			5030 (A) Part-Time / Temp Salaries	-Split-	0.00	114,601.72
05/10/2023	Journal Entry	0499			5130 (A) Medicare Tax	-Split-	0.00	114,601.72
05/10/2023	Journal Entry	0499			6020 (O) Wages - Ops	-Split-	0.00	114,601.72

DATE	TRANSACTION TYPE	NUM	NAME	MEMO/DESCRIPTION	ACCOUNT	SPLIT	AMOUNT	BALANCE
					PT			
05/10/2023	Journal Entry	0499			6130 (O) Medicare Tax	-Split-	0.00	114,601.72
05/10/2023	Journal Entry	0499			5140 (A) Social Security Tax	-Split-	0.00	114,601.72
05/16/2023	Expense			BANCORPSV BANCORPSV 051623 99994 CCD,WH ALERUS 99994 SETTLE PURCHASE,PREAUTHORIZED ACH DEBIT	5290 (A) Health Reimbursement	1000 Operating Checking	20.00	114,621.72
05/16/2023	Check	36757	Melvin Seyfried	Last Paycheck includes vacation pay	6010 (O) Wages - Ops FT	1000 Operating Checking	4,055.15	118,676.87
05/22/2023	Check	36761	Derek Davis	Final Paycheck Derek Davis	6010 (O) Wages - Ops FT	1000 Operating Checking	3,795.92	122,472.79
05/23/2023	Journal Entry	0501		Voluntary Life Contribution	5200 (A) Health Benefits	-Split-	-91.75	122,381.04
05/23/2023	Journal Entry	0501		ER PENSION CONT	5150 (A) FPPA Pension - ER	-Split-	1,319.93	123,700.97
05/23/2023	Journal Entry	0501		ER AD&D CORRECT	5150 (A) FPPA Pension - ER	-Split-	247.91	123,948.88
05/23/2023	Journal Entry	0501		Employer Social Security Tax	5140 (A) Social Security Tax	-Split-	223.40	124,172.28
05/23/2023	Journal Entry	0501		Employer Medicare Tax	5130 (A) Medicare Tax	-Split-	234.73	124,407.01
05/23/2023	Journal Entry	0501		Regular Earnings	5010 (A) Wages - Administration	-Split-	6,769.20	131,176.21
05/23/2023	Journal Entry	0501		Regular Earnings	6010 (O) Wages - Ops FT	-Split-	51,178.64	182,354.85
05/23/2023	Journal Entry	0501		CO FAMILI - ER	5160 (A) FAMILI Premium - ER	-Split-	72.86	182,427.71
05/23/2023	Journal Entry	0501		Fire Prevention	5020 (A) Wages - Fire Prevention	-Split-	11,416.80	193,844.51
05/23/2023	Journal Entry	0501		Employer Medicare Tax	6130 (O) Medicare Tax	-Split-	939.21	194,783.72
05/23/2023	Journal Entry	0501		ER PENSION CONT	6150 (O) FPPA Pension - ER	-Split-	5,400.54	200,184.26
05/23/2023	Journal Entry	0501		ER AD&D CORRECT	6150 (O) FPPA Pension - ER	-Split-	966.44	201,150.70
05/23/2023	Journal Entry	0501		Employer Social Security Tax	6140 (O) Social Security Tax	-Split-	459.71	201,610.41
05/23/2023	Journal Entry	0501		OVERTIME UNSCH	6060 (O) Unscheduled Overtime	-Split-	8,299.98	209,910.39
05/23/2023	Journal Entry	0501		Regular Earnings	6020 (O) Wages - Ops PT	-Split-	7,414.60	217,324.99
05/23/2023	Journal Entry	0501		VACATION	6010 (O) Wages - Ops FT	-Split-	278.80	217,603.79
05/23/2023	Journal Entry	0501		SICK	6010 (O) Wages - Ops FT	-Split-	1,216.32	218,820.11
05/23/2023	Journal Entry	0501		CO FAMILI - ER	6160 (O) FAMILI Premium - ER	-Split-	291.48	219,111.59
05/23/2023	Journal Entry	0501		Overtime Earnings	6010 (O) Wages - Ops FT	-Split-	4,174.02	223,285.61
05/24/2023	Journal Entry	0503			6060 (O) Unscheduled Overtime	-Split-	0.00	223,285.61
05/24/2023	Journal Entry	0503			6010 (O) Wages - Ops FT	-Split-	0.00	223,285.61
05/24/2023	Journal Entry	0503			5010 (A) Wages - Administration	-Split-	0.00	223,285.61
05/24/2023	Journal Entry	0503			6140 (O) Social Security Tax	-Split-	0.00	223,285.61
05/24/2023	Journal Entry	0503			5030 (A) Part-Time / Temp Salaries	-Split-	0.00	223,285.61
05/24/2023	Journal Entry	0503			5130 (A) Medicare Tax	-Split-	0.00	223,285.61
05/24/2023	Journal Entry	0503			6070 (O) Training Pay	-Split-	0.00	223,285.61
05/24/2023	Journal Entry	0503			5140 (A) Social Security Tax	-Split-	0.00	223,285.61
05/24/2023	Journal Entry	0503			6080 (O) Special Event Pay	-Split-	0.00	223,285.61
05/24/2023	Journal Entry	0503			6020 (O) Wages - Ops PT	-Split-	0.00	223,285.61
05/24/2023	Journal Entry	0503			5150 (A) FPPA Pension - ER	-Split-	0.00	223,285.61
05/24/2023	Journal Entry	0503			6130 (O) Medicare Tax	-Split-	0.00	223,285.61
05/24/2023	Journal Entry	0503			6150 (O) FPPA Pension - ER	-Split-	0.00	223,285.61
05/24/2023	Journal Entry	0503			5050 (A) Overtime	-Split-	0.00	223,285.61
05/24/2023	Journal Entry	0503			6030 (O) On-Call Pay	-Split-	0.00	223,285.61
05/31/2023	Expense			Funds Reversal AMB	4100 Ambulance/ EMS Service Fees	1010 BOTW Money Market	-1,724.20	221,561.41
05/31/2023	Check	36765	Town of Mt. Crested Butte	Monthly Rent - 65 Paradise Rd	5640 (A) Rent	1000 Operating Checking	2,800.00	224,361.41
05/31/2023	Check	36766	Town of Mt. Crested Butte	Security Deposit - 65 Paradise Rd	5640 (A) Rent	1000 Operating Checking	2,800.00	227,161.41
TOTAL							\$227,161.41	

Crested Butte Fire Protection District Capital Funds Project

Balance Sheet As of May 31, 2023

	TOTAL
ASSETS	
Current Assets	
Bank Accounts	
1000 Checking	273,137.42
1010 Money Market	375,112.77
1050 CSIP Investment Account - Bond Payment	476,854.23
1051 Colotrust Account- Multi-Year Land Purchase	1,860,724.78
1100 CSIP Investment Account - Proceeds	26,910,454.82
Total Bank Accounts	\$29,896,284.02
Accounts Receivable	
1211 Mill Levy Property Tax Receivable	848,389.45
Total Accounts Receivable	\$848,389.45
Other Current Assets	
1260 Capital Accrued Interest- CSIP	42,438.52
1520 Bond Cash with County Treasurer	0.00
2010 Due to CBFPD Operating Account	0.00
Total Other Current Assets	\$42,438.52
Total Current Assets	\$30,787,111.99
TOTAL ASSETS	\$30,787,111.99
LIABILITIES AND EQUITY	
Liabilities	
Long-Term Liabilities	
2210 Deferred Property Tax	848,389.45
Total Long-Term Liabilities	\$848,389.45
Total Liabilities	\$848,389.45
Equity	
3100 Restricted for Debt Service	-2,605,747.00
3150 Restricted Spann Note Payable	2,605,747.00
Retained Earnings	29,567,999.61
Net Income	370,722.93
Total Equity	\$29,938,722.54
TOTAL LIABILITIES AND EQUITY	\$30,787,111.99

Crested Butte Fire Protection District Capital Funds Project

Profit and Loss
January - May, 2023

	TOTAL
Income	
4010 Property Tax - Capital Fund	1,206,753.79
4020 Specific Ownership Tax	29,192.52
4100.2 Interest Income (Capital)	289,461.44
4100.3 Interest Income (Bond)	2,303.50
Total Income	\$1,527,711.25
GROSS PROFIT	\$1,527,711.25
Expenses	
5300 Land	349,266.33
5400 Soft Costs	244,001.84
5780 Treasure's Fee - CF	36,210.15
5790.2 Bank Charges (Capital)	160.00
5795 Bond Interest	527,350.00
Total Expenses	\$1,156,988.32
NET OPERATING INCOME	\$370,722.93
NET INCOME	\$370,722.93

Crested Butte Fire Protection District Capital Funds Project

Expenses by Vendor Summary

January - May, 2023

	TOTAL
Blythe Group + co	176,497.80
BOK Financial	527,350.00
Cesare, Inc.	2,057.88
Goulding Development Advisors	13,259.06
Gunnison County	4,165.00
Lyons Gaddis	4,880.10
Maureillo Planning Group, LLC	36,362.00
McDowell Engineering, LLC	6,780.00
Virgil & Lee Spann Ranches, Inc	349,266.33
Not Specified	36,370.15
TOTAL	\$1,156,988.32

Crested Butte Fire Protection District Capital Funds Project

Transaction Report

January - May, 2023

DATE	TRANSACTION TYPE	NUM	NAME	MEMO/DESCRIPTION	ACCOUNT	SPLIT	AMOUNT	BALANCE
01/03/2023	Deposit		Bank of the West	Miscellaneous Fee Refund VALUED CUSTOMER MONTHLY SERVICE	5790.2 Bank Charges (Capital)	1000 Checking	-25.00	-25.00
01/03/2023	Expense		Bank of the West	Wire Fee Spann Payment Miscellaneous Fees OUTGOING DOMESTIC WIRE/REF # 230	5790.2 Bank Charges (Capital)	1000 Checking	35.00	10.00
01/03/2023	Expense		Bank of the West	Miscellaneous Fees PREVIOUS PERIOD ACTIVITY RESULTE	5790.2 Bank Charges (Capital)	1000 Checking	25.00	35.00
01/20/2023	Expense		Bank of the West	Miscellaneous Fees NON ANALYZED CHARGES/MISCELLANE	5790.2 Bank Charges (Capital)	1000 Checking	25.00	60.00
02/01/2023	Deposit		Bank of the West	Miscellaneous Fee Refund VALUED CUSTOMER MONTHLY SERVICE	5790.2 Bank Charges (Capital)	1000 Checking	-25.00	35.00
02/01/2023	Expense		Bank of the West	Miscellaneous Fees PREVIOUS PERIOD ACTIVITY RESULTE	5790.2 Bank Charges (Capital)	1000 Checking	25.00	60.00
02/10/2023	Journal Entry	28			5780 Treasure's Fee - CF	-Split-	4,760.60	4,820.60
02/21/2023	Expense		Bank of the West	Miscellaneous Fees NON ANALYZED CHARGES/MISCELLANE	5790.2 Bank Charges (Capital)	1000 Checking	25.00	4,845.60
03/01/2023	Deposit		Bank of the West	Miscellaneous Fee Refund VALUED CUSTOMER MONTHLY SERVICE	5790.2 Bank Charges (Capital)	1000 Checking	-25.00	4,820.60
03/01/2023	Expense		Bank of the West	Miscellaneous Fees PREVIOUS PERIOD ACTIVITY RESULTE	5790.2 Bank Charges (Capital)	1000 Checking	25.00	4,845.60
03/14/2023	Journal Entry	30			5780 Treasure's Fee - CF	-Split-	14,833.89	19,679.49
03/20/2023	Expense		Bank of the West	Miscellaneous Fees NON ANALYZED CHARGES/MISCELLANE	5790.2 Bank Charges (Capital)	1000 Checking	25.00	19,704.49
04/03/2023	Expense		Bank of the West	Miscellaneous Fees PREVIOUS PERIOD ACTIVITY RESULTE	5790.2 Bank Charges (Capital)	1000 Checking	25.00	19,729.49
04/03/2023	Deposit		Bank of the West	Miscellaneous Fee Refund VALUED CUSTOMER MONTHLY SERVICE	5790.2 Bank Charges (Capital)	1000 Checking	-25.00	19,704.49
04/10/2023	Journal Entry	48			5780 Treasure's Fee - CF	-Split-	5,351.80	25,056.29
04/20/2023	Expense		Bank of the West	Miscellaneous Fees NON ANALYZED CHARGES/MISCELLANE	5790.2 Bank Charges (Capital)	1000 Checking	25.00	25,081.29
05/01/2023	Deposit		Bank of the West	Miscellaneous Fee Refund VALUED CUSTOMER MONTHLY SERVICE	5790.2 Bank Charges (Capital)	1000 Checking	-25.00	25,056.29
05/01/2023	Expense		Bank of the West	Miscellaneous Fees PREVIOUS PERIOD ACTIVITY RESULTE	5790.2 Bank Charges (Capital)	1000 Checking	25.00	25,081.29
05/10/2023	Journal Entry	53			5780 Treasure's Fee - CF	-Split-	11,263.86	36,345.15
05/22/2023	Expense		Bank of the West	Miscellaneous Fees NON ANALYZED CHARGES/MISCELLANE	5790.2 Bank Charges (Capital)	1000 Checking	25.00	36,370.15
TOTAL								\$36,370.15



Customer Service
PO Box 11813
Harrisburg, PA 17108-1813

ACCOUNT STATEMENT

Crested Butte Fire Protection District

For the Month Ending
May 31, 2023

Client Management Team

Chris Blackwood

Managing Director
950 17th Street, DN-CO-T8
Denver, CO 80202
720-955-2530
blackwoodc@pfmam.com

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Cover/Disclosures
Summary Statement
Individual Accounts

Accounts included in Statement

2210106001	Crested Butte Fire Protection District
2210106002	Operating Account Fund
2210106003	Bond Payment Fund

Important Messages

CSIP will be closed on 06/19/2023 for Juneteenth.
CSIP will be closed on 07/04/2023 for Independence Day.

CRESTED BUTTE FIRE PROTECTION DISTRICT
SEAN CAFFREY
P.O. BOX 1009
CRESTED BUTTE, CO 81224

Online Access www.csipinvest.com

Customer Service 1-855-274-7468



Account Statement

For the Month Ending **May 31, 2023**

Important Disclosures

Important Disclosures

This statement is for general information purposes only and is not intended to provide specific advice or recommendations. PFM Asset Management LLC ("PFMAM") is an investment adviser registered with the U.S. Securities and Exchange Commission and a subsidiary of U.S. Bancorp Asset Management, Inc. ("USBAM"). USBAM is a subsidiary of U.S. Bank National Association ("U.S. Bank"). U.S. Bank is a separate entity and subsidiary of U.S. Bancorp. U.S. Bank is not responsible for and does not guarantee the products, services or performance of PFMAM. PFMAM maintains a written disclosure statement of our background and business experience. If you would like to receive a copy of our current disclosure statement, please contact Service Operations at the address below.

Proxy Voting PFMAM does not normally receive proxies to vote on behalf of its clients. However, it does on occasion receive consent requests. In the event a consent request is received the portfolio manager contacts the client and then proceeds according to their instructions. PFMAM's Proxy Voting Policy is available upon request by contacting Service Operations at the address below.

Questions About an Account PFMAM's monthly statement is intended to detail our investment advisory activity as well as the activity of any accounts held by clients in pools that are managed by PFMAM. The custodian bank maintains the control of assets and executes (i.e., settles) all investment transactions. The custodian statement is the official record of security and cash holdings and transactions. PFMAM recognizes that clients may use these reports to facilitate record keeping and that the custodian bank statement and the PFMAM statement should be reconciled and differences resolved. Many custodians use a settlement date basis which may result in the need to reconcile due to a timing difference.

Account Control PFMAM does not have the authority to withdraw funds from or deposit funds to the custodian outside the scope of services provided by PFMAM. Our clients retain responsibility for their internal accounting policies; implementing and enforcing internal controls and generating ledger entries or otherwise recording transactions.

Market Value Generally, PFMAM's market prices are derived from closing bid prices as of the last business day of the month as supplied by Refinitiv or Bloomberg. For certain short-term investments or where prices are not available from generally recognized sources the securities are priced using a yield-based matrix system to arrive at an estimated market value. Prices that fall between data points are interpolated. Non-negotiable FDIC-insured bank certificates of deposit are priced at par. Although PFMAM believes the prices to be reliable, the values of the securities may not represent the prices at which the securities could have been bought or sold. Explanation of the valuation methods for a registered investment company or local government investment program is contained in the appropriate fund offering documentation or information statement.

Amortized Cost The original cost of the principal of the security is adjusted for the amount of the periodic reduction of any discount or premium from the purchase date until the date of the report. Discount or premium with respect to short term securities (those with less than one year to maturity at time of issuance) is amortized on a straightline basis. Such discount or premium with respect to longer term securities is amortized using the constant yield basis.

Tax Reporting Cost data and realized gains / losses are provided for informational purposes only. Please review for accuracy and consult your tax advisor to determine the tax consequences of your security transactions. PFMAM does not report such information to the IRS or other taxing authorities and is not responsible for the accuracy of such information that may be required to be reported to federal, state or other taxing authorities.

Financial Situation In order to better serve you, PFMAM should be promptly notified of any material change in your investment objective or financial situation.

Callable Securities Securities subject to redemption prior to maturity may be redeemed in whole or in part before maturity, which could affect the yield represented.

Portfolio The securities in this portfolio, including shares of mutual funds, are not guaranteed or otherwise protected by PFMAM, the FDIC (except for certain non-negotiable certificates of deposit) or any government agency. Investment in securities involves risks, including the possible loss of the amount invested. Actual settlement values, accrued interest, and amortized cost amounts may vary for securities subject to an adjustable interest rate or subject to principal paydowns. Any changes to the values shown may be reflected within the next monthly statement's beginning values.

Rating Information provided for ratings is based upon a good faith inquiry of selected sources, but its accuracy and completeness cannot be guaranteed.

Shares of some local government investment programs and TERM funds are marketed through representatives of PFMAM's affiliate, PFM Fund Distributors, Inc. which is registered with the SEC as a broker/dealer and is a member of the Financial Industry Regulatory Authority ("FINRA") and the Municipal Securities Rulemaking Board ("MSRB"). You may reach the FINRA by calling the FINRA Hotline at 1-800-289-9999 or at the FINRA website address <https://www.finra.org/investors/investor-contacts>. A brochure describing the FINRA Regulation Public Disclosure Program is also available from FINRA upon request.

Key Terms and Definitions

Dividends on local government investment program funds consist of interest earned, plus any discount ratably amortized to the date of maturity, plus all realized gains and losses on the sale of securities prior to maturity, less ratably amortization of any premium and all accrued expenses to the fund. Dividends are accrued daily and may be paid either monthly or quarterly. The monthly earnings on this statement represent the estimated dividend accrued for the month for any program that distributes earnings on a quarterly basis. There is no guarantee that the estimated amount will be paid on the actual distribution date.

Current Yield is the net change, exclusive of capital changes and income other than investment income, in the value of a hypothetical fund account with a balance of one share over the seven-day base period including the statement date, expressed as a percentage of the value of one share (normally \$1.00 per share) at the beginning of the seven-day period. This resulting net change in account value is then annualized by multiplying it by

365 and dividing the result by 7. The yields quoted should not be considered a representation of the yield of the fund in the future, since the yield is not fixed. **Average maturity** represents the average maturity of all securities and investments of a portfolio, determined by multiplying the par or principal value of each security or investment by its maturity (days or years), summing the products, and dividing the sum by the total principal value of the portfolio. The stated maturity date of mortgage backed or callable securities are used in this statement. However the actual maturity of these securities could vary depending on the level or prepayments on the underlying mortgages or whether a callable security has or is still able to be called.

Monthly distribution yield represents the net change in the value of one share (normally \$1.00 per share) resulting from all dividends declared during the month by a fund expressed as a percentage of the value of one share at the beginning of the month. This resulting net change is then annualized by multiplying it by 365 and dividing it by the number of calendar days in the month.

YTM at Cost The yield to maturity at cost is the expected rate of return, based on the original cost, the annual interest receipts, maturity value and the time period from purchase date to maturity, stated as a percentage, on an annualized basis.

YTM at Market The yield to maturity at market is the rate of return, based on the current market value, the annual interest receipts, maturity value and the time period remaining until maturity, stated as a percentage, on an annualized basis.

Managed Account A portfolio of investments managed discretely by PFMAM according to the client's specific investment policy and requirements. The investments are directly owned by the client and held by the client's custodian.

Unsettled Trade A trade which has been executed however the final consummation of the security transaction and payment has not yet taken place.

Please review the detail pages of this statement carefully. If you think your statement is wrong, missing account information, or if you need more information about a transaction, please contact PFMAM within 60 days of receipt. If you have other concerns or questions regarding your account, or to request an updated copy of PFMAM's current disclosure statement, please contact a member of your client management team at PFMAM Service Operations at the address below.

PFM Asset Management LLC
Attn: Service Operations
213 Market Street
Harrisburg, PA 17101

NOT FDIC INSURED NO BANK GUARANTEE MAY LOSE VALUE



Account Statement

For the Month Ending **May 31, 2023**

Consolidated Summary Statement

Crested Butte Fire Protection District

Portfolio Summary

Portfolio Holdings	Cash Dividends and Income	Closing Market Value	Current Yield
CSIP LGIP	6,262.30	1,375,094.15	5.17 %
CSIP TERM	0.00	19,480,772.95	* N/A
CSIP Managed Account	24,218.30	7,072,555.53	* N/A
Total	\$30,480.60	\$27,928,422.63	

* Not Applicable

Investment Allocation

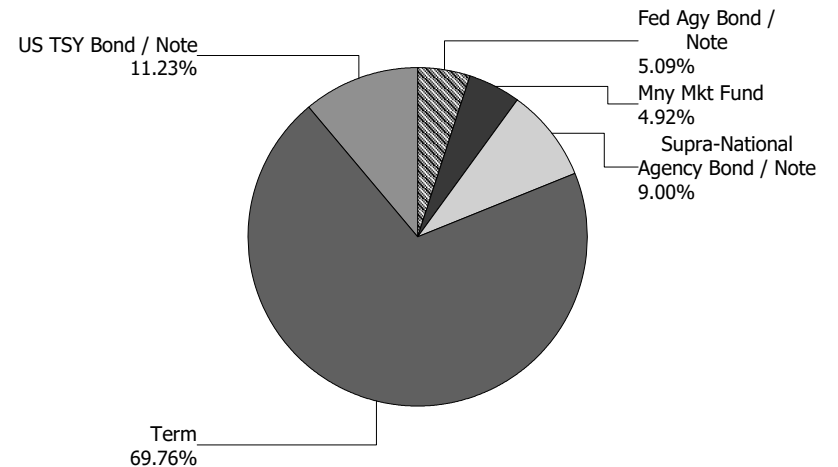
Investment Type	Closing Market Value	Percent
Federal Agency Bond / Note	1,421,951.20	5.09
Money Market Mutual Fund	1,375,094.15	4.92
Supra-National Agency Bond / Note	2,513,474.64	9.00
Term Investment	19,480,772.95	69.76
U.S. Treasury Bond / Note	3,137,129.69	11.23
Total	\$27,928,422.63	100.00%

Maturity Distribution (Fixed Income Holdings)

Portfolio Holdings	Closing Market Value	Percent
Under 30 days	5,226,036.34	18.72
31 to 60 days	1,729,568.70	6.19
61 to 90 days	3,786,187.50	13.56
91 to 180 days	9,186,630.09	32.89
181 days to 1 year	8,000,000.00	28.64
1 to 2 years	0.00	0.00
2 to 3 years	0.00	0.00
3 to 4 years	0.00	0.00
4 to 5 years	0.00	0.00
Over 5 years	0.00	0.00
Total	\$27,928,422.63	100.00%

Weighted Average Days to Maturity 148

Sector Allocation





Consolidated Summary Statement

Account Statement
For the Month Ending **May 31, 2023**

Crested Butte Fire Protection District

Account Number	Account Name	Opening Market Value	Purchases / Deposits	Redemptions / Sales/ Maturities	Unsettled Trades	Change in Value	Closing Market Value	Cash Dividends and Income
2210106001	Crested Butte Fire Protection District	26,910,454.82	3,998,745.49	(3,991,125.28)	0.00	28,579.98	26,946,655.01	30,476.29
2210106002	Operating Account Fund	504,909.08	1.43	0.00	0.00	0.00	504,910.51	1.43
2210106003	Bond Payment Fund	476,854.23	2.88	0.00	0.00	0.00	476,857.11	2.88
Total		\$27,892,218.13	\$3,998,749.80	(\$3,991,125.28)	\$0.00	\$28,579.98	\$27,928,422.63	\$30,480.60



Account Statement - Transaction Summary

For the Month Ending **May 31, 2023**

Crested Butte Fire Protection District - Crested Butte Fire Protection District - 2210106001

CSIP LGIP	
Opening Market Value	1,376,479.27
Purchases	1,998,745.49
Redemptions	(2,001,125.28)
Unsettled Trades	0.00
Change in Value	0.00

Closing Market Value	\$1,374,099.48
Cash Dividends and Income	6,257.99

CSIP TERM	
Opening Market Value	16,500,000.00
Purchases	2,000,000.00
Redemptions	0.00
Unsettled Trades	0.00
Change in Value	0.00

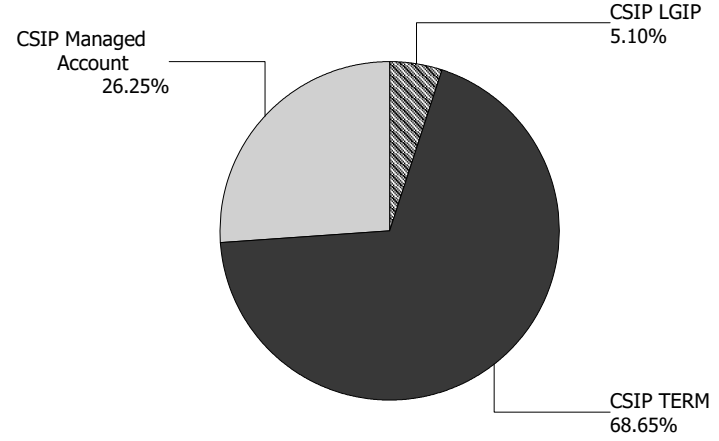
Closing Market Value	\$18,500,000.00
Cash Dividends and Income	0.00

CSIP Managed Account	
Opening Market Value	9,033,975.55
Purchases	0.00
Redemptions	(1,990,000.00)
Unsettled Trades	0.00
Change in Value	28,579.98

Closing Market Value	\$7,072,555.53
Cash Dividends and Income	24,218.30

Asset Summary		
	May 31, 2023	April 30, 2023
CSIP LGIP	1,374,099.48	1,376,479.27
CSIP TERM	18,500,000.00	16,500,000.00
CSIP Managed Account	7,072,555.53	9,033,975.55
Total	\$26,946,655.01	\$26,910,454.82

Asset Allocation





Investment Holdings

For the Month Ending **May 31, 2023**

Crested Butte Fire Protection District - Crested Butte Fire Protection District - 2210106001

Trade Date	Settlement Date	Security Description	Maturity Date	Rate	Investment Amount	Estimated Earnings	Est. Value at Maturity
CSIP TERM							
12/08/22	12/09/22	TERM - Colorado Statewide Investment Pool Term Dec 23	06/09/23	5.0400	2,000,000.00	48,052.60	2,050,261.92
03/16/23	03/17/23	TERM - Colorado Statewide Investment Pool Term Dec 24	08/23/23	4.9100	2,500,000.00	25,558.91	2,553,471.92
12/08/22	12/08/22	TERM - Colorado Statewide Investment Pool Term Dec 23	11/03/23	5.1400	2,000,000.00	49,287.67	2,092,942.47
11/08/22	11/09/22	TERM - Colorado Statewide Investment Pool Term Dec 23	11/06/23	5.3400	4,000,000.00	119,381.92	4,211,844.38
02/03/23	02/03/23	TERM - Colorado Statewide Investment Pool Term Dec 24	02/01/24	4.9900	2,000,000.00	32,264.11	2,099,253.15
02/13/23	02/13/23	TERM - Colorado Statewide Investment Pool Term Dec 24	02/13/24	5.0400	2,000,000.00	29,825.75	2,100,800.00
04/18/23	04/19/23	TERM - Colorado Statewide Investment Pool Term Dec 24	04/16/24	5.2400	2,000,000.00	12,312.57	2,103,940.98
05/22/23	05/23/23	TERM - Colorado Statewide Investment Pool Term Dec 24	05/20/24	5.2400	2,000,000.00	2,577.05	2,103,940.98
Total					\$18,500,000.00	\$319,260.58	\$19,316,455.80



Managed Account Summary Statement

For the Month Ending **May 31, 2023**

Crested Butte Fire Protection District - Crested Butte Fire Protection District - 2210106001 - (15231590)

Transaction Summary - Money Market		Transaction Summary - Managed Account		Account Total	
Opening Market Value	\$1,376,479.27	Opening Market Value	\$9,033,975.55	Opening Market Value	\$10,410,454.82
Purchases	1,998,745.49	Maturities/Calls	(1,990,000.00)		
Redemptions	(2,001,125.28)	Principal Dispositions	0.00		
		Principal Acquisitions	0.00		
		Unsettled Trades	0.00		
		Change in Current Value	28,579.98		
Closing Market Value	\$1,374,099.48	Closing Market Value	\$7,072,555.53	Closing Market Value	\$8,446,655.01
Dividend	6,257.99				

Earnings Reconciliation (Cash Basis) - Managed Account	
Interest/Dividends/Coupons Received	2,487.50
Less Purchased Interest Related to Interest/Coupons	0.00
Plus Net Realized Gains/Losses	21,730.80
Total Cash Basis Earnings	\$24,218.30

Cash Balance	
Closing Cash Balance	\$0.00

Earnings Reconciliation (Accrual Basis)	Managed Account	Total
Ending Amortized Value of Securities	7,127,623.53	8,501,723.01
Ending Accrued Interest	9,172.36	9,172.36
Plus Proceeds from Sales	0.00	2,001,125.28
Plus Proceeds of Maturities/Calls/Principal Payments	1,992,487.50	1,992,487.50
Plus Coupons/Dividends Received	0.00	0.00
Less Cost of New Purchases	0.00	(1,998,745.49)
Less Beginning Amortized Value of Securities	(9,112,482.88)	(10,488,962.15)
Less Beginning Accrued Interest	(8,347.00)	(8,347.00)
Dividends	0.00	6,257.99
Total Accrual Basis Earnings	\$8,453.51	\$14,711.50

Cash Transactions Summary- Managed Account	
Maturities/Calls	1,992,487.50
Sale Proceeds	0.00
Coupon/Interest/Dividend Income	0.00
Principal Payments	0.00
Security Purchases	0.00
Net Cash Contribution	(1,992,487.50)
Reconciling Transactions	0.00



Managed Account Issuer Summary

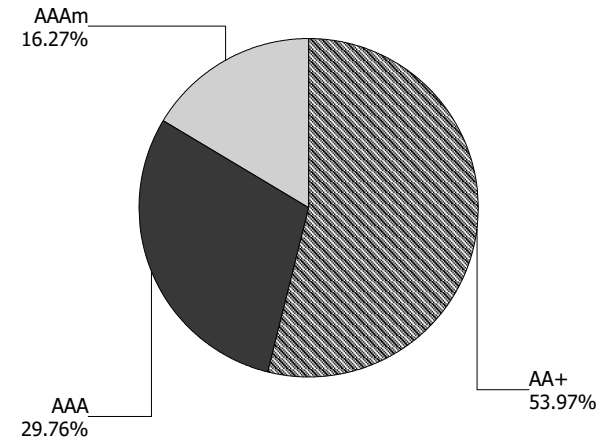
For the Month Ending **May 31, 2023**

Crested Butte Fire Protection District - Crested Butte Fire Protection District - 2210106001 - (15231590)

Issuer Summary

Issuer	Market Value of Holdings	Percent
AFRICAN DEVELOPMENT BANK	783,905.94	9.28
ASIAN DEVELOPMENT BANK	1,729,568.70	20.48
CSIP LGIP	1,374,099.48	16.27
FREDDIE MAC	1,421,951.20	16.83
UNITED STATES TREASURY	3,137,129.69	37.14
Total	\$8,446,655.01	100.00%

Credit Quality (S&P Ratings)





Managed Account Detail of Securities Held

For the Month Ending **May 31, 2023**

Crested Butte Fire Protection District - Crested Butte Fire Protection District - 2210106001 - (15231590)

Security Type/Description Dated Date/Coupon/Maturity	CUSIP	Par	S&P Rating	Moody's Rating	Trade Date	Settle Date	Original Cost	YTM at Cost	Accrued Interest	Amortized Cost	Market Value
U.S. Treasury Bond / Note											
US TREASURY NOTES DTD 06/15/2020 0.250% 06/15/2023	912828ZU7	1,855,000.00	AA+	Aaa	02/09/22	02/10/22	1,833,261.72	1.13	2,140.38	1,854,378.91	1,850,942.19
US TREASURY NOTES DTD 08/15/2020 0.125% 08/15/2023	91282CAF8	1,300,000.00	AA+	Aaa	02/09/22	02/10/22	1,279,179.69	1.20	475.83	1,297,166.02	1,286,187.50
Security Type Sub-Total		3,155,000.00					3,112,441.41	1.16	2,616.21	3,151,544.93	3,137,129.69
Supra-National Agency Bond / Note											
ASIAN DEVELOPMENT BANK NOTES DTD 07/14/2020 0.250% 07/14/2023	045167EV1	1,740,000.00	AAA	Aaa	02/09/22	02/11/22	1,716,927.60	1.19	1,655.42	1,738,084.72	1,729,568.70
AFRICAN DEVELOPMENT BANK BOND DTD 09/20/2018 3.000% 09/20/2023	00828EDC0	790,000.00	AAA	Aaa	02/09/22	02/11/22	811,914.60	1.25	4,674.17	794,151.06	783,905.94
Security Type Sub-Total		2,530,000.00					2,528,842.20	1.21	6,329.59	2,532,235.78	2,513,474.64
Federal Agency Bond / Note											
FREDDIE MAC NOTES DTD 10/16/2020 0.125% 10/16/2023	3137EAEY1	1,450,000.00	AA+	Aaa	02/09/22	02/10/22	1,422,450.00	1.27	226.56	1,443,842.82	1,421,951.20
Security Type Sub-Total		1,450,000.00					1,422,450.00	1.27	226.56	1,443,842.82	1,421,951.20
Managed Account Sub-Total		7,135,000.00					7,063,733.61	1.20	9,172.36	7,127,623.53	7,072,555.53
Money Market Mutual Fund											
CSIP LGIP		1,374,099.48	AAA	NR			1,374,099.48		0.00	1,374,099.48	1,374,099.48
Liquid Sub-Total		1,374,099.48					1,374,099.48		0.00	1,374,099.48	1,374,099.48
Securities Sub-Total		\$8,509,099.48					\$8,437,833.09	1.20%	\$9,172.36	\$8,501,723.01	\$8,446,655.01
Accrued Interest											\$9,172.36
Total Investments											\$8,455,827.37



Managed Account Fair Market Value & Analytics

For the Month Ending **May 31, 2023**

Crested Butte Fire Protection District - Crested Butte Fire Protection District - 2210106001 - (15231590)

Security Type/Description Dated Date/Coupon/Maturity	CUSIP	Par	Broker	Next Call Date	Market Price	Market Value	Unreal G/L On Cost	Unreal G/L Amort Cost	Effective Duration	YTM at Mkt
U.S. Treasury Bond / Note										
US TREASURY NOTES DTD 06/15/2020 0.250% 06/15/2023	912828ZU7	1,855,000.00	MORGAN_		99.78	1,850,942.19	17,680.47	(3,436.72)	0.04	5.56
US TREASURY NOTES DTD 08/15/2020 0.125% 08/15/2023	91282CAF8	1,300,000.00	JPM_CHA		98.94	1,286,187.50	7,007.81	(10,978.52)	0.21	5.24
Security Type Sub-Total		3,155,000.00				3,137,129.69	24,688.28	(14,415.24)	0.11	5.43
Supra-National Agency Bond / Note										
ASIAN DEVELOPMENT BANK NOTES DTD 07/14/2020 0.250% 07/14/2023	045167EV1	1,740,000.00	TD		99.40	1,729,568.70	12,641.10	(8,516.02)	0.12	5.18
AFRICAN DEVELOPMENT BANK BOND DTD 09/20/2018 3.000% 09/20/2023	00828EDCO	790,000.00	JPM_CHA		99.23	783,905.94	(28,008.66)	(10,245.12)	0.31	5.53
Security Type Sub-Total		2,530,000.00				2,513,474.64	(15,367.56)	(18,761.14)	0.18	5.29
Federal Agency Bond / Note										
FREDDIE MAC NOTES DTD 10/16/2020 0.125% 10/16/2023	3137EAEY1	1,450,000.00	RBS		98.07	1,421,951.20	(498.80)	(21,891.62)	0.38	5.35
Security Type Sub-Total		1,450,000.00				1,421,951.20	(498.80)	(21,891.62)	0.38	5.35
Managed Account Sub-Total		7,135,000.00				7,072,555.53	8,821.92	(55,068.00)	0.19	5.36
Money Market Mutual Fund										
CSIP LGIP		1,374,099.48			1.00	1,374,099.48	0.00	0.00	0.00	
Liquid Sub-Total		1,374,099.48				1,374,099.48	0.00	0.00	0.00	
Securities Sub-Total		\$8,509,099.48				\$8,446,655.01	\$8,821.92	(\$55,068.00)	0.19	5.36%
Accrued Interest						\$9,172.36				
Total Investments						\$8,455,827.37				



Managed Account Security Transactions & Interest

For the Month Ending **May 31, 2023**

Crested Butte Fire Protection District - Crested Butte Fire Protection District - 2210106001 - (15231590)

Transaction Type		Security Description	CUSIP	Par	Principal Proceeds	Accrued Interest	Total	Realized G/L Cost	Realized G/L Amort Cost	Sale Method
Trade	Settle									
MATURITY										
05/22/23	05/22/23	FANNIE MAE NOTES DTD 05/22/2020 0.250% 05/22/2023	3135G04Q3	1,990,000.00	1,990,000.00	2,487.50	1,992,487.50	21,730.80	0.00	
Transaction Type Sub-Total				1,990,000.00	1,990,000.00	2,487.50	1,992,487.50	21,730.80	0.00	
Managed Account Sub-Total					1,990,000.00	2,487.50	1,992,487.50	21,730.80	0.00	
Total Security Transactions					\$1,990,000.00	\$2,487.50	\$1,992,487.50	\$21,730.80	\$0.00	



Account Statement

For the Month Ending **May 31, 2023**

Crested Butte Fire Protection District - Crested Butte Fire Protection District - 2210106001

Trade Date	Settlement Date	Transaction Description	Share or Unit Price	Dollar Amount of Transaction	Total Shares Owned
CSIP LGIP					
Opening Balance					1,376,479.27
05/22/23	05/22/23	Purchase - Principal 3135G04Q3	1.00	1,992,487.50	3,368,966.77
05/23/23	05/23/23	Redemption - TERM Investment	1.00	(2,000,000.00)	1,368,966.77
05/25/23	05/25/23	IP Fees April 2023	1.00	(833.61)	1,368,133.16
05/25/23	05/25/23	U.S. Bank Fees March 2023	1.00	(291.67)	1,367,841.49
05/31/23	06/01/23	Accrual Income Div Reinvestment - Distributions	1.00	6,257.99	1,374,099.48
Closing Balance					1,374,099.48

	Month of May	Fiscal YTD January-May		Closing Balance	Average Monthly Balance	Monthly Distribution Yield
Opening Balance	1,376,479.27	2,345,229.22		1,374,099.48		
Purchases	1,998,745.49	9,536,127.28		1,438,519.79		
Redemptions (Excl. Checks)	(2,001,125.28)	(10,507,257.02)				5.12%
Check Disbursements	0.00	0.00				
Closing Balance	1,374,099.48	1,374,099.48				
Cash Dividends and Income	6,257.99	32,576.48				

Trade Date	Settlement Date	Transaction Description	Maturity Date	Stated Yield	Dollar Amount of Transaction
CSIP TERM					
05/22/23	05/23/23	Purchase - TERM Investment	05/20/24	5.2400	2,000,000.00



Account Statement - Transaction Summary

For the Month Ending **May 31, 2023**

Crested Butte Fire Protection District - Operating Account Fund - 2210106002

CSIP LGIP	
Opening Market Value	328.68
Purchases	1.43
Redemptions	0.00
Unsettled Trades	0.00
Change in Value	0.00

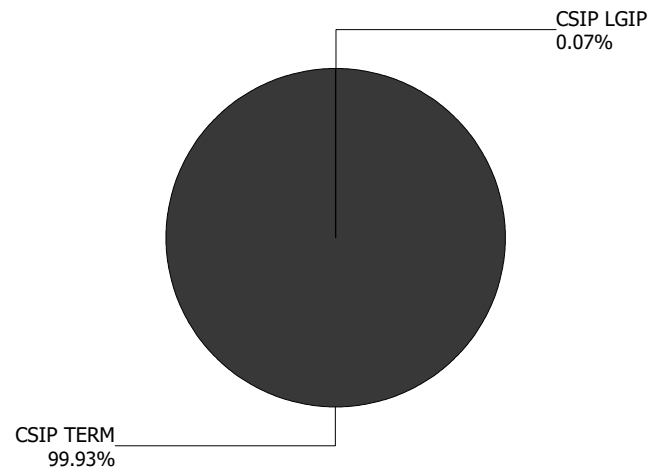
Closing Market Value	\$330.11
Cash Dividends and Income	1.43

CSIP TERM	
Opening Market Value	504,580.40
Purchases	0.00
Redemptions	0.00
Unsettled Trades	0.00
Change in Value	0.00

Closing Market Value	\$504,580.40
Cash Dividends and Income	0.00

Asset Summary		
	May 31, 2023	April 30, 2023
CSIP LGIP	330.11	328.68
CSIP TERM	504,580.40	504,580.40
Total	\$504,910.51	\$504,909.08

Asset Allocation





Investment Holdings

For the Month Ending **May 31, 2023**

Crested Butte Fire Protection District - Operating Account Fund - 2210106002

Trade Date	Settlement Date	Security Description	Maturity Date	Rate	Investment Amount	Estimated Earnings	Est. Value at Maturity
CSIP TERM							
11/15/22	11/16/22	TERM - Colorado Statewide Investment Pool Term Dec 23	10/10/23	4.9400	504,580.40	13,453.36	526,979.90
Total					\$504,580.40	\$13,453.36	\$526,979.90



Account Statement

For the Month Ending **May 31, 2023**

Crested Butte Fire Protection District - Operating Account Fund - 2210106002

Trade Date	Settlement Date	Transaction Description	Share or Unit Price	Dollar Amount of Transaction	Total Shares Owned
CSIP LGIP					
Opening Balance					328.68
05/31/23	06/01/23	Accrual Income Div Reinvestment - Distributions	1.00	1.43	330.11
Closing Balance					330.11

	Month of May	Fiscal YTD January-May
Opening Balance	328.68	323.60
Purchases	1.43	6.51
Redemptions (Excl. Checks)	0.00	0.00
Check Disbursements	0.00	0.00
Closing Balance	330.11	330.11
Cash Dividends and Income	1.43	6.51

Closing Balance	330.11
Average Monthly Balance	328.73
Monthly Distribution Yield	5.12%



Account Statement - Transaction Summary

For the Month Ending **May 31, 2023**

Crested Butte Fire Protection District - Bond Payment Fund - 2210106003

CSIP LGIP	
Opening Market Value	661.68
Purchases	2.88
Redemptions	0.00
Unsettled Trades	0.00
Change in Value	0.00

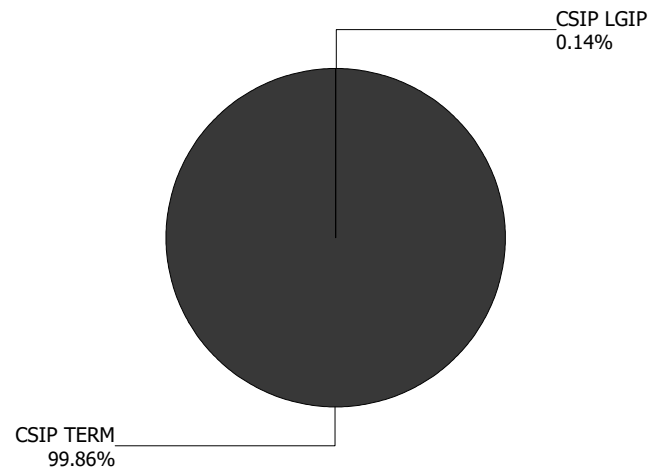
Closing Market Value	\$664.56
Cash Dividends and Income	2.88

CSIP TERM	
Opening Market Value	476,192.55
Purchases	0.00
Redemptions	0.00
Unsettled Trades	0.00
Change in Value	0.00

Closing Market Value	\$476,192.55
Cash Dividends and Income	0.00

Asset Summary		
	May 31, 2023	April 30, 2023
CSIP LGIP	664.56	661.68
CSIP TERM	476,192.55	476,192.55
Total	\$476,857.11	\$476,854.23

Asset Allocation





Investment Holdings

For the Month Ending **May 31, 2023**

Crested Butte Fire Protection District - Bond Payment Fund - 2210106003

Trade Date	Settlement Date	Security Description	Maturity Date	Rate	Investment Amount	Estimated Earnings	Est. Value at Maturity
CSIP TERM							
04/18/23	04/19/23	TERM - Colorado Statewide Investment Pool Term Dec 23	10/18/23	5.4200	476,192.55	3,040.59	489,062.01
Total					\$476,192.55	\$3,040.59	\$489,062.01



Account Statement

For the Month Ending **May 31, 2023**

Crested Butte Fire Protection District - Bond Payment Fund - 2210106003

Trade Date	Settlement Date	Transaction Description	Share or Unit Price	Dollar Amount of Transaction	Total Shares Owned
CSIP LGIP					
Opening Balance					661.68
05/31/23	06/01/23	Accrual Income Div Reinvestment - Distributions	1.00	2.88	664.56
Closing Balance					664.56

	Month of May	Fiscal YTD January-May		
Opening Balance	661.68	139,578.20	Closing Balance	664.56
Purchases	2.88	337,278.91	Average Monthly Balance	661.77
Redemptions (Excl. Checks)	0.00	(476,192.55)	Monthly Distribution Yield	5.12%
Check Disbursements	0.00	0.00		
Closing Balance	664.56	664.56		
Cash Dividends and Income	2.88	2,278.91		



May 2023 EMS & Fire Chief
Board Report

I'd like to thank the team for their work on our 2022 report. Here is a link to the document. <https://cbfpd.org/wp-content/uploads/2023/06/2022-ANNUAL-REPORT.pdf> As an organization, we have made great progress in our growth and none of this could happen without the support and efforts of the team. I've also attached the report to my board packet.

We ran 45 calls for service in May which is an increase to last year's call volume of 26. Kudos to a multi-agency effort to rescue a patient who had fallen 300 feet to the river at Judd falls. The coordinated efforts led to a successful rescue and the patient getting to definitive care. Reports are that he is well on his way to healing. Additionally, EMS Lt. Iraola has recommended that Joe Mirza be recognized for going above and beyond during this rescue by quickly offering his personal uniform clothing to keep the patient warm until additional equipment/supplies were available. Thanks Joe!

Personnel/Volunteers

We extended the job posting for FF/Paramedic until June 30th. As of right now, we have 1 applicant from Dallas, TX however it seems as though we will have at least one additional candidate apply prior to the closing date. Per usual, recruitment has been problematic throughout the state and is simply a reality we now face despite our best efforts.

Tara is settling in well into her new full time position and is very excited for the opportunity.

While volunteer shift engagement was down a bit, training hours were good amongst the volunteers who are consistently engaged. Most volunteers averaged 2

shifts this month. I am continuing to take a close look at the objectives of our volunteer program, reasonable requirements, time commitment, shift requirements, etc.

Lastly, as I type this report Liam Reily will be moving to Washington to start his career as a Spokane Firefighter/EMT. We are so proud of him, where he has landed, and for allowing us to raise/teach/develop him in our organization. We will miss him and celebrate his next chapter in life.

Training

May EMS and Fire training included:

Wildfire suppression techniques, congestive heart failure, and daily various topics the shifts train on and becoming proficient on our new minute man hose lay. Many thanks to the committee to ensure all members got trained on this prior to placing in service on May 15th. Members also completed their Red Card arduous pack test.

The 2023 EMT class is open for registration and we already have 7 people apply which is a great start.

Vehicles

Myself, Jeff, Mark, and Corey are flying out to Wyoming, Minnesota to visit the Rosenbauer factory. We have been working on identifying our objectives and creating a specifications list for the aerial (quint) truck.

Jeff has picked up the command vehicle and is making his way back to Colorado for final graphics and back home. We look forward to this addition to our fleet.

There is still no update on the repair status of Engine 3 unfortunately.

Maintenance

Nothing major to report



ANNUAL REPORT 2022



Crested Butte Fire Protection District

Tel: 970.349.5333 Website: cbfpd.org
 306 Maroon Avenue, Crested Butte CO 81224



MESSAGE FROM CEO SEAN CAFFREY & CHIEF ROBERT WEISBAUM



CEO Sean Caffrey



Chief Rob Weisbaum

The Crested Butte Fire Protection District is pleased to present our 2022 Annual report. As emergency service professionals we are dedicated to providing excellent customer service to our community while providing growth and development opportunities for our members. In 2022 we have worked together to update our mission statement and have further developed our organizational vision and values. The addition of a leadership coach has helped us accelerate progress on our objectives of teamwork, integrity, and professionalism. We strive for excellence and commit to growth. In addition to our accomplishments as an organization, we look forward to maintaining the level of trust and transparency that our community and team members expect of us. Thank you for taking the time to read our annual report and please contact us if we can be of service.

- Robert Weisbaum, EMS & Fire Chief

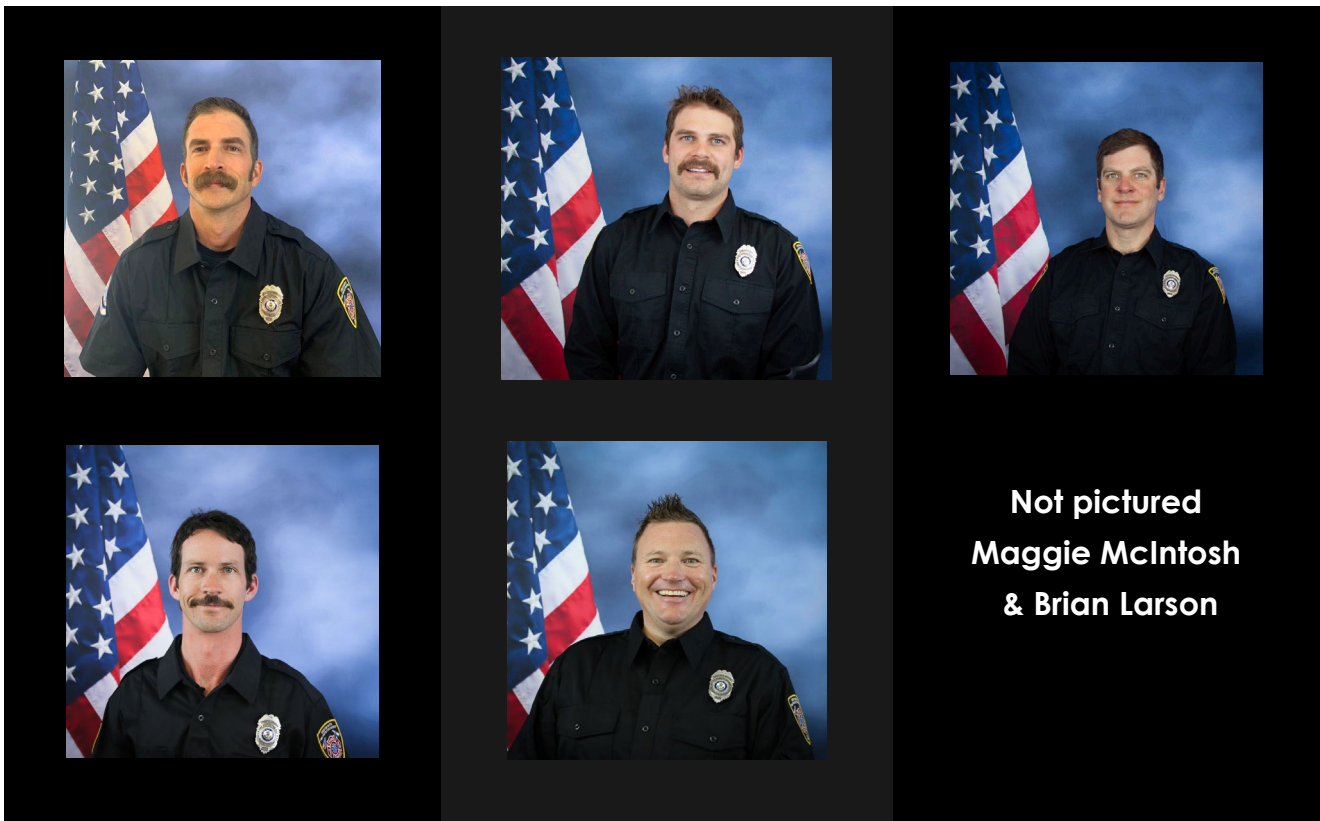
LOOKING AHEAD TO 2023

2023 will be an important year for the Crested Butte Fire Protection District.

- Bond funds were utilized to secure land for development on State Highway 135 just North of the Aperture subdivision. The District plans to break ground soon on the Station 1 campus that will include both our new headquarters and Crested Butte Mountain Rescue. We look forward to providing the community with a state of the art facility with a low carbon footprint.
- With the help of grant funds, Operations will purchase a new ambulance to replace our aging fleet. Additional capital purchases include a command box insert that will be retrofitted to an existing district vehicle and newer dual band radios.
- Our Fire Prevention team continues to meet the needs of our growing community. Plan reviews and inspections continue at a robust pace, the team will continue to collaborate with Gunnison County to further implementation of the wildland/urban interface code. The Fire Prevention team is also implementing new inspection software, FirstDue, that will modernize our processes and provide valuable pre-incident plans for our operations division.
- The District will continue to actively recruit volunteer firefighters and emergency medical technicians (EMT) and will offer our annual recruit academy in the Spring and an EMT class in the Fall of 2023.
- CBFPD team members will obtain specialized training in confined space rescue and add to our service plan. Numerous agencies within our district enter confined spaces throughout the year and qualified emergency responders are not trained in this specialty yet.

COMMUNITY CONNECTION

The CBFPD team welcomed many new members in 2022. Joeph Mirza, Zachary Springer and Matt Evans, originally all volunteers with our District, were hired as full time employees. Jeremy McDonnell was promoted to Captain and Charlie Suthard joined the team as a part-time paramedic. Finally, two new members completed the recruit academy and joined the CBFPD as volunteers in 2022.



Jeremy, Joe, Zach, Matt, Charlie (left to right)

The CBFPD remains committed to engaging with the community for numerous events. In 2022, we assisted in the Gunnison Valley Health Foundation health fair, flu shot and COVID 19 booster/vaccine clinic, Crested Butte Community School CPR classes, and basic EKG class for CBCS science class. The CBFPD assisted the Town of Mt. Crested Butte in acquiring AED's for their facility and provided 2 additional AED's to the Crested Butte Marshals Office. We are proud of the number of people who are CPR/AED trained in our valley. Reaching beyond our local community, the CBFPD

donated 12 sets of expired firefighter turnout gear to The Acuna Mexico Fire Department who does not have funding to purchase critical PPE for emergency response. Lastly, our beautiful valley lies within the wildland urban interface and we felt it was important to provide more signage for our community and visitors regarding fire danger ratings. We increased fire danger rating signs throughout our district at main drainages including: Cement Creek in Crested Butte South, Kebler Pass, Crested Butte Community School, and Gothic Road.

The July 4th Volunteer Pancake Breakfast was HUGE success raising over \$17,000 for the CBFPD Volunteer Squad & Association, Fallen Firefighters Fund and Explorer program!

The Explorer Post 0911 program continues to grow and be successful with the support of adult mentors and active student engagement. Currently, the roster consists of 15 members ages 14 – 18. As seniors graduate this year, we will welcome new members who are eager to learn about emergency services. To date, numerous former Explorers have gained employment as EMT's, Paramedics, Firefighters, or Emergency Department Technicians. Additionally, some continue to pursue higher education – specifically nursing school, PA school, or medical school. We are proud of our members as they develop and find their path.



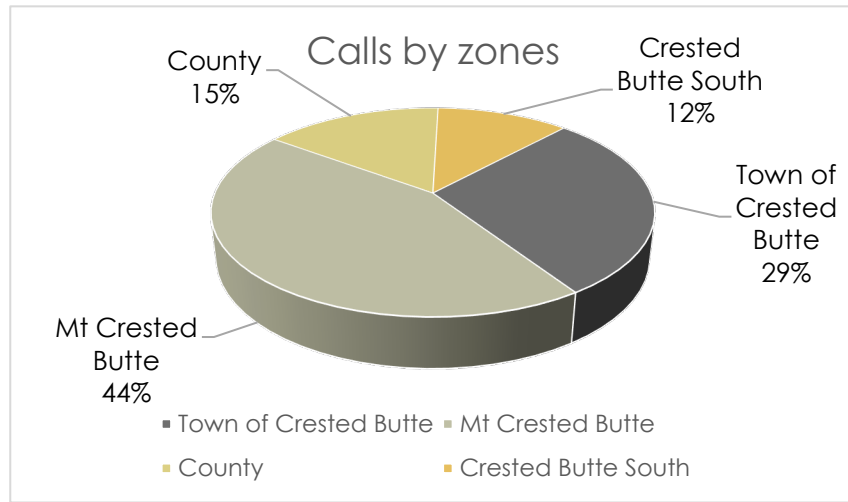
EMS & FIRE: RESPONDING TO OUR COMMUNITY'S NEEDS

This year marks the 50th anniversary of the CBFPD becoming a fire protection district. The Crested Butte Fire Department dates back to the 1880's however the current fire protection district was formed in 1973. What began as a volunteer organization has evolved into a high functioning and progressive combination department providing an all-hazards response in addition to EMS critical care. While growth and change can be difficult, the CBFPD has made significant change in the last 5 years. As a result of the changes and the introduction of a more traditional hierarchy, the opportunity presented itself to provide continuing professional development. A formalized field training & evaluation program was developed for all new members in addition to an acting driver/operator and acting officer task book. These documents provide guidance to new members, as well as, those wishing to expand their knowledge and find an opportunity for career advancement. The CBFPD Matrix identifies 5 levels within each members role identifying necessary certifications to progress within the department. The matrix has been highly successful by providing a clear path for all so that they are well qualified members of the CBFPD.

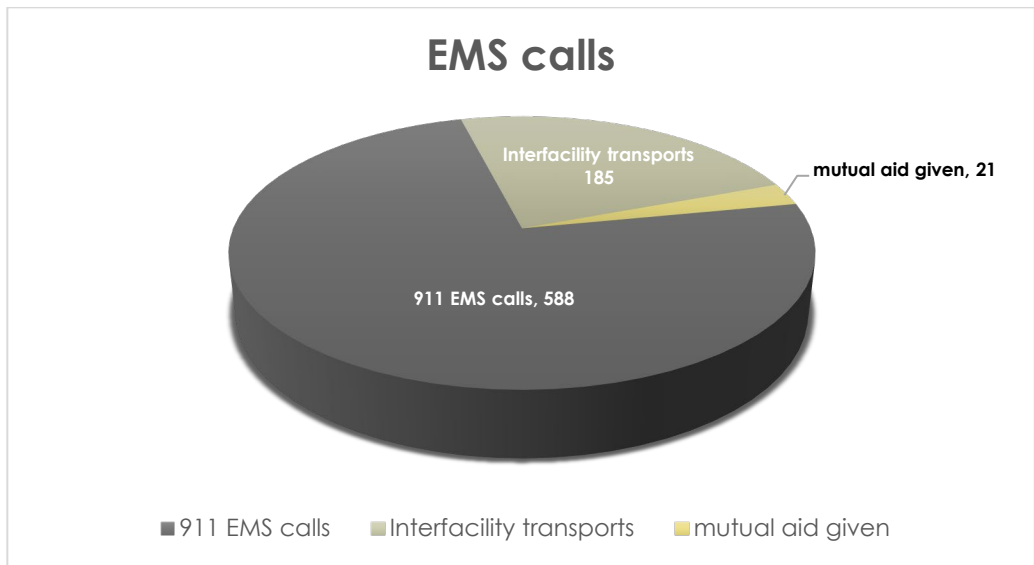
It was important to better understand the WHY of our organization and what our objectives and purpose are. In 2022, we hired a leadership coach who provided useful information about our membership and opened up the opportunity to simplify our mission statement and explore what our vision and values are, as they were non-existent. We are proud of our newly adopted mission, vision and values and look forward to acting and living by these principles and virtues, together.

We continue to develop our wildland firefighters and the ability to manage a wildfire that could occur within our district and the Wildland Urban Interface. We are proud to announce that we took delivery of our first district owned brush truck. We have 1 member who has completed all necessary tasks to open his NWCG engine boss task book. Upon completion, we will have the opportunity to better serve our community and provide additional aid on a state and national level with a team of our own. This

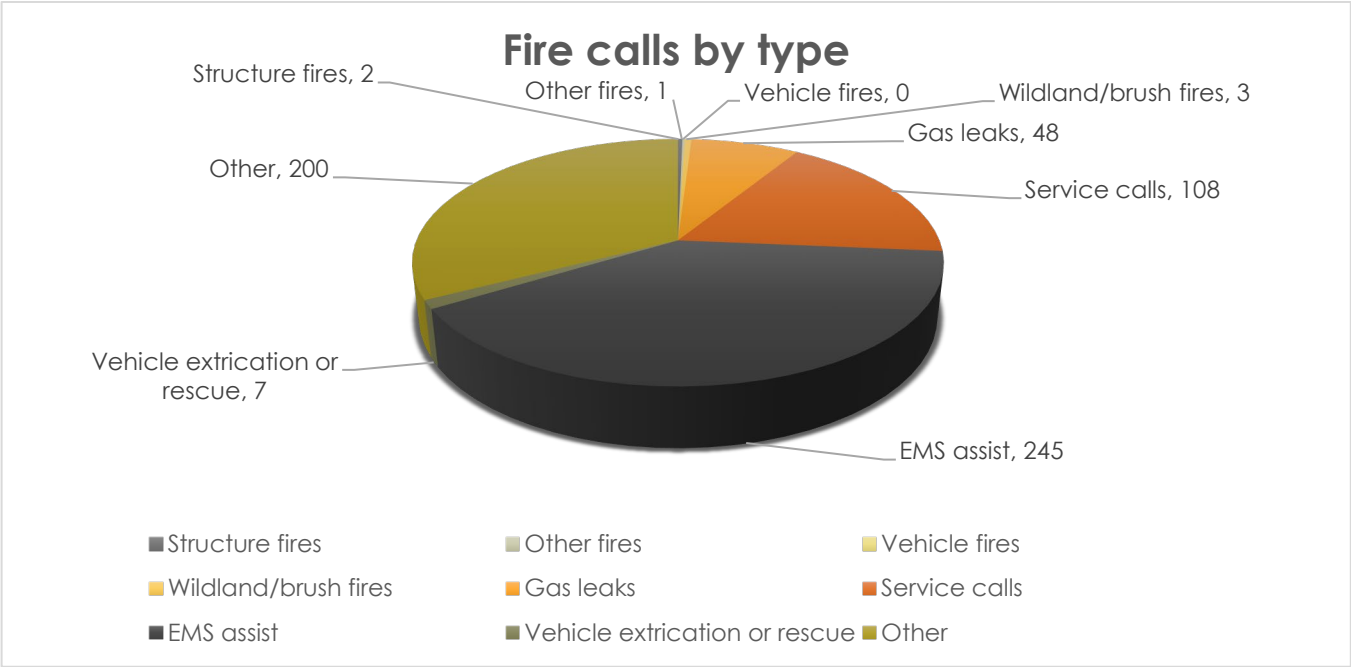
is one more step closer to providing an additional service that will protect our lands and create an additional revenue stream to help support our operations. Thank you for taking the time to review our report, the information provided is to inform our community of the achievements we have made while being good fiduciaries to you. We are always looking for opportunities to grow and serve you while providing service that you expect.



The largest portion of our calls for service occur in the Town of Mt. Crested Butte. We strategically place personnel throughout our district during peak hours and during the evening to ensure quick and efficient response times. Our priority is to get out the door quickly, safely, and efficiently to render services to you. While we look at measurable data such as response times and chute (time of call to out the door) times, we focus on minimizing the impact your emergency has on your life or property. Crested Butte South is our largest residential neighborhood and we have ensured that the community's needs are met by staffing personnel at Station 3 during night time hours. This has proven to be quite effective and provides comfort to the citizens of Crested Butte South.



EMS calls remain the majority of our calls for service. Approximately 70% of our total call volume is EMS. We continue to have strong working relationships with Gunnison Paramedics as they are the only other EMS agency in the county. We share a medical director and often times support each other through mutual aid agreements.

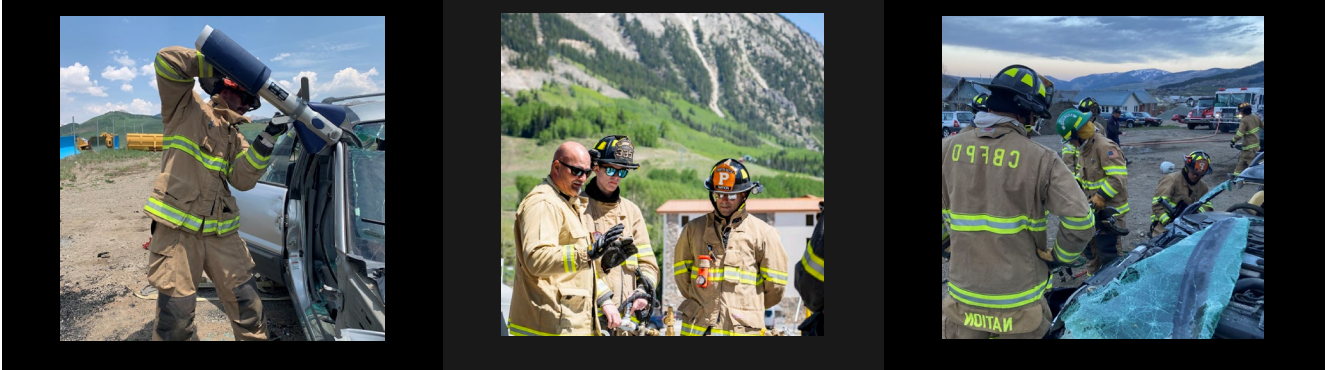


Notable calls

The CBFPD responded to the report of a structure fire at the Adaptive Sports residential house in the 8th/Gothic Ave block at 2035 hours on August 14th. Upon arrival, crews found a multi-unit dwelling with heavy fire conditions from the garage of the residence with extension to the second-floor exterior. Crews achieved quick knockdown of the fire, saving the structure and eliminating any extension to other residential units. The structure sustained garage and exterior damage only. The CBFPD responded to 2 small wildfire incidents that were quickly mitigated and provided mutual aid support to Gunnison Fire for a wildfire incident in the Roaring Judy area. Lastly, we responded to the local hardware store/gas station for reports of a carbon monoxide alarm. Through investigation, numerous types of critical gas levels were detected which prompted additional investigation. This resulted in the closure of a critical business, for approximately 1 week, while the Region 8 EPA team responded to assist in the investigation. Once a plan was formulated and deemed safe, the business was able to re-open.

Training

2022 was an eventful year as we completed our EMT training and started the 2022 Fire Academy. Fire training highlights include an Officer Development class with Fire Chief David Wolfe from Estes Valley Fire Protection District; a 3 ½ day vehicle extrication class funded by a grant from the Colorado State Fire Fighters Foundation; 3 days of pumping scenarios with Don Distefano from DFPC which also cross-trains members for wildland fire season; the Physical Agility Standardize Test which consist of 10 events to mimic firefighter skills and gauges the firefighter's performance and fitness level, and finally, the Fire Academy which consists of Hazmat Awareness/ Operations and the Firefighter I curriculum. CBFPD's contribution to education, training and safety will continue to provide our community with professional service.



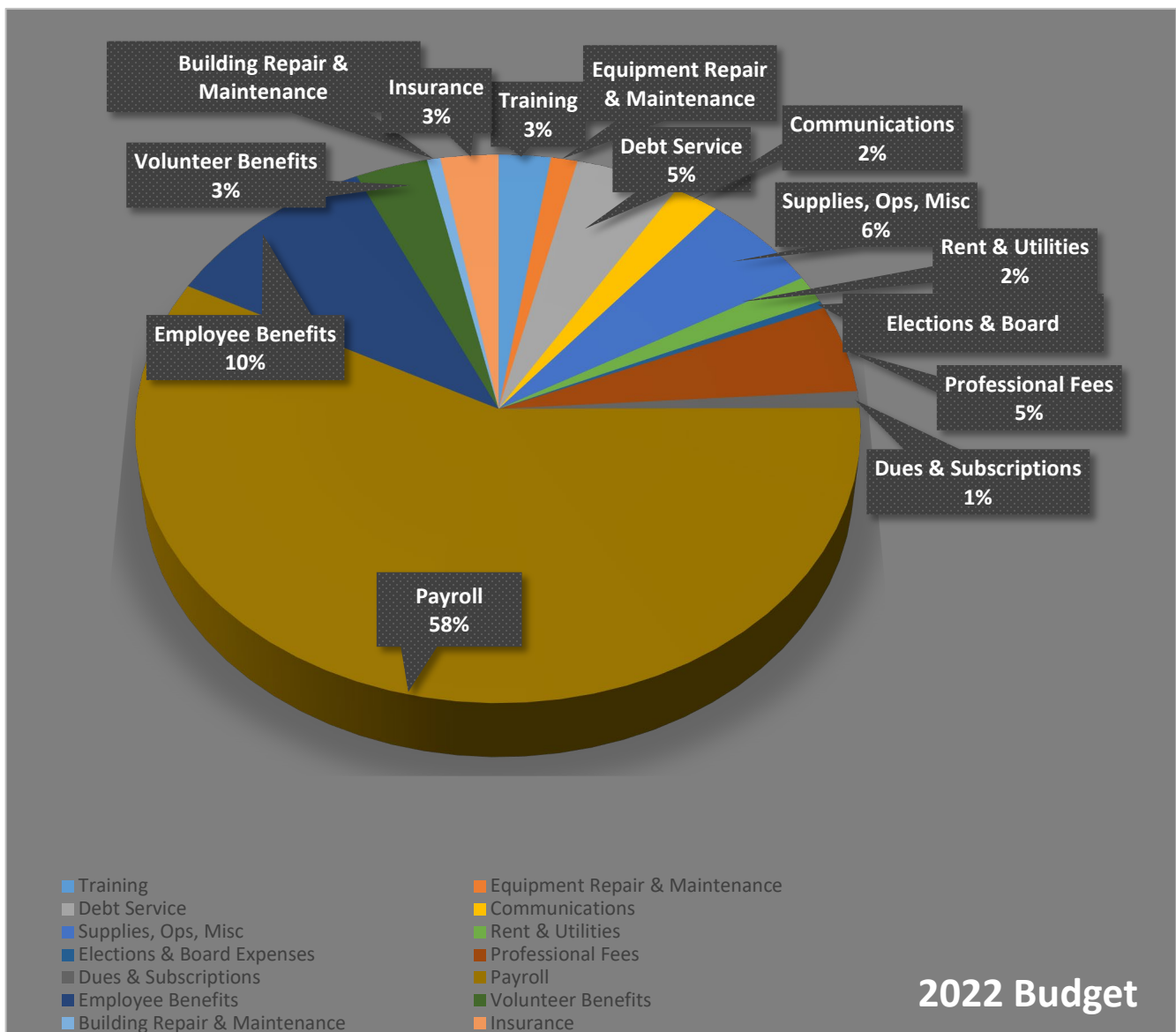
The CBFPD purchased a high fidelity mannequin with numerous capabilities that will assist our organization with simulations for EMT and paramedics. Our waived acts that include the use of Ketamine for pain management, TXA, Ancef, and rapid sequence intubation have been renewed by the state. As we continue to grow and maintain our progressive protocols, all our paramedics will be encouraged to pursue critical care certification.



DEPARTMENT PROFILE

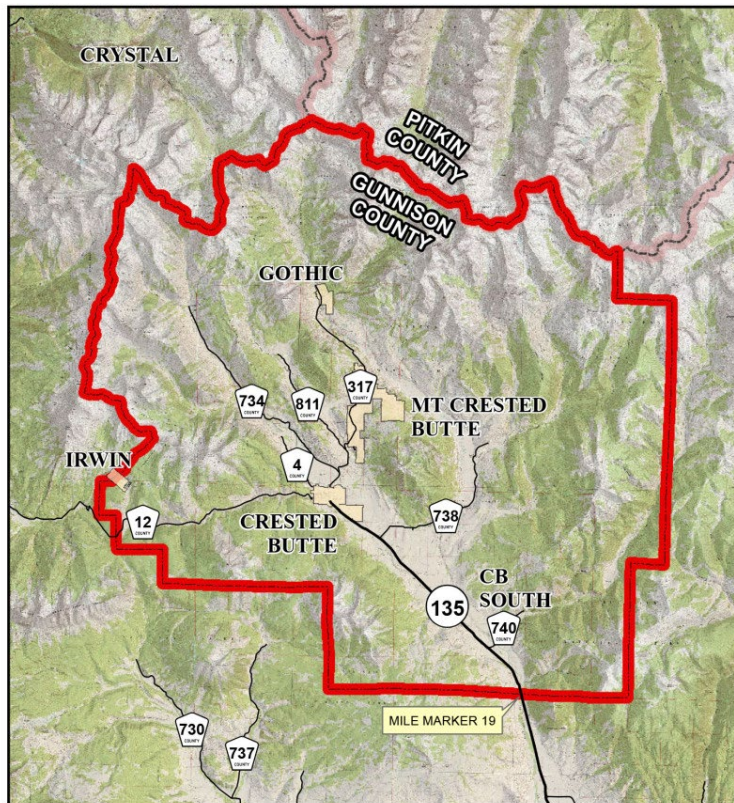
Financing

The District is primarily funded by an ad valorem tax on property within the Fire District. Other major revenue sources include specific ownership tax, ambulance fees, plan review and permit fees, special event charges, grants and intergovernmental transfers. The District also charges impact fees that are reserved for capital as required by law. The District improvements may participate in investing or financing activities as allowed by law and approved by the Board of Directors and/or the voters.



Organizational History

The Crested Butte Fire Protection was established on September 10, 1973 by decree of the District Court in the Seventh Judicial District and the County of Gunnison in accordance with Colorado Revised Statutes § 89-17-2. The Colorado Division of Local Government certified the organization of the District on September 12, 1973. The original boundaries of the District included the Town of Crested Butte incorporated in 1880, the Crested Butte Ski area as determined by the boundaries of the Mt. Crested Butte Water and Sanitation District established in 1963 that later became the municipality of Mt. Crested Butte, and a tract of ranch land connecting the two jurisdictions along the Gothic Road Corridor. The formation of the fire protection district replaced volunteer fire protection provided on an intermittent basis by Town of Crested Butte with non-motorized equipment beginning in the 1880s. The District constructed its first fire station in 1974 at 306 Maroon Ave on land leased from the



Town of Crested Butte. The provision of ambulance service by the District began in 1975.

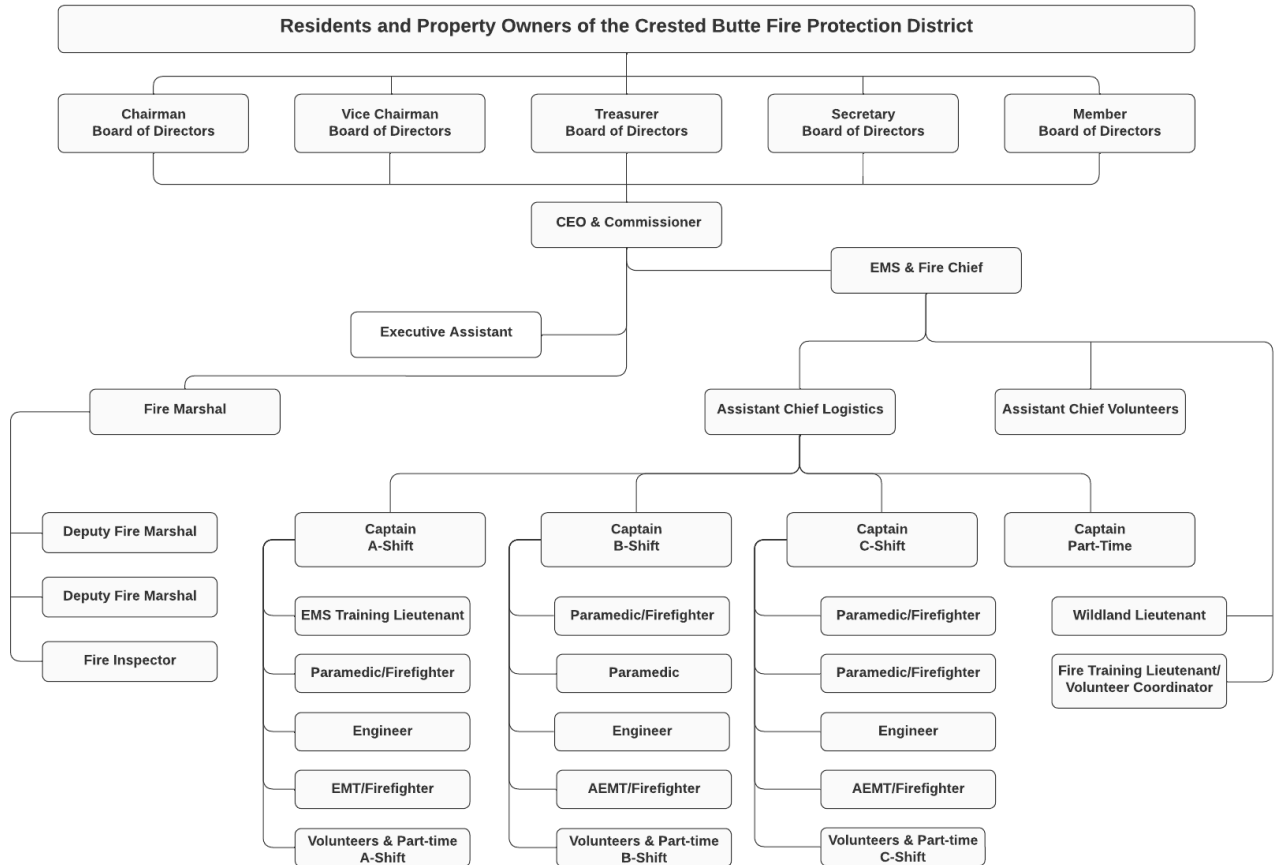
Boundaries of the CBFPD were expanded in 1995 to encompass 220 square miles of the Upper Gunnison Valley. Throughout 1990s and early 2000s additional District stations were constructed in Mt. Crested Butte, Crested Butte South and Buckhorn Ranch. A material modification of the statement of purposes was adopted on October 13, 2015 authorizing the District to provide affordable housing to its personnel.



Organizational Chart



Crested Butte Fire Protection District Organizational Chart



The Crested Butte Fire Protection District is committed to excellence in the protection of life and property and serves the community with professionalism, compassion, and respect.

Vision:

Strive for Excellence. Commit to Growth

Values:

Teamwork. Integrity. Professionalism.

PROMOTIONS, CERTIFICATIONS & MORE

Volunteer of the Year

- Sean Slattery
- Katie Harper

Chiefs Award

- Melvin Seyfried

Employee of the Year

- Annie Tunkey

Explorer of the Year

- Piper O'Neil
- Sam Dukeman

Promotions

- Jeremy McDonnell (Captain)

New certifications obtained

Firefighter I

- Rick Ball
- Sean Slattery
- Sasha Legere
- Dale Hoots

Firefighter II

- Jeffrey Duke
- Sean Caffrey

Driver/Operator

- Melvin Seyfried

Firefighter Proctor

- Joseph Mirza

Fire Instructor I

- Jeremy McDonnell

Fire Officer II

- Capt. Tony Jakino

Emergency Medical Technician

- Sasha Legere
- Bruce Nation

Advanced EMT

- Tara Sweitzer
- Zach Springer

Retirements/Farwell

- Scott Yost for 11 years of volunteer service

Recognitions

- Joe Wonnacott and Jordan Iraola – Good Samaritan
- West Elk Mine – Donation of 1200 gallons of Class A foam
- Gunnison Valley Health Foundation (CBFPD Education Scholarship program)

New Apparatus



Town of Crested Butte

P.O. Box 39 Crested Butte, Colorado 81224

-A National Historic District-

Phone: (970) 349-5338
FAX: (970) 349-6626
www.townofcrestedbutte.com

May 16, 2023

Sean Caffrey
Chief Executive Officer and Commissioner
Crested Butte Fire Protection District
Sent via email: scaffrey@cbfpd.org

Re: Request for Sanitary Sewer Service Outside of Municipal Boundaries

Dear Sean,

On May 15, 2023, Town Council provided conditional approval for the extension of the Town of Crested Butte's (Town) sanitary sewer system to serve the Crested Butte Fire Protection District's (CBFPD) anticipated campus on Gothic Road. This conditional approval is based upon CBFPD meeting the following Town Council conditions:

1. The sewer lift station will be sized to accommodate anticipated development of the adjacent TP1 parcel, which the main will pass through. The Town would assume ownership and maintenance of the lift station following completion and warranty period.
2. The CBFPD will collaborate with Town staff in the design and future construction of an 8' wide non-motorized crusher fines trail, connecting Slate River Subdivision TP7 to the former bridge abutment on Parcel 2 of the CBFPD Subdivision Exemption Plat. The agreed alignment will be included in the final site plan and construction drawing of the CBFPD campus as part of the building permit submittal package to Gunnison County. During construction of the CBFPD campus, the CBFPD will grade the site to accommodate the rough-in of the trail to allow for Town's future construction of the trail and bridge across the Slate River. The Town will complete the construction of the trail and execute a maintenance agreement for the same. The desired general location of the proposed trail alignment and easement is illustrated in the May 2, 2023 letter from the Town to the CBFPD. Modifications to the alignment and easement may be considered if there is mutually agreed fatal flaws, such as unmitigable negative environmental impacts, or unmitigable impacts to safe site operations of the CBFPD.

3. CBFPD will commit to engaging the community in discussion and consider public comment regarding the use of combustibles in the future training tower 6-9 months prior to construction of the tower.
4. CBFPD will construct an 8' wide public concrete sidewalk along the property frontage concurrent with construction of a comparable sidewalk along the Gothic Rd frontage of TP1. The sidewalk will provide for non-motorized access to the community room in the fire station.
5. CBFPD will provide a detailed explanation to the Town of how they are meeting the November 2021 ballot language regarding:
 - a. The construction of multi-family housing for emergency services personnel.
 - b. Equipping and improving all facilities to include solar panels and other sustainable features.

In addition to the above conditions of approval, Section 13-1-280(d) of the Town Code requires that CBFPD perform the following analysis as part of an Engineering Feasibility study.

If the Town Council elects to provide such water and/or sewer service, that fact shall be communicated to the applicant therefor, and the applicant shall thereafter prepare and submit to the Town Manager, at the applicant's expense, an engineering feasibility study. Such study shall include, but not be limited to:

- (1) *Preliminary designs and cost estimates of required sewage collection and water distribution systems;*
- (2) *Preliminary design of connection methods to the Town's systems;*
- (3) *Hydraulic analysis of the combined systems showing the effect of the added area on the Town's existing systems;*
- (4) *Preliminary design and cost estimates for any treatment facilities required to be added as a result of the service to the applicant's area; and*
- (5) *Such additional information as the Town Manager deems necessary, appropriate or prudent.*

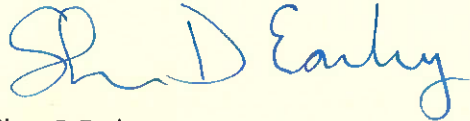
Furthermore, the Town will need to amend Section 13-1-280(e)(2)a of the Town Code to allow for the extension of sanitary sewer utilities to serve the CBFPD campus. This process will require the execution of an ordinance at two council meetings.

Finally, upon CBFPD's acceptance of the five council conditions outlined above, approval of the engineering feasibility study, and execution of the ordinance to amend Town Code, the Town Attorney shall prepare

An agreement for the provision and receipt of water and/or sewer service beyond Town boundaries not otherwise inconsistent with the requirements of this Section... Such agreement shall incorporate and include, without limitation, terms and conditions that address the requirements of this Section. (Section 13-1-280(e)(5))

The Town looks forward to working through this process with CBFPD. If you have any questions, please feel free to contact me.

Sincerely,

A handwritten signature in blue ink that reads "Shea D Earley". The signature is written in a cursive style with a large initial "S" and "E".

Shea D Earley
Public Works Director

CC:

Dara MacDonald

Troy Russ

Ian Baird

Karl Hanlon

Town of Crested Butte

P.O. Box 39 Crested Butte, Colorado 81224

-A National Historic District-

Phone: (970) 349-5338
FAX: (970) 349-6626
www.townofcrestedbutte.com

May 31, 2023

Sean Caffrey
Chief Executive Officer and Commissioner
Crested Butte Fire Protection District

Via email: scaffrey@cbfpd.org

Re: Request for municipal water service outside municipal boundaries

Dear Sean,

I am writing in response to the request by the Crested Butte Fire Protection District (CBFPD, applicant) for municipal water services for your anticipated fire department campus on Gothic Rd. The Crested Butte Town Council considered this request in executive session at their meeting on May 15th.

As you are aware, the municipal code contemplates extraterritorial extension of water service when the following conditions are met:

1. Applicant must meet the following minimum requirements per Section 13-1-280(e)(3).
 - a. Potable water shall not be used for irrigation purposes, except when Town-approved conservation measures are utilized.
 - b. Extension shall occur only if there are public benefits provided by the applicant.
2. Applicant provides an Engineering Feasibility Study per Section 13-1-280(d).
3. Applicant must meet the following minimum requirements per Section 13-1-280(e)(4).
 - a. The Town shall maintain all water and sewer systems and associated infrastructure; however, the costs to maintain such systems shall be paid for by the users thereof through increased user fees. If user fees prove to be inadequate to cover the costs of maintenance of such water and sewer systems, said user fees shall be increased accordingly. The Town shall not maintain service lines, which shall be maintained by the users thereof at their sole cost and expense.
 - b. Construction of water and sewer systems must be in accordance with the Town's specifications, and may require, without limitation, additional site engineering for site limitations and constraints and will minimize, to the maximum extent possible, impacts to wetlands and threatened and endangered species.
 - c. All water and sewer systems shall be designed and installed by the Town or, if the applicant requests and the Town agrees, by an engineer or contractor selected by the applicant, so long as the Town reviews and approves all aspects of such

- systems, including, without limitation, all drawings, specifications, venter terms and work performed.
- d. Applicant shall deed all water and sewer systems to the Town upon completion and acceptance by the Town, or at some specified date subsequent to completion as required by the Town.
 - e. The applicant shall provide year-round access by easement or public right to the Town for the purposes of maintaining all the deed facilities associated with any proposed sewer and water extension. When any part of the water and sewer system is not located in the public right of way, acceptable easements shall be given therefor to the Town.
 - f. Service area customers shall agree to abide by the Town's rules and regulations governing use of the Town's water and sewer systems.
 - g. Single-family residences served by the Town water and/or sewer systems shall not exceed five thousand (5,000) square feet.
 - h. The applicant for water and/or sewer service shall pay all applicable system development fees.
 - i. Taps fees for water and sewer service shall be one and one-half (1.5) times the in-Town rate. Tap fees shall be one (1) EQR if deed restricted to be consistent with the Town's policies for deed restrictions on accessory dwellings.
 - j. Monthly service fees for water and sewer service shall be two (2) times the in-Town rate.
 - k. If the subject property is annexed at a later date, all fees shall be the same as the fees other Town residents pay for such services at the time of annexation, unless site limitations or other considerations indicate they should be higher as determined by the Town or as otherwise determined by the Town Council.
 - l. The applicant shall contract with the Town to make such additional financial commitments and contributions to the Town in order to ensure that such extension of water and/or sewer service does not adversely affect the Town from a financial perspective.
4. Per Section 13-1-280(e)(5), the Applicant shall execute an agreement for the provision and receipt of water and/or sewer service beyond Town boundaries not otherwise inconsistent with the requirements of the Section

The Town Council is willing to provide water service to the fire department campus subject to the following condition which they feel would provide the necessary public benefit while also fairly compensating CBFPD:

The Town will purchase the remaining approximately 5 acres east of the 125' setback required by Section 11-107 of the Gunnison County LUR. The purchase price for the approximately 5-acres would be approximately \$650,000 based upon the per-acre value established in the restricted appraisal prepared for CBFPD by East West Econometrics in August 2022. While we recognize CBFPD paid a higher per-acre price for the overall property, it would be difficult for the Town to pay more than appraised value and we hope consideration will be given that the Town is offering the per-acre appraised value for the least useable portion of the land. Alternatively, the Town would consider a new appraisal of only the portion of the land proposed for purchase.

The Town would utilize the property for non-motorized passive public recreation, and possible future cemetery expansion east of the Slate River. The Town is not set on any precise boundary, but is most interested in the riparian areas and the ability to construct an eventual trail connection across the river to the cemetery.

Additionally, as part of the Engineering Feasibility Study, The Town would like to require that no more than a 100 GPM demand (instantaneous) be placed on the system at any one time, except in emergency situations. If larger demands are required by the applicant, then the installation of an underground storage tank may be needed.

Finally, as part of the agreement, the Town Council would also reduce the water system development fee (a.k.a. 'tap fee') from 1.5x the in-town rate down to the in-town rate. This would be a savings of approximately \$74,000.

The Town Council looks forward to further discussion on providing water service. Once we agree that CBFPD and the Town have reached consensus on what terms are acceptable, consideration of the water utility extension request will be scheduled for discussion on an upcoming Town Council agenda.

Feel free to reach out with any questions or when you are ready to discuss.

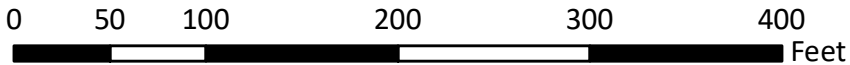
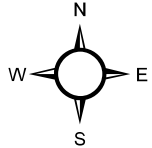
Sincerely,



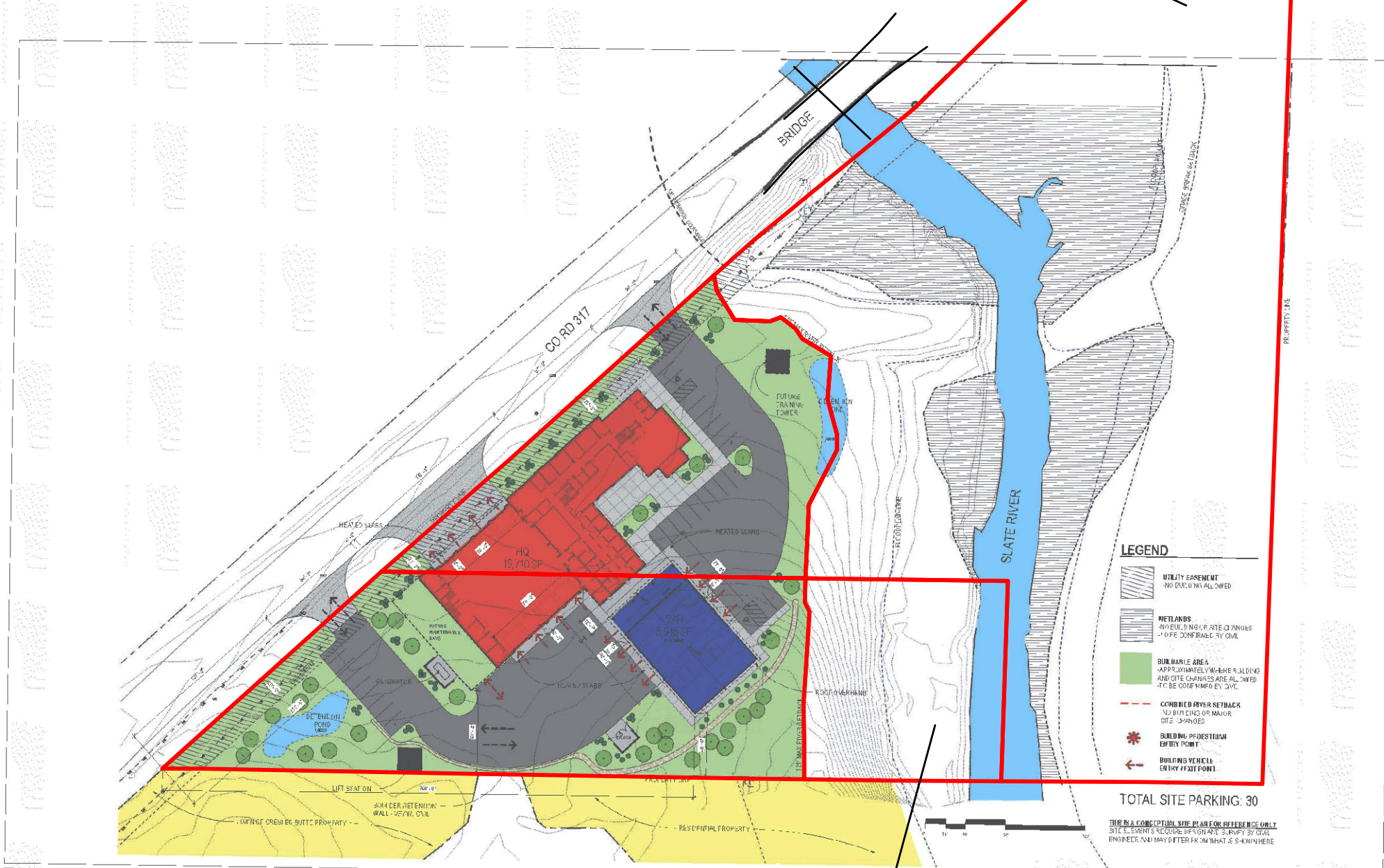
Shea D Earley
Public Works Director

CC: Dara MacDonald
Troy Russ
Karl Hanlon

Town Counter Offer DRAFT



22,416 sq ft (4.49 ac)



LEGEND

- UTILITY EASEMENT
NO DUCTS ALLOWED
- WETLANDS
WATER BODIES OR RITE Q TANKS
10% CONFORMANCE BY CIVIL
- BURNABLE AREA
APPROXIMATELY 1/4" FIRE RATING
AND SITE CHARACTERISTICS ALLOWED
10% CONFORMANCE BY CIVIL
- COMBINED RIVER SETBACK
NO BUILDING OR MAJOR
SITE CHANGES
- BUILDING PROTECTION
ENTRY POINT
- BUILDING VEHICLE
ENTRY POINT

TOTAL SITE PARKING: 30
THIS IS A CONCEPTUAL SITE PLAN FOR REFERENCE ONLY.
SITE EVENTS REQUIRE UPS ON AND SURVEY BY LOCAL
ENGINEER AND MAY DIFFER FROM WHAT IS SHOWN HERE.

ARCHITECTURAL SITE PLAN
CRESTED BUTTE FIRE PROTECTION DISTRICT
300 MARCOON AVE., CRESTED BUTTE, CO 81224
1/25/2023



22,416 sq ft (0.52 ac)

NOTE: Areas are estimates
calculated with ESRI ArcMap 10.8.1

Filename: C:\project\townofcb\Spann-CBFPD022823.mxd
Date: February 28, 2023

Building/Owner Name CBFPD Address CR 317 and Slate River
 Legal Description Zone NA
 CBFPD Building

		SF		
Office Use/Storage (See page 2 for breakdown of sf from each floor)	First floor	5575.2		
	Second floor	2593.6		
			1st 1500 sf = 1.0; 8138.8 - 1500 = 6688.8; 6688.8/1500 = 4.45 = 5	5 x 0.5 = 2.5; 1.0 + 2.5 = 3.5 EQR
	Total	8168.8		
Office use/storage - nonoccupied retail, showroom, shop or warehouse space	First floor (Pair by front door and ADA in hall)	6388.9/1500		5 x 0.3 = 1.5 EQR
Office use/storage - public restroom	First floor (Pair by front door and ADA in hall)	3 restrooms = 1.8 EQR		

Congregate housing	6 sleeping rooms	1.0 for each 3 BR = 2.0 EQR
ADA showers and Shower (209.64 + 107.98 sf) included		
Kitchen/pantry (512.27 sf) included		
Dayroom (676.67 sf) included		

CBFPD BUILDING EQR Overview

	Sewer Fees	Water Fees	Sewer and Water Fees Combined
	3.5		
	1.5		
	1.8		
	2		
		8.8 x \$13,260 = \$116,688 x 1.5 = \$175,032	8.8 x \$16,380 = \$144,144 x 1.5 = \$216,216
TOTAL	8.8	\$175,032	\$391,248

Search and Rescue Building

		SF		
Office Use/Storage	First floor	1765.3	1st 1500 sf = 1.0; remaining sf = 0.5 sf	1.0 + 0.5 = 1.5 EQR
Office use/storage - nonoccupied retail, showroom, shop or warehouse space	First floor (apouratus bays)	3719.6/1500		3.0 x 0.3 = 0.9 EQR

Search and Rescue BUILDING EQR Overview

	Sewer Fees	Water Fees	Sewer and Water Fees Combined
	1.5		
	0.9		
		2.4 x \$13,260 = \$31,824 x 1.5 = \$47,736	2.4 x \$16,380 = \$39,312 x 1.5 = \$58,968
Total	2.4	\$47,736	\$106,704

CBFPD Overview of Office/Storage SF (see attached drawings)

First floor		SF
Maint office/Parts/Shop/Wash alcove/ hose storage		705.64
Crew workspace		288.84
Capt Office/Training office/ Fire Marshal office/ FP Office/ Reception		757.21
Med stor/ laundry		193.59
Decon/cleaning/turnoutgear		950.2
Decon shower/ADA shower/ water		227.36
Janitor		34.89
Fitness Room/coffee/storage/shoe rack/table storage		1016.3
Training room/Spa/coffee		5575.2

Second floor		SF
Seasonal storage/training/uniform storage		836.42
ADA RR/Restroom		122.16
HR office/Exec office/Chief office/ district mgr office/ conf room/		1170
Jan		30.28
Admin office/record storage/copy		434.79
		2993.6

Crested Butte Fire Protection District
New Emergency Center Campus
CR 317 and Slate River, Gunnison County, CO (North Crested Butte)

FINAL Schematic Design Package 02
Search and Rescue (SAR)

Project No. 22033_3

14 June 2023

Revision No.	Date	Description
0	February 08, 2023	Original Submittal, No highlight
1	June 14, 2023	Misc. changes highlighted in yellow



Architecture
Interior Design
Project Management

622 Road Avenue
Grand Junction, CO 81501
970-242-1058 office

BLYTHE GROUP + co.



ARCHITECTURE + PLANNING + DESIGN

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CRESTED BUTTE FIRE PROTECTION DISTRICT
NEW EMERGENCY SERVICES CAMPUS
Span Subdivision Exemption, Crested Butte, Co 81224
90% Schematic Design Package 02– Search and Rescue (SAR)

1. Project Description

The Crested Butte Fire Protection District (CBFPD) intends to develop a new emergency services campus on property located in Gunnison County north of the Town of Crested Butte. The new campus will include a potential total of 2 buildings which will be permitted separately and therefore are separated into their own reports. This report (Final Schematic Design Package) covers the Search and Rescue (SAR) building on the new campus. The SAR structure is to be constructed using metal building components. Site work for this building is included in the administration building's narrative.

The new Search and Rescue (SAR) building will house the equipment and functions required by SAR services including but not limited to the following:

- SAR Administration – Offices and space for day-to-day operations and mission preparation/planning.
- Equipment Bays and Related Support Spaces – A 4-bay open space for vehicle storage and upkeep with ancillary support spaces such as a locker room and small storage.
- Training – Multi-use space and support areas that can be used as a classroom or other functions that may be required. This section of the building is secured from the remainder of the building so the space can be offered to the public.

The overall campus site is made up of two (2) parcels. The SAR sits on the southeast end of the new campus southeast of the proposed CBFPD headquarters building. Site design permits the equipment bays to have drive-thru access from the front and the back.

This building and the overall campus work will be constructed using a single Construction Manager/ General Contractor (CM/GC) method of delivery. The process of selecting a qualified CM/GC is complete and FCI Constructors, Inc. has been selected, awarded, and is currently part of the project. The CM/GC will play an integral role working with the design team to help achieve the project goals.

The SAR building includes a roof mounted 21 kW photovoltaic system.

It is anticipated the SAR building will be constructed concurrently with the other structures on campus.

Zoning information

Reference **Final** Schematic Design Package 01 Central Administration, Fire, and Emergency Medical Services (EMS)

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Exclusions

This report and therefore the project scope does not currently contain any of the following items. If added to the project it is anticipated they, or any other scope modifications would result in additional fees and potential re-design of work already performed.

- 1) Zero Energy – The scope of this project does not include any provision for any building(s) to be zero energy or zero carbon. Nor does it include any energy analyses, simulations, enclosure testing, or mockups. If any of these items or similar items are added to the scope of the project, project fees, construction costs, and project timeline would need to be re-evaluated before moving forward.
- 2) LEED: No aspect of the project will pursue LEED Certification at any level.

LEED Certified

The SAR building will not be 'LEED Certified'.

2. Project Schedule

<u>Phase</u>	<u>Completion</u>
FINAL Schematic Design and Cost Estimate:	June 21, 2023
CBFPD BOD-SD Approval Meeting:	July 11, 2023
Final Design Development and Cost Estimate:	October 9, 2023
CBFPD BOD-DD Approval Meeting:	October 10, 2023
BG+co Final Contract Documents to FCI for pricing:	July 25, 2023
Final Contract Documents and GMP:	September 05
CBFPD BOD-CD Approval Meeting:	January 30, 2024
Begin Construction Phase:	March 19, 2023
Mobilization:	April 12, 2024
Substantial Completion:	July 7, 2025

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3. Preliminary Code Analysis

Governing Building Codes: Crested Butte Municipal Code
2021 IBC, IMC, IFGC
2021 IPC
2021 NEC
2017 ICC/ANSI 117.1
2021 IECC

Chapter 3 Use and Occupancy Classification:

IBC Section 508. The proposed use is classified as a Mixed Use – Non-Separated occupancy of Assembly A-3, Business Group B and Storage (S-1 and S-2).

Chapter 4 Special Detailed Requirements Based on Use and Occupancy:

N/A

Chapter 5 General Building Heights and Areas:

The building can have 2 stories per Table 504.4 using the stricter requirement for Occupancy ‘S-1’ and have a maximum height of 60 feet by Table 504.3. The maximum allowable area after consideration of the Type VB construction, being fully fire sprinklered, and its location on the property is 27,000 SF for the two floors of the entire building. Since the building area is less than the requirement, no area increase by frontage calculations are needed. In each story, the building area shall be such that the sum of the ratios of the actual building area of each separated occupancy divided by the allowable building area of each separated occupancy shall not exceed 1.

Chapter 6 Types of Construction:

This building will be of the type of construction described in IBC Section 602.2 for Type VB. In this type of construction structural elements, exterior walls, and interior walls are of any materials permitted by the IBC code. IBC Table 601 requires (0) fire-resistance ratings for building elements in a Type VB construction. IBC Table 602 requires (0) fire-ratings for exterior walls of B, S-1, or S-2 occupancy groups with fire separation distances equal to or exceeding 10 feet. If this distance is between 5 and 10 it will need to have a 1 hr rating and if this distance is less than 5 feet, it will need a 1 hr rating for occupancy groups B, and S-2 and a 2 hr rating for occupancy group S-1.

Chapter 7 Fire and Smoke Prevention Features:

Exterior walls shall comply with Section 705. Section 705.2 requires that cornices, eave overhangs, exterior balconies and similar projections conform to minimum projection distances specified by Table 705.2. Buildings on the same lot must comply with requirements set forth in Section 705.3. Section 705.8.1 requires that the maximum area of unprotected and protected openings permitted in an exterior wall in any story of a building shall not exceed the percentages specified in Table 705.8. Section 705.11 requires that parapets be provided on exterior walls of buildings except if the wall is not required to be fire-resistance rated according to Table 602 because of fire separation distance. Section 705.11.1 requires that parapets have the same fire-resistance rating as that required for the supporting wall.

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Chapter 8 Interior Finishes:

IBC Table 803.13 requires other wall and ceiling finishes to be Class B in interior exit stairways and Class C in all other rooms and spaces.

Chapter 9 Fire Protection Systems:

Fire Suppression is not required by code but is being installed at Owners preference.
Fire Extinguishers shall be installed in accordance with NFPA 10.

Neither Manual or Automatic Fire Alarm system is required as the projected Occupant loads are less than the triggers given in IBC Sections 907.2.2 and 907.2.7.

Chapter 10 Means of Egress:

2018 IBC Table 1004.5 sets the maximum floor area allowance per occupant for B and M occupancies. This table sets the total building occupant load as follows:

Floor	Square Footage	Occupancy Factor	Occupant Load
First–A-3 Occupancy	785 SF	15 net	52.3
First–B Occupancy	390 SF	150 gross	2.6
First–S-1 Occupancy	750 SF	300 gross	2.5
First–S-2 Occupancy	3,723 SF	200 gross	18.6
Total:	5,649 SF		76

IBC Table 1006.3.2 sets the minimum number of exits or access to exits with 1-500 occupants at 2 per story. The maximum exit access travel distance for a B occupancy in a fully sprinklered building is 300 feet and 250 feet for an M occupancy per IBC Table 1017.2. Maximum Common Path of Egress Distance 75 feet for M occupancy and 100 feet for Business occupancy spaces (Table 1006.2.1). Maximum occupant load of any of the space uses with one exit shall not exceed 49 (Table 1006.2.1). There is no fire-resistance rating required in sprinklered B or M occupancy groups for corridors per Table 1020.1. The minimum corridor width is 44" per IBC Table 1020.2.

Chapter 11 Accessibility

IBC Section 1104 requires at least one accessible route be provided from accessible parking, accessible passenger loading zones, and public streets or sidewalks to an accessible entrance to the building. IBC Section 1105 requires that at least 60% of all public entrances be accessible. IBC Section 1104.4 requires at least one accessible route be provided to each level. IBC Section 1109.2 has requirements for toilet and bathing facilities to be accessible. IBC Section 1111 has requirements for accessible element signage.

Chapter 12 Interior Environment

IBC Section 1204 requires temperature control for all interior spaces intended for human occupancy to provide and maintain indoor temperatures of not less than 68°F (20°C) at a point 3 feet above the finish floor. Section 1205 has requirements for providing natural and artificial light. Section 1210 has requirements for toilet and bathroom finishes of walls, floors, and partitions to be smooth, hard and nonabsorbent materials.

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Chapter 13 Energy Efficiency:

IBC Section 1301 requires buildings to be designed and constructed in accordance with the International Energy Conservation Code. The building will be constructed with manufactured metal building components. According to the 2021 IECC, the Town of Crested Butte is in Climate Zone 7.

Per Table C402.1.3.

Metal Building Roof: insulating value of R-30 plus R-11 Linear System values

Metal Building Above Grade Walls: insulating values of R-13 plus R-17 continuous insulation

Below Grade Walls: insulating value of R-15 continuous insulation

Unheated Slabs: insulating value of R-20 for 24 inches below

Heated Slabs: insulating values of R-20 for 48 inches below plus R-5 full slab insulation

The building envelope will be examined overall using ComCheck software to ensure compliance with the IECC requirements.

Chapter 29 Plumbing Systems:

Per sections 508 and 2902.1 the total plumbing fixtures of a non-separated mixed-use building are determined by totaling the individual required number of plumbing fixtures required for each occupancy classification

Occupancy	Number of Occupants	Water Closets	Lavatory	Service Sink	Drinking Fountain
		M / W	M / W		
A-3	52.3	0.2 / 0.4	0.13 / 0.13	1	0.1
B	2.6	0.05 / 0.05	0.03 / 0.03	1	0.026
S-1	2.5	0.025 / 0.025	0.025 / 0.025	1	0.0025
S-2	18.6	0.093 / 0.093	0.093 / 0.093	1	0.0186
Sub Total:		0.68 / 0.568	0.53 / 0.53	1	0.1471
Total:	76	1 / 1	1 / 1	1	1

Chapter 30 Conveying Systems:

No elevator is required.

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4. Civil Concept

Reference **Final** Schematic Design Package 01 Central Administration, Fire, and Emergency Medical Services (EMS)

END OF CIVIL NARRATIVE

5. Landscaping and Irrigation Concept

Reference **Final** Schematic Design Package 01 Central Administration, Fire, and Emergency Medical Services (EMS)

END OF LANDSCAPING AND IRRIGATION NARRATIVE

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6. Exterior Architectural Concept

The new Search and Rescue (SAR) building exterior core and shell are to be a pre-engineered metal building. Standard metal building components and assemblies are to be use throughout the majority of the structure. To prolong the lifecycle and performance of the core and shell certain metal building components are to be substituted.

Exterior doors and windows:

Thermally broken, aluminum framed openings to be use. Glazing is to be double paned. All doors are to be insulated.

Fenestration Framing:

Perimeter of all openings to be framed with steel channels / girts. No fenestration is to be attached only to the metal building panels.

Exterior metal trim / flashing:

Custom trim and flashing to be used to create durable, weather tight construction.

Exterior metal panels:

Use standard metal panels with colors and profiles from the metal building manufactures. Orientation of the metal panels are to be horizontal and vertical. An accent metal panel is to be used as a wainscot with capped metal trim. All metal panel edges are to be capped with a prefinished metal j trim.

Thermal and Moisture Protection:

A premanufactured vapor retarder and insulation system (Simple Saver System) is to be used in the walls and roof. Thermal spacers are to be used between all metal building girts and prefinished metal panels. No continuous exterior insulation is to be used on the wall and roof assemblies.

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7. Interior Architectural Concept

The interior architectural concept is to provide SAR personnel with sufficient space to service the area. The interior design of this building is divided into two basic parts:

- 1) **Vehicle Bays** – This area contains the SAR equipment storage areas of the facility including four (4) interior bays for vehicular storage and support areas. Ancillary spaces are provided for storage of smaller equipment. Lockers for SAR personnel are located within the vehicle bays. The interior architecture of this area will be functional and durable. Typical wall construction of the support spaces will be metal stud with gypsum wall board. Painted plywood veneer will be used in the vehicle bays where the potential for water and impact will be high. Ceilings will be open and exposed to structure.
- 2) **SAR Operations Area** – This space provides functions needed by the SAR personnel between and during missions including a training and mission planning area for the entire building. The training area is to include casework with a sink, microwave, electric stove / range, and refrigerator. The interior architecture of this area will be functional, and durable as well. Typical wall construction will be metal stud with sound insulation and gypsum wall board finish. Floor finish will be durable.

Preliminary Finish Schedule:

AREA	FLOOR	WALLS	CEILINGS
Public Entry	Sealed concrete	Painted Gypsum	Gyp Bd. w/ Acoustical lay-in tile
Training Room	Durable Carpet	Painted gypsum	Gyp Bd. w/ Acoustical lay-in tile
Public Restrooms	Porcelain tile	Porcelain tile wainscot up to 7'-0", epoxy painted gypsum wallboard	Gypsum board
Vehicle Bays	Sealed concrete	Exposed metal building, painted 3/4" plywood wainscot up to 8 feet	Open to Structure
Bay accessory spaces	Sealed Concrete	Themec Painted Gypsum	Open to Structure
Mission Planning	Durable Carpet	Painted gypsum	Acoustical lay-in tile
Elec/Mech/Plbg	Sealed concrete	Painted impact-resistant gypsum	Open to Structure

END OF ARCHITECTURAL NARRATIVE



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8. Structural Concept

GENERAL BUILDING DESCRIPTION

The Crested Butte Fire Protection District – Search and Rescue (SAR) building is a new 1-story building, located at 306 Maroon Avenue, Crested Butte, Colorado.

The ground floor of the building will serve as offices, training, light storage, and vehicle bays. A portion of the building will remain un-finished in the initial phase of the project.

This narrative describes the projected structural foundation, floor, roof, lateral and exterior wall systems for the project and discusses the proposed structural design criteria.

DESIGN CRITERIA

- The governing Building Code is the IBC 2021 and referenced codes.
- Design Dead Loads will include:
 - Structure self-weight
 - Allowance for flooring, C/L/M/E (ceiling, lights, mechanical piping and ducts, and electrical) 15psf min
 - Allowance for direct mounted future photovoltaic panels on all roofs
- Design Live Loads will include:
 - Design Live Loads will be in accordance with the requirements of IBC
 - Office space: 50psf + 15psf for partitions
 - Vehicle Bays: 40psf, concentrated load of vehicle
- This building is classified as Risk Category IV.
- Serviceability:
 - Live Load deflection = $L/360$
 - Total Load deflection (including creep) = $L/240$
 - Design floor for ATC Design Guide 1 “Minimizing Floor Vibration”
 - Maximum acceleration = 0.5% g
 - Assumed damping = 3%
 - Wall deflection = $L/240$
 - Building Drift = $H/400$ (wind), $H/50$ (seismic)



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- Seismic loading in accordance with IBC and ASCE using the following parameters:
 - Soil Site Class, Per Geotechnical Report: D
 - Response Modification Coefficient (R): 3.0
 - Short Period Spectral Acceleration (S_s): 36.4%g
 - One-Second Period Spectral Acceleration (S₁): 8.2%g
 - Seismic Design Category: D
 - Mass calculations will conform to ASCE 7

- Wind loading in accordance with ASCE using the following parameters:
 - Basic ultimate wind speed = 120 mph
 - Exposure category C

- Snow loading in accordance with ASCE 7 using the following parameters:
 - Ground Snow Load, P_g: 125 psf
 - Thermal factor, C_t: 1.0
 - Snow Exposure factor, C_e: 1.0
 - Importance Factor, I_s: 1.2
 - Flat Roof Snow Load, P_f: 105 psf

- Frost protection to be not less than 36”.

- Foundations will be designed in accordance with the Cesare, Inc geotechnical engineering study number 22.2156, dated December 15, 2022. Foundation system options are summarized in the Foundation section below.

BUILDING FRAMING

The Search and Rescue building will be a pre-engineered metal building with two slope shed roofs over the four (4) vehicle bays and auxiliary spaces.

FIRST FLOOR FRAMING

The first-floor slab is expected to be a conventional slab-on-grade reinforced with welded wire reinforcement. For preliminary pricing, the following can be assumed:

- Concrete for slab-on-grade:
 - F’c = 4,500 psi, normal weight
 - No entrained air

- Slab-on-grade:
 - 4” thick slab with 6” thick slab at vehicle bays



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- Thickened slabs up to 12” thick at stair stringers, and in mechanical areas

Detailed information is provided below:

Slab-On-Grade	4" Normal Weight with Fiber Mesh	
Slab Reinforcing	6x6 W2.9xW2.9 Slab Reinforcing	0.5 psf
Slab-On-Grade – Vehicle Bays	6" Normal Weight with Fiber Mesh	
Slab Reinforcing – Vehicle Bays	#4 @18” oc	1.5 psf
Prepared subgrade per recommendations of the Geotechnical Engineer		

FOUNDATIONS

The expected foundation system is a shallow spread footing foundation system. During the excavation for the geotechnical report ground water was not found. For preliminary pricing, the following can be assumed:

- Concrete for footings and stem walls:
 - F’c = 3,000 psi, normal weight
 - 6% air-entrainment in stem walls
- Foundations:
 - The allowable bearing pressure is 3,500psf based on dead load plus ½ live load.

Detailed information for each option is provided below:

Typical Exterior Footing and Stem Wall	8” Thick Stem Wall with #4 @ 12” Each Way, Each Face On 16” Wide x 12” Thick Strip Footing with #5 @ 12” If brick or full thickness stone is to be supported on stem wall assume 14” Thick Stem Wall w/ #5 @ 18” Each Way, Each Face on 22” Wide x 12” Thick Strip Footing with #5 @ 12”
Typical Interior Footing	8’x8’x1’-6” Normal Weight Concrete with (7) #6 Each Way, Bottom
Typical Exterior Footing	6’x6’x1’-4” Normal Weight Concrete with (8) #5 Each Way, Bottom
Typical Braced Frame Footing	6’x6’x1’-4” Normal Weight Concrete with (8) #5 Each Way, Top and Bottom



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LATERAL SYSTEM

The lateral system for the building will be by pre-engineering metal building manufacturer is a series of metal moment frames in the east/west direction and rod x-braced frames in the north/south direction.

EXTERIOR WALL

The exterior walls will be comprised of 8” deep horizontal metal Z-girts which will be performance specified by Martin/Martin, Inc. to be designed by the pre-engineered metal building manufacturer.

END OF STRUCTURAL NARRATIVE



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9. Mechanical, Plumbing and Electrical Concepts

Bighorn Consulting Engineers, Inc.
386 Indian Road, Grand Junction, CO 81501
Phone: 970-241-8709

Crested Butte Fire Protection District
New Search and Rescue Building
Crested Butte, CO

Mechanical, Plumbing and Electrical Schematic Design Narrative
June 14, 2023

General

The project will include the construction of a search and rescue building with apparatus bays, training, offices, locker rooms and ancillary spaces. This will be a single-story building of about 5947 ft².

Applicable Codes

2021 International Building Code
2021 International Mechanical Code
2021 International Plumbing Code
2021 International Energy Conservation Code
2020 National Electric Code

Seismic Classification

The project classification is Site Class D, Risk Category IV, and Seismic Design Category D. For this facility, the Component Importance Factor would be 1.5.

The following systems/components will be installed with seismic bracing:

1. Fire protection piping.
2. Electrical conduit larger than 2".
3. Ductwork with a cross-sectional area greater than six square feet.
4. Domestic, sanitary, storm, or hydronic piping that does not meet the 12-inch hangar rule. Piping 1" or less and supported by a single clevis does not require bracing. Piping 1" or less supported by a trapeze per ASCE 7 does not require bracing.
5. In-line components greater than 75 lbs.
6. Light fixtures in suspended ceilings.

This will be a delegated design for MEP systems performed by a firm specializing in seismic classification and design of restraints for MEP systems and equipment.

Plumbing

It is anticipated that a new fire protection line would be routed to the building to provide fire protection water and a new domestic water line would be routed to the building for domestic water as follows:

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1. SAR: 6" fire line, 1 1/4" domestic line.

The domestic water entry will include a strainer, PRV's, reduced pressure backflow preventer and pressure gauges.

A sanitary sewer line will exit the building and tie to the sanitary main on site as follows:

1. SAR: 4" line.

Coordination with the civil engineering consultant will be necessary to determine final location of the sewer tap for the building.

Natural gas will be routed in the building to serve gas-fired equipment including water heaters, boilers, and other mechanical gas-fired equipment for the building. The meter set location will be coordinated during design. Delivery pressure (2 psi or 7" wc) will also be determined during design. The gas needed in the new system will vary with the selection of the mechanical system. Exterior, underground gas piping will be HDPE with fusion welded joints. Interior gas piping will be schedule 40 steel piping. Gas pipe size up to 3" is anticipated.

The SAR building will have a domestic hot water plant that is fed from the heating boiler plant to indirect water heaters as follows:

1. SAR: one, 80-gallon, indirect heater.

The water heater will be fed from the boiler system and domestic hot water will be routed from this location to all fixtures requiring domestic hot water. Recirculation lines will be routed from the furthest fixtures as required by the IPC.

Exterior hose bibbs will be provided at select locations around the exterior of the buildings.

Plumbing fixtures will be standard grade, commercial quality. The water closets will be high efficiency 1.1 gpf, floor-mounted water closets by Kohler. Urinals will be 0.125 gpf high efficiency style by Kohler. Flush valves will be sensor type with battery power. Lavatory faucets in public restrooms, private restrooms, and handwash sinks in the bays will be 0.3 gpm sensor type with battery power.

Waste, vent, and storm piping inside the building will be standard weight cast iron pipe with "No-hub" joints. Underground waste will be DWV rated PVC with solid wall. Domestic water and recirculation piping will be type "L" copper. Domestic hot water will be insulated with 1" fiberglass insulation according to IECC 2015.

Floor drainage will be provided in select areas as determined during design. The drain locations and type will be coordinated with the architect and owner during design. These will include large toilet rooms, locker rooms, and apparatus bays.

Specific plumbing items for the SAR apparatus bays include:

1. A 1500 gallon, two-compartment sand/oil interceptor will be installed outside the building and the location will be coordinated during design. Floor drainage from the bays will drain to this interceptor.

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Heating, ventilating, and air-conditioning

Search and Rescue (SAR) Building

The systems for the SAR building will be composed of the following:

1. A central boiler plant with two, modular, high-efficiency, gas-fired boilers; pumps; indirect water heaters; piping; and controls. The boilers will each have a capacity of 400 mbh and be similar to the Raypak XFIRE, Model #B400.
2. Radiant floor will be installed throughout this building and will include 1/2" hePEX at 10" o.c. Other system components will include radiant manifolds, control valves and loop piping. Loops will be limited to 300 feet in length.
3. Hydronic fan coils will be supplied to provide supplementary heat in the offices, training, and meeting planning spaces.
4. Hydronic unit heaters will provide supplementary heat at the apparatus bay doors.
5. Snowmelt systems will be installed at the aprons at each overhead door and will extend 15 ft from the door. Systems will include 3/4" hePEX tubing at 12" o.c. Other system components will include snowmelt manifolds, control valves and loop piping. Loops will be limited to 500 feet in length. System fluid will be 50% propylene glycol. The areas of the apron that are included in the city easement will be served by a separate manifold system to maintain independent operation from the other parts of the aprons.
6. General exhaust fans will be used to provide ventilation throughout and to ensure negative pressure relation to the Administration side of the building. **There will be a wall mounted exhaust fan in the equipment bay.** Final location of fan to be determined during design. The fan will provide 0.75 cfm/ft² of exhaust capacity. The general exhaust system will be provided with a carbon monoxide and nitrogen dioxide gas detection system similar to the Macurco DVP-1200 with sensors.
7. Suspended air cleaners will be used in the equipment bay to clean and filter the bay air. A house reel, source capture vehicle exhaust system will also be provided.
8. **Apparatus vehicle source capture exhaust system will be provided for each vehicle. This will be a system composed of exhaust fans, ductwork, track system and breakaway connections.**
9. An exhaust recovery ventilator (ERV) will be used to provide code required outside air ventilation and general exhaust in the Administration part of the building.
10. The IT room will receive a 1.0-ton cooling only split system air conditioner with low ambient cooling.

Geothermal Considerations

The gas fired boiler plant could be replaced with a geothermal water-to-water (WTW) heat pump plant to provide the required hydronic hot water. The WTW heat pump plant would be comprised of (2) Water Furnace TruClimate 100 model NXW600 units each with a nominal 50-ton capacity. The source side would be sized for approximately 300 GPM of total flow.

The water-to-water plant would be connected to the site geothermal bore field loop.

Electrical:

Site/Overall

Site lighting will be provided using full cutoff fixtures that are Dark Sky Compliant. Arrangement of building mounted lights and Site poles or bollards shall be such that light does not trespass over the property boundaries in accordance with IECC 2021 requirements. The need for additional Site task lighting to assist

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with operations or training scenarios will be coordinated during the design. Site lighting layout will take into consideration the planned Helicopter Landing Zone and flight path, including pole height, placement, and light source visibility.

Provide two (2) conduits running between buildings. One is to be for Fire alarm (low voltage) and one for future use. Size of conduits to be determined during design.

Lighting

The lighting system for the project will include the most energy efficient lighting available with consideration from a maintenance standpoint to provide the most compatible light fixtures. Vehicle bays are planned to have LED low-bay lighting that is coordinated with the equipment and vehicle layout to provide the most effective coverage. Other areas are planned to use LED panels, downlights, and pendants for functional performance based on ceiling types.

Automatic lighting controls will be provided where required or practical to turn lights on when occupants enter an area and off after a period of inactivity. Automatic daylight harvesting controls shall be provided where required by the governing IECC. All the fixtures will have dimming capabilities in conjunction with the LED light fixtures to provide IECC required light level reduction controls.

Exterior lighting will be controlled by a timeclock or photocell and provide the ability to reduce light output via fixture dimming.

General Power

The electrical service is planned to be a 200 amp, 277/480V, 3 phase. The final electrical service solution will depend on project approval and phasing of construction with further coordination during the design being required.

The entire electrical service to the Fire Station is planned to be backed up by a Cummins Turbo-diesel generator that is configured for continuous operation (i.e., COPS NEC 708) for a period of 72 hours minimum. Estimated size of backup generator is 350kW and provisions for a load shedding transfer switch to the SAR building shall be planned at minimum. Confirmation of generator capacity and alternate solutions for backup generator power will be discussed during the design and may include increased nominal size and load shedding or transfer switch configurations, add alternate option for independent backup generator for the SAR building (~65kW), etc. The electrical gear will have protection against overvoltage (SPD). The electrical system will be designed to handle the demands of a typical building of this usage with capability to handle power requirements for general office and training operation in addition to Emergency response and operations related to SAR. All electrical devices will be specification grade.

A remote sewage lift-station grinder pump is anticipated to be installed on the site to be used by all buildings (Fire Station and SAR). This pump will be powered from the generator backed electrical service from the Fire Station or SAR building depending on final location.

Building metering will be accomplished with a single meter located on the exterior of the building next to the main disconnect/panel. Submetering for building systems to meet Energy Code or Certification requirements will also be included; these systems may include lighting, heating, cooling, etc. It is planned to use products from eGauge to complete the submetering.

Photovoltaic generation system(s) are planned to be installed as part of the construction. The specific installation plan and restrictions/limitations will be coordinated during the design. Electric Utility Service provider (Gunnison County Electric Association (GCEA)) has limitations on the overall size (kW) of

CRESTED BUTTE FIRE PROTECTION DISTRICT
NEW EMERGENCY SERVICES CAMPUS
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90% Schematic Design Package 02– Search and Rescue (SAR)

interconnected generation as well as total energy production/offset (kWh) of these systems that must be reevaluated at the time of the design.

Systems

Data and A/V systems will be designed and specified according to the input from the owner. This will include data ports in all offices, training/planning rooms, etc. It will also include wireless access points (WAP's) at strategic areas of the building to provide access as well as a cellular repeater system. All Data and AV systems will be routed in Cat 6A cable. The pathways will consist of a star pattern with each data drop consisting of a cable from the IT room to the outlet. The central IT room and equipment may be located in the Fire Station.

Access control will be installed as directed by the owner. Wiring will be accomplished via Cat 6A cabling or per manufacturers recommendations. Exterior proximity devices with extended reach will be installed at selected doors and gates to allow entry.

Cameras will be installed around and inside the building as directed by the owner. Wiring will be done using Cat. 6A wire.

END OF MECHANICAL / PLUMBING / ELECTRICAL NARRATIVE

CRESTED BUTTE FIRE PROTECTION DISTRICT
NEW EMERGENCY SERVICES CAMPUS
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90% Schematic Design Package 02– Search and Rescue (SAR)

10. Fire Protection



PO Box 522, Salida, CO 81201
970.409.9082; DSHANER@SHANERLIFESAFETY.COM

Crested Butte Fire Protection District Search & Rescue (SAR)
Fire Protection/Fire Alarm Schematic Design Report
June 14, 2023

Prepared by: Deborah Shaner, P.E., Fire Protection Engineer

The Crested Butte Fire Protection District (CBFPD) Search & Rescue (SAR) building will be provided with fire alarm and fire protection systems in accordance with the following codes and standards:

- NFPA 72, National Fire Alarm & Signaling Code
- NFPA 13, Standard for the Installation of Sprinkler Systems
- NFPA 1142, Standard on Water Supplies for Suburban and Rural Firefighting
- Crested Butte Fire Protection District Amendments

The following outlines the design criteria for the Fire Protection, Fire Alarm and Emergency Responder Radio Coverage systems.

Fire Protection

Fire Sprinklers

The building will be fully sprinklered. The system will consist of a wet pipe sprinkler system in the Training & Planning areas of the building. A dry pipe zone is recommended for the Vehicle Bays. The use of a wet pipe system can be considered during the Design Development phase. A 4" sprinkler line is recommended to serve the SAR with the zone being served from the water supply and pump in the HQ. The system will be designed in accordance with NFPA 13 and consist of Light Hazard and Ordinary Hazard classifications.

The approximated system demand is:

Sprinkler System flow: 400 gpm
Hose Stream: included in the HQ design
Total: 400 gpm
Approximate pressure demand: 50 psi

Water Supply

Water supply for both firefighting use and fire sprinkler demand is required.

NFPA 1142 will provide the basis of design for the site firefighting water supply. Two sources are planned. The first is a working hydrant within 1000' of the project site. This hydrant will be tested and evaluated during Design Development. The second is a dry hydrant in the river. The location of this hydrant will be

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coordinated with CBFPD. The site's target fire flow is 1000 gpm, the maximum required by NFPA 1142. This water supply will satisfy the hose stream demand from NFPA 13.

Fire sprinkler demand will be met using a single water supply for both HQ and SAR. A storage cistern of approximately 24,000 gallons will be buried near the HQ building. A room will be provided at the HQ building for a fire pump and sprinkler riser. Using a vertical turbine pump with a vault under the pump room, pressure for both the HQ and SAR sprinkler system will be provided. A zone will be provided for the SAR building. Note that sprinkler piping cannot be buried without access, so a pipe chase will be required between HQ and SAR to serve the SAR sprinkler zone. The pump will be powered in accordance with NFPA 20. Refer to Electrical and Civil for more information.

Fire Alarm

The SAR Building will be outfitted with a fire alarm system consisting of the following:

- Addressable fire alarm control panel (FACP)
- Occupant notification through horns and strobes in accordance with NFPA 72
- Smoke detector at the FACP
- Manual pull station at FACP
- Sprinkler system supervision through waterflow and tamper switches
- Weatherproof horn/strobe on the exterior of the building at 10' above finished grade at the fire department connection
- HVAC Interface for shutdown of fans over 2000 cfm
- LCD Annunciation in the HQ building.

The fire alarm systems for the two buildings on site (Headquarters and Search and Rescue) will be networked together for the purposes of annunciation and monitoring. The network will require a single conduit between the buildings with a fiber or cable connection between the two fire alarm control panels.

Emergency Responder Radio Coverage

This project requires Emergency Responder Radio Coverage (ERRC). Testing shall be completed after initial building construction to determine functionality of emergency responder radios. If testing fails, an ERRC system will be installed. This system shall meet the requirements outlined in Section 510 of the 2015 IFC and shall be tested in accordance with Crested Butte Fire Protection District requirements.

END OF FIRE PROTECTION NARRATIVE

CRESTED BUTTE FIRE PROTECTION DISTRICT
NEW EMERGENCY SERVICES CAMPUS
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11. Project Team

Owner:	Crested Butte Fire Protection District (CBFPD) Sean Caffrey, Chief Executive Officer & Commissioner 306 Maroon Ave. Crested Butte, CO 81224 970.349.5333
Architect of Record:	BG+co. Peter Icenogle, AIA 622 Rood Avenue Grand Junction, CO 81501 970-242-1058
Design Architect:	TCA Architecture and Planning Brian Harris 6211 Roosevelt Way, Northeast Seattle, Wa 98775 206.522.3830
Civil Engineering/Land Surveyor:	SGM Jerry Burgess 103 West Tomichi Ave, Suite A Gunnison, Co 81230 970.641.5355
Landscape Architecture:	Sprout Studio, Inc. Margaret Loperfido 523 Riverland Drive, Unit 3b / P.O. Box 4184 Crested Butte, Co 81224 970.349.8959
Structural Engineer:	Martin / Martin Sean Molloy 0101 Fawcett Road, Suite 260 Avon, Co 81620 970.445.2470
Mechanical and Electrical Engineering:	Bighorn Consulting Engineers Shawn Brill 386 Indian Road Grand Junction, CO 81501 970-241-8709

CRESTED BUTTE FIRE PROTECTION DISTRICT
NEW EMERGENCY SERVICES CAMPUS
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12. Architectural Program

Number	Name	Exist Program SF	Revised Program SF	Notes
101	LOBBY	197	74	vestibule only
102	RESTROOM	69	50	
103	RESTROOM-	69	0	removed from program
104	TRAINING	1,252	772	
105	STOR.	73	0	removed from program
106	VEHICLE BAYS - 4	4,696	3,737	14' X 60' bays, snow melt apron at each door
106B	WASH-ALCOVE	17	0	removed from program
107	TOOL STORAGE	107	95	Must be separate room
108	MISSION EQUIPMENT	172	154	Must be separate room
109	MECH / WATER	106	123	
110	BOOT & SKI STORAGE	96	0	removed from program
111	LOCKER ROOM (30 lockers)	474	104	On walls in vehicle bays
112	LAUNDRY	72	0	removed from program
113	SHOWER	88	98	include toilet and sink
114	MISSION PLANNING	616	380	
115	KITCHEN	124	0	Locate in Training
116	OFFICE	116	0	removed from program
117	OFFICE	101	0	removed from program
118	OFFICE	101	0	removed from program
118B	IT	33	0	Locate in Mission Planning
201	TRAINING AREA / MEZZ	592	0	removed from program
202	ELEC EQUIPMENT	166	0	locate in vehicle bays
	Subtotal First Floor		5,587.00	
	Grossing Factor (10%)		391.09	
	Building Total		5,978.09	

CRESTED BUTTE FIRE PROTECTION DISTRICT
NEW EMERGENCY SERVICES CAMPUS
Span Subdivision Exemption, Crested Butte, Co 81224
90% Schematic Design Package 02– Search and Rescue (SAR)

13. List of Drawings

Refer to Appendix A for the following drawing sheets from the Schematic Design Package:

G0-1 Title Sheet
G0-2 Conceptual Images
A1-1 Floor Plan
A1-2 Roof Plan
A2-1 Exterior Elevations
A4-1 Building Sections

CRESTED BUTTE FIRE PROTECTION DISTRICT
NEW EMERGENCY SERVICES CAMPUS
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14. Project Manual Table of Contents

DIVISION 00 - PROCUREMENT AND CONTRACTING REQUIREMENTS

000101	Project Title Page
000102	Project Information
000103	Project Directory
000107	Seals Page
000110	Table of Contents
004322	Unit Prices Form
004323	Alternates Form

DIVISION 01 - GENERAL REQUIREMENTS

012000	Price and Payment Procedures
012100	Allowances
012200	Unit Prices
012300	Alternates
012500	Substitution Procedures
012501	SUBSTITUTION REQUEST FORM
013000	Administrative Requirements
014000	Quality Requirements
014216	Definitions
014219	Reference Standards
015500	Vehicular Access and Parking
015713	Temporary Erosion and Sediment Control
016000	Product Requirements
017000	Execution and Closeout Requirements
017419	Construction Waste Management and Disposal
017610	Temporary Protective Coverings
017800	Closeout Submittals
017900	Demonstration and Training

DIVISION 02 - EXISTING CONDITIONS

024100	Demolition
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DIVISION 03 - CONCRETE

030516	Under slab Vapor Barrier
033000	Cast-in-Place Concrete
033511	Concrete Floor Finishes

DIVISION 04 – MASONRY – NOT USED

DIVISION 05 - METALS

051200	Structural Steel Framing
054000	Cold-Formed Metal Framing
055000	Metal Fabrications
055213	Pipe and Tube Railings

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DIVISION 06 - WOOD, PLASTICS, AND COMPOSITES

061000	Rough Carpentry
062000	Finish Carpentry

DIVISION 07 - THERMAL AND MOISTURE PROTECTION

071113	Bituminous Dampproofing
071900	Water Repellents
072100	Thermal Insulation
072500	Weather Barriers
07410	Preformed Standing Seam Metal Roofing
074213	Prefinished Metal Wall Panels
076200	Sheet Metal Flashing and Trim
077200	Roof Accessories
079200	Joint Sealants

DIVISION 08 - OPENINGS

081113	Hollow Metal Doors and Frames
081416	Flush Wood Doors
083100	Access Doors and Panels
083323	Overhead Coiling Doors
085113	Aluminum Windows
087100	Door Hardware
088000	Glazing

DIVISION 09 - FINISHES

090561	Common Work Results for Flooring Preparation
092116	Gypsum Board Assemblies
093000	Tiling
095100	Acoustical Ceilings
099113	Exterior Painting
099123	Interior Painting
099300	Staining and Transparent Finishing

DIVISION 10 - SPECIALTIES

101400	Signage
102800	Toilet, Bath, and Laundry Accessories
104400	Fire Protection Specialties

DIVISION 11 - EQUIPMENT

114000	Foodservice Equipment
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DIVISION 12 - FURNISHINGS

122400	Window Shades - MechoShade Systems
123200	Manufactured Wood Casework
123600	Countertops

CRESTED BUTTE FIRE PROTECTION DISTRICT
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APPENDIX A

VICINITY MAP



TRUE NORTH

NEW EMERGENCY CENTER CAMPUS CRESTED BUTTE FIRE PROTECTION DISTRICT SEARCH AND RESCUE (SAR)

CR 317 AND SLATE RIVER, GUNNISON COUNTY, CO (NORTH CRESTED BUTTE)

BG+co. PROJECT # 22033_3

2/8/2023 90% SCHEMATIC DESIGN
6/14/2023 SCHEMATIC DESIGN

SCHEMATIC DESIGN ARCHITECTURAL



Architecture
Interior Design
Project Management
BLTYE GROUP + co.



ARCHITECTURE + PLANNING + DESIGN



NEW EMERGENCY
CENTER CAMPUS -
CRESTED BUTTE FIRE
PROTECTION DISTRICT -
SEARCH AND RESCUE

CR 317 AND SLATE RIVER
GUNNISON COUNTY, CO
(NORTH CRESTED BUTTE)

TITLE SHEET

SCHEMATIC DESIGN

REVISIONS DATE

ACCEPTANCE

I have received and reviewed the attached Schematic Design package from the BG + co. I have found it to be acceptable and to meet the requirements of this project phase. I hereby authorize the BG + co. and their team of Consultants to proceed to the Design Development phase of the project.

This document is intended to create awareness of the impact to both design and construction schedules and design fees should major design changes occur after this phase.

Approved to proceed to the Design Development Phase:

Owner / Owner's Representative _____ Date _____

PROJECT DESIGN TEAM

ARCHITECTURE / INTERIOR DESIGN:



Architecture
Interior Design
Project Management
BLTYE GROUP + co.



ARCHITECTURE + PLANNING + DESIGN
6211 ROOSEVELT WAY NE
SEATTLE, WA 98115
(206) 322-3630

in association with:



103 W TOMIACHI AVE, SUITE A
GUNNISON, CO 81220
(970) 841-5355

LANDSCAPE ARCHITECTURE:



PO BOX 4184
CRESTED BUTTE, CO 81224
(970) 349-8959

STRUCTURAL ENGINEERING:



77 METCALF ROAD, SUITE 301
AVON, CO 81620
(970) 928-6007

MECHANICAL, PLUMBING AND ELECTRICAL ENGINEERING:



288 Indian Road
Gunnison, CO 81220
Phone (970) 241-6700
Fax (970) 241-6700
www.elghorn.com

MATERIALS LEGEND

- EXISTING CONSTRUCTION
- ASPHALT PAVING (SECTION)
- EARTH (PLAN & SECTION)
- GRANULAR FILL (SECTION)
- STRUCTURAL FILL (SECTION)
- SAND (SECTION)
- CONCRETE (PLAN & SECTION)
- BRICK VENEER (SECTION)
- CONCRETE MASONRY UNITS (CMU) (PLAN & SECTION)
- PRECAST CONCRETE (SECTION)
- MORTAR NET (SECTION)
- STEEL (SECTION)
- WOOD BLOCKING (CONTINUOUS) (SECTION)
- WOOD BLOCKING (INTERMITTENT) (SECTION)
- WOOD SHEATHING
- WOOD FINISH (SECTION & ELEVATION)
- INSULATION (FIBROUS) (PLAN & SECTION)
- INSULATION (RIGID) (PLAN & SECTION)
- STUCCO (SECTION)
- STUCCO (ELEVATION)
- GYPSUM WALL BOARD (GWB) (REFLECTED CEILING PLAN)

NOTE: SOME MATERIALS SHOWN MAY NOT BE USED ON THIS PROJECT.

SYMBOLS LEGEND

- ROOM TAG ROOM NAME A202A
- DOOR TAG
- ASSEMBLY TAG
- NEW COLUMN GRID LINE
- EXISTING COLUMN GRIDLINE
- KEY NOTE
- WINDOW / FRAME TYPE
- DRAWING REFERENCE
- BUILDING SECTION INDICATOR
- WALL SECTION INDICATOR
- SIGN TAG
- ELEVATION INDICATOR
- DIMENSION LINES
- NEW CONTOUR
- EXISTING CONTOUR
- HIDDEN LINE
- OVERHEAD OBJECT
- CENTER LINE
- MATCH LINE
- LIMITS OF CONSTRUCTION
- DEMOLISHED ITEMS

ABBREVIATIONS

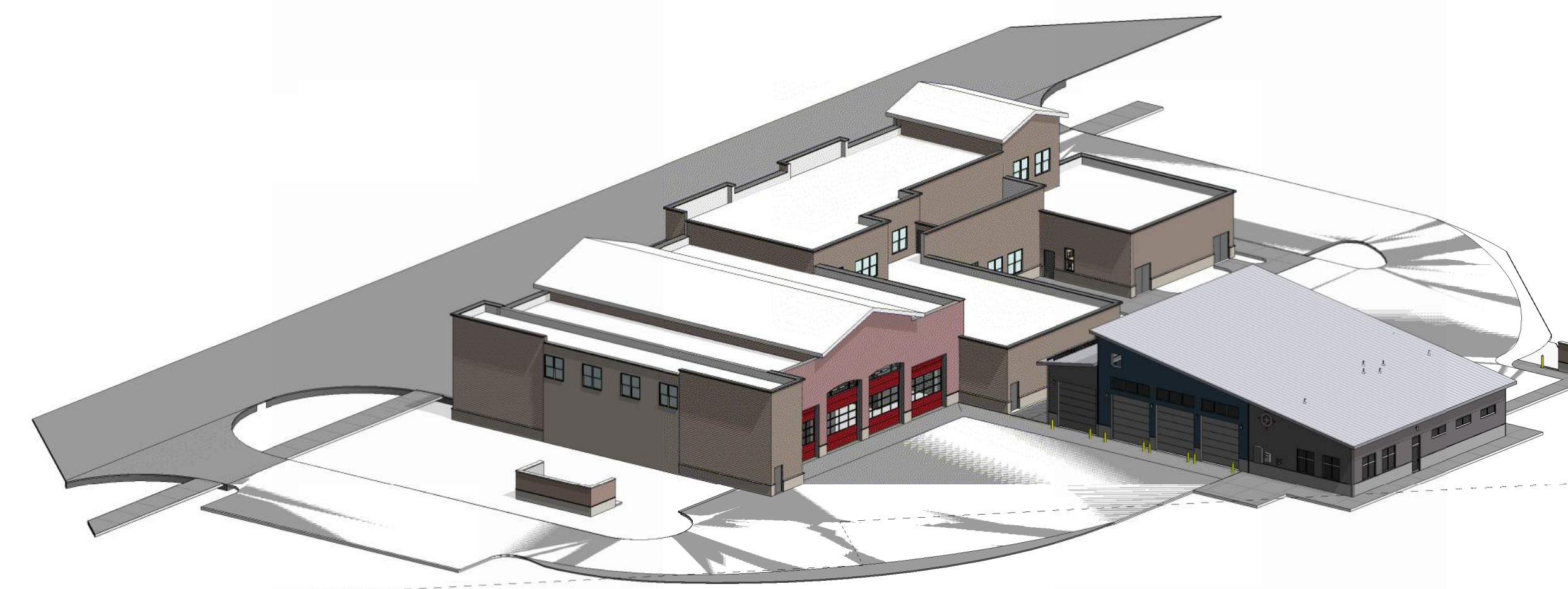
ADD-X	ADDENDUM NO. X	NA	NOT APPLICABLE
AFF	ABOVE FINISH FLOOR	NFPA	NATIONAL FIRE PROTECTION ASSOCIATION
AHU	AIR HANDLING UNIT	NIC	NOT IN CONTRACT
AL	ALUMINUM	NO.	NUMBER
ALT	ALTERNATE	NRC	NOISE REDUCTION COEFFICIENT
ALT-X	ALTERNATE NO. X	NTS	NOT TO SCALE
AM	ACOUSTIC MATERIAL	OC	ON CENTER
AM-X	ACOUSTIC MATERIAL TYPE X	OD	OUTSIDE DIAMETER
ARCH	ARCHITECT/ARCHITECTURAL	OPNG	OPENING
ATTEN	ATTENUATION	OPP	OPPOSITE
AVE	AVENUE	PERF	PERFORATED
AVG	AVERAGE	PLAM	PLASTIC LAMINATE
BD	BUILDING	PLBG	PLUMBING
B.O.	BOTTOM OF	PLYWD	PLYWOOD
BIT	BITUMINOUS	PNT	PAINT
BLDG	BUILDING	PREFAB	PREFABRICATED
BLKG	BLOCKING	PREFIN	PREFINISHED
CL	CENTER LINE	PT	PORCELAIN TILE
CEM	CEMENT / CEMENTITIOUS	QT	QUARRY TILE
CJ	CONTROL JOINT	QTY	QUANTITY
CLG	CEILING	R	RADIUS
CLR	CLEAR	RB	RUBBER BASE
CMU	CONCRETE MASONRY UNIT(S)	RCP	REFLECTED CEILING PLAN
CONC	CONCRETE	REF	REFERENCE / REFER TO
CONT	CONTINUOUS	REFR	REFRIGERATOR
CPT	CARPET	REIN	REINFORCE (D) (ING)
CTR	CENTER	RES	RESILIENT
D	DEEP / DEPTH	RO	ROUGH OPENING
DBL	DOUBLE	ROW	RIGHT OF WAY
DEMO	DEMOLISH / DEMOLITION	RTU	ROOF TOP UNIT
DEPT	DEPARTMENT	SC	SEALED CONCRETE
DF	DRINKING FOUNTAIN	SCHED	SCHEDULE (D)
DI	DIAMETER	SECT	SECTION
DM(S)	DIMENSION(S)	SF	SQUARE FEET
DN	DOWN	SFT	STORE FRONT
DTL	DETAIL	SIM	SIMILAR
DW	DISHWASHER	SPEC	SPECIFICATION
DWG	DRAWING	SO	SQUARE
EA	EACH	SS	STAINLESS STEEL
EJ	EXPANSION JOINT	SSM	SOLID SURFACE MATERIAL
ELEV	ELEVATION	STL	STEEL
ELEC	ELECTRICAL	STN	STAIN
EQ	EQUAL	STRUCT	STRUCTURAL
EQUIP	EQUIPMENT	SV	SHEET VINYL
EWG	ELECTRIC WATER COOLER	T&G	TONGUE & GROOVE
EXIST	EXISTING	T.O.	TOP OF
EXT	EXTERIOR	TEMP	TEMPORARY
F.O.	FACE OF	TV	TELEVISION
FAAB	FLUID APPLIED AIR BARRIER	TYP	TYPICAL
FAAP	FIRE ALARM ANNUNCIATOR PANEL	UNO	UNLESS NOTED OTHERWISE
FACP	FIRE ALARM CONTROL PANEL	VCT	VINYL COMPOSITION TILE
FBO	FURNISHED BY OWNER	VERT	VERTICAL
FD	FLOOR DRAIN	VFY	VERIFY
FDN	FOUNDATION	VIF	VERIFY IN FIELD
FE	FIRE EXTINGUISHER	VWC	VINYL WALL COVERING
FEC	FIRE EXTINGUISHER CABINET	W	WIDE / WIDTH
FF	FINISHED FLOOR	WI	WITH
FFIN	FACTORY FINISH	WO	WITHOUT
FRP	FIBERGLASS REINFORCED PLASTIC	WD	WOOD
FTG	FOOTING	WOM	WALK OFF MAT
FURN	FURNISHING / FURNITURE		
GA	GAGE		
GALV	GALVANIZED		
GL	GLAZING		
GL-X	GLAZING TYPE X		
GWB	GYPSUM WALL BOARD		
H	HIGH / HEIGHT		
HC	HANDICAPPED		
HDW	HARDWARE		
HDWD	HARDWOOD		
HM	HOLLOW METAL		
HORIZ	HORIZONTAL		
HVAC	HEATING VENTILATING & AIR CONDITIONING		
IBC	INTERNATIONAL BUILDING CODE		
ID	INSIDE DIAMETER		
INCL	INCLUDED		
INSUL	INSULATION		
INT	INTERIOR		
JT	JOINT		
L	LONG / LENGTH		
LAV	LAVATORY		
LLH	LONG LEG HORIZONTAL		
LLV	LONG LEG VERTICAL		
MAS	MASONRY		
MATL	MATERIAL		
MAX	MAXIMUM		
MECH	MECHANICAL		
MFR	MANUFACTURER		
MIN	MINIMUM		
MISC	MISCELLANEOUS		
MO	MASONRY OPENING		
MTD	MOUNTED		
MTL	METAL		

INDEX TO DRAWINGS

- GENERAL INFORMATION SHEETS
- G0-1 TITLE SHEET
- G0-2 CONCEPTUAL IMAGES
- ARCHITECTURAL SHEETS
- A1-1 FLOOR PLAN
- A1-2 ROOF PLAN
- A2-1 EXTERIOR ELEVATIONS
- A2-2 BUILDING SECTIONS



NORTH WEST VIEW - BASE BID



AXION VIEW



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SEARCH AND RESCUE

CR 317 AND SLATE RIVER
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(NORTH CRESTED BUTTE)

CONCEPTUAL IMAGES

SCHEMATIC DESIGN

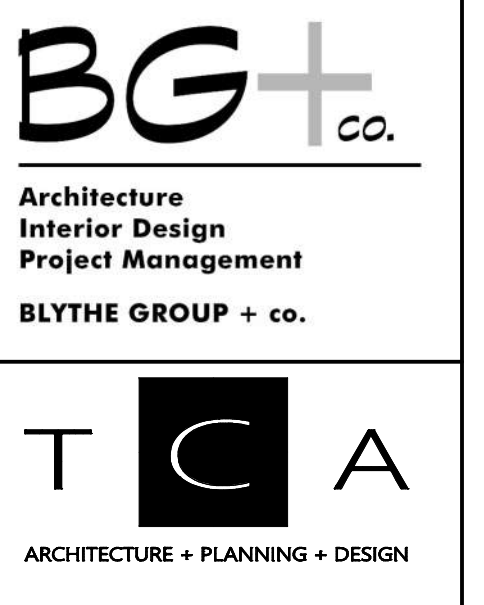
REVISIONS DATE

DATE: 6/14/2023

PROJECT #: 22033_3

SHEET #:

KEYNOTE LEGEND	
01-6	DASHED LINES OF ROOF ABOVE
05-4	STEEL COLUMN (REF MB MFR)
05-5	STEEL RIGID FRAME (REF MB MFR)
10-19	METAL LOCKERS
10-20	METAL GEAR STORAGE
22-2	TRENCH DRAIN (REF PLBG AND STRUCT)
22-3	MOP SINK (REF PLBG)
22-12	GAS METER (REF PLBG)
22-13	WATER ENTRY (REF PLBG)
22-14	HOT WATER HEATER (REF PLBG)
23-7	BOILER (REF MECH)
26-3	ELECTRICAL TRANSFORMER BY OTHERS (REF ELEC)
26-4	ELECTRIC METER (REF ELEC)
26-5	POWER PANEL (REF ELEC)
26-7	ELECTRICAL EQUIPMENT (REF ELEC)
26-8	CT CABINET (REF ELEC)
32-1	STEEL BOLLARD - PNT



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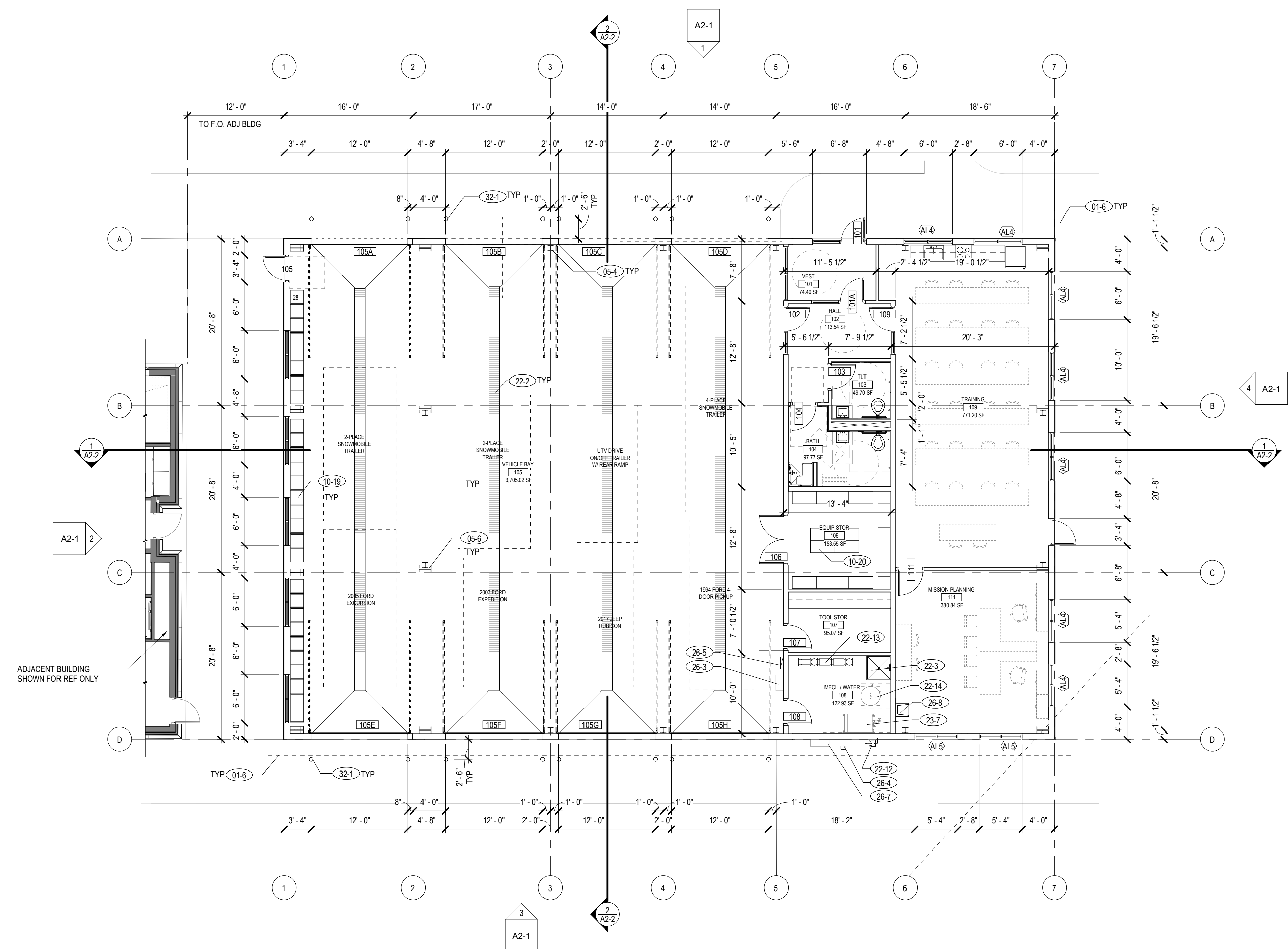
FLOOR PLAN

SCHEMATIC DESIGN

REVISIONS DATE

DATE: 6/14/2023
PROJECT #: 22033_3
SHEET #:

A1-1



FLOOR PLAN
1/8" = 1'-0"
NORTH

KEYNOTE LEGEND

01-3	DASHED LINES OF EXTERIOR WALLS BELOW
07-6	STANDING SEAM METAL ROOF PANELS
07-29	REFINISHED METAL SNOW FENCE
22-10	VENT [REF PLBG]
23-6	VENT [REF MECH]



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SEARCH AND RESCUE

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GUNNISON COUNTY, CO
(NORTH CRESTED BUTTE)

ROOF PLAN

SCHEMATIC DESIGN

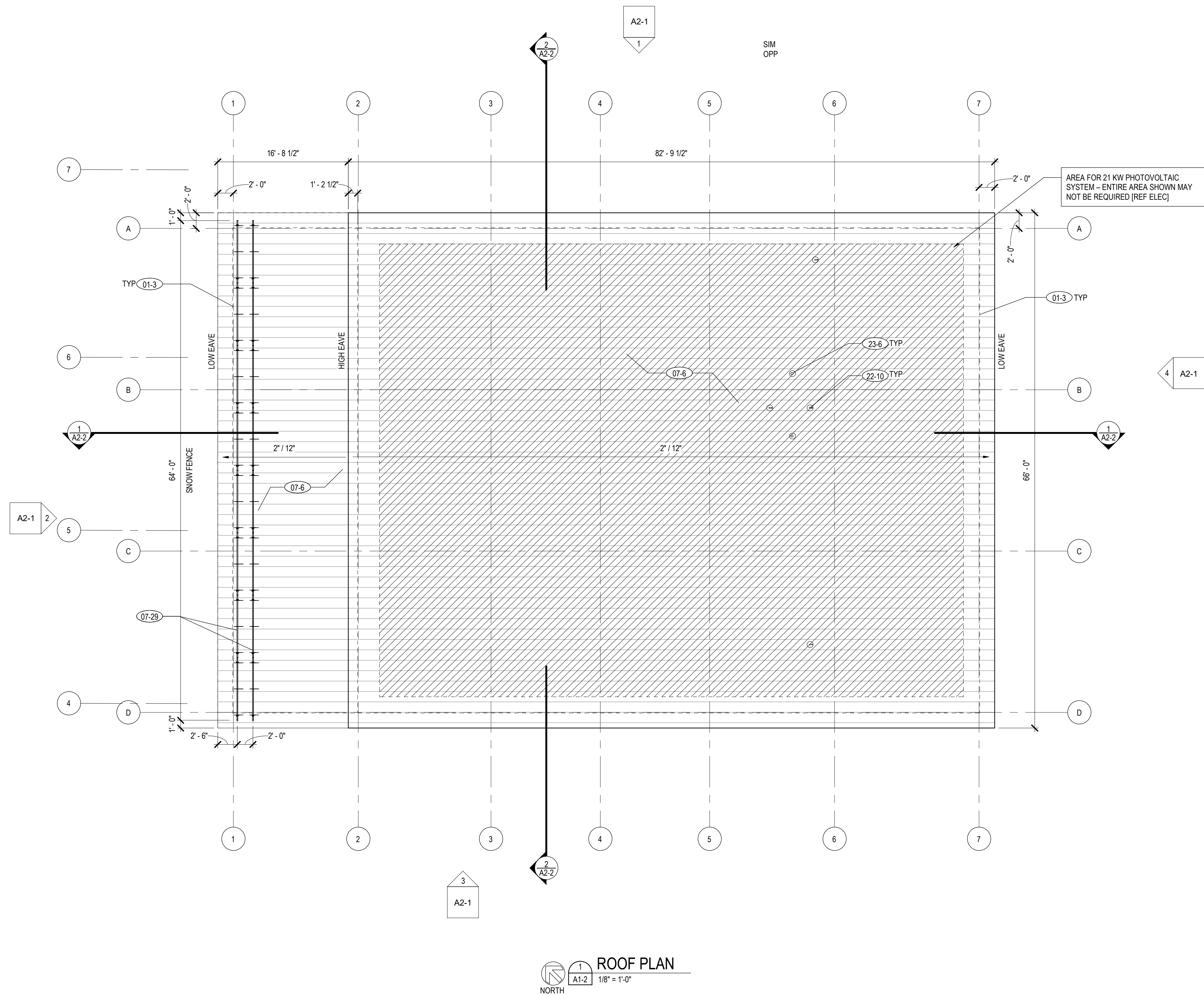
REVISIONS DATE

DATE: 6/14/2023

PROJECT #: 22033_3

SHEET #:

A1-2



ROOF PLAN
1
A1-2 1/8" = 1'-0"
NORTH



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CRESTED BUTTE FIRE
PROTECTION DISTRICT -
SEARCH AND RESCUE

CR 317 AND SLATE RIVER
GUNNISON COUNTY, CO
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EXTERIOR
ELEVATIONS

SCHEMATIC DESIGN

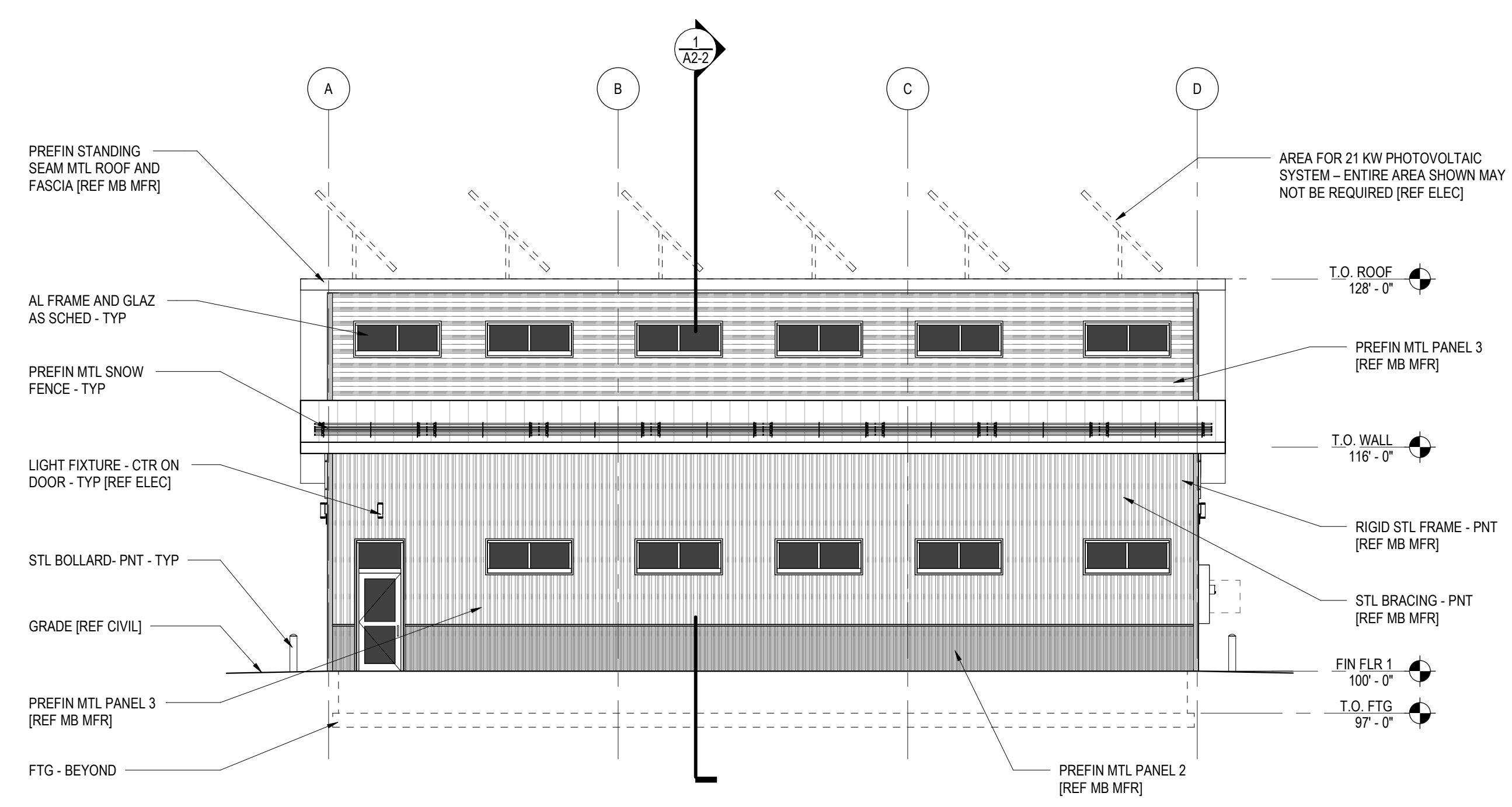
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DATE: 6/14/2023

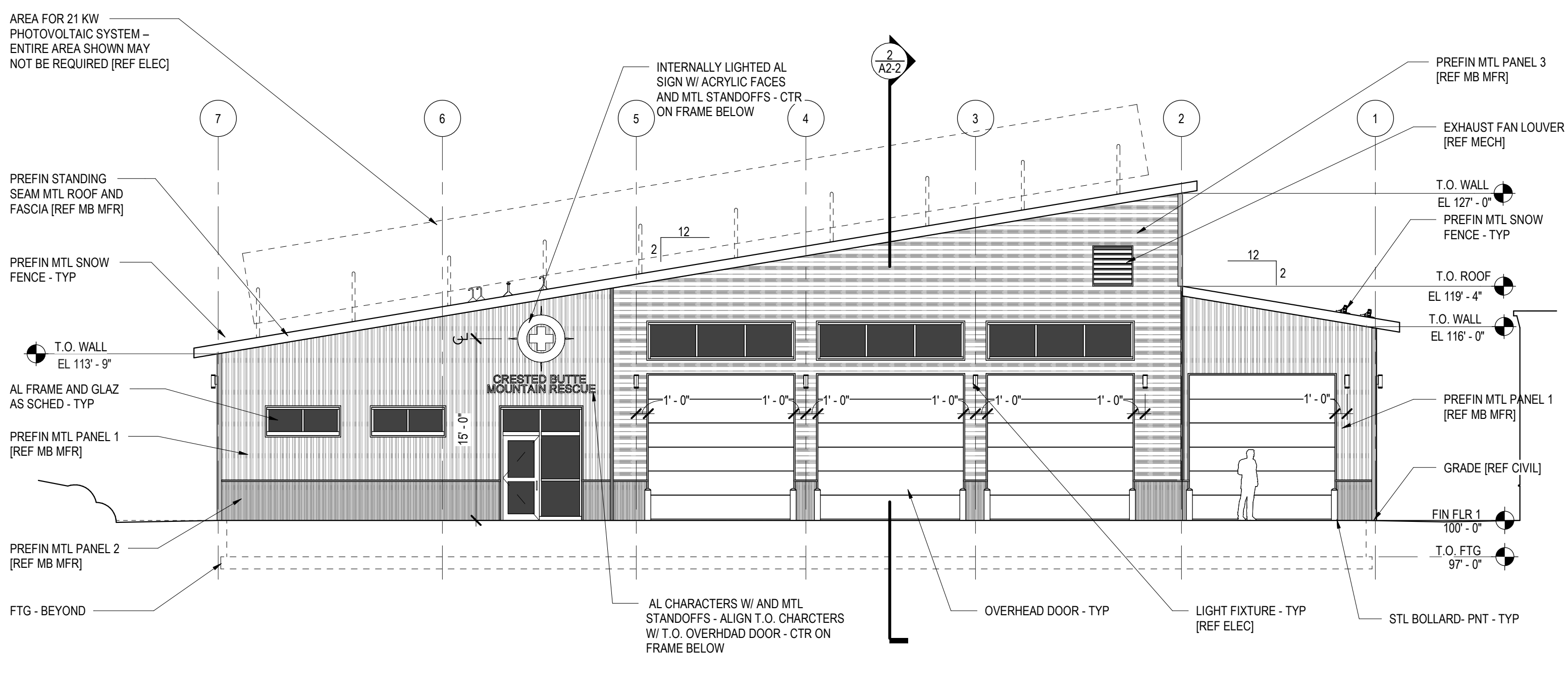
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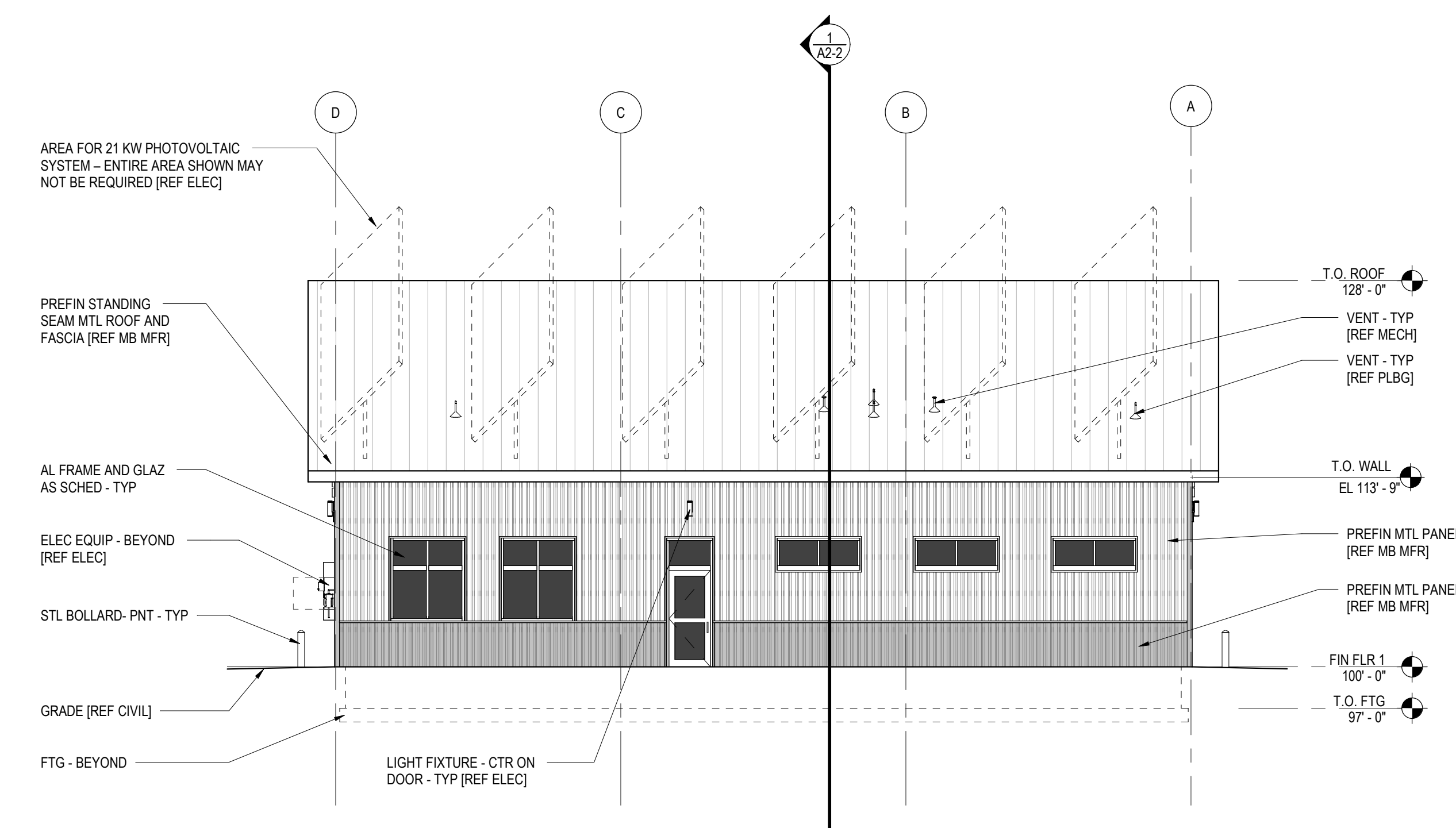
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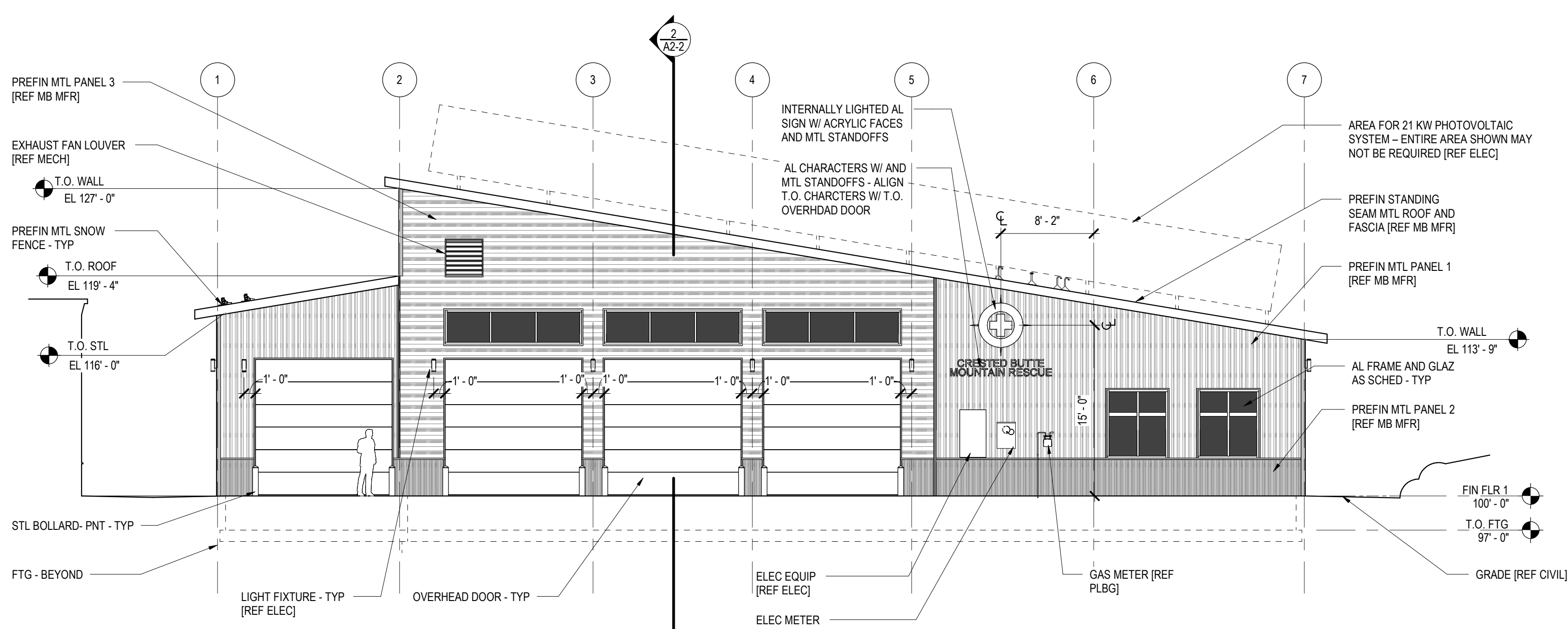
2
A2-1 1/8" = 1'-0"



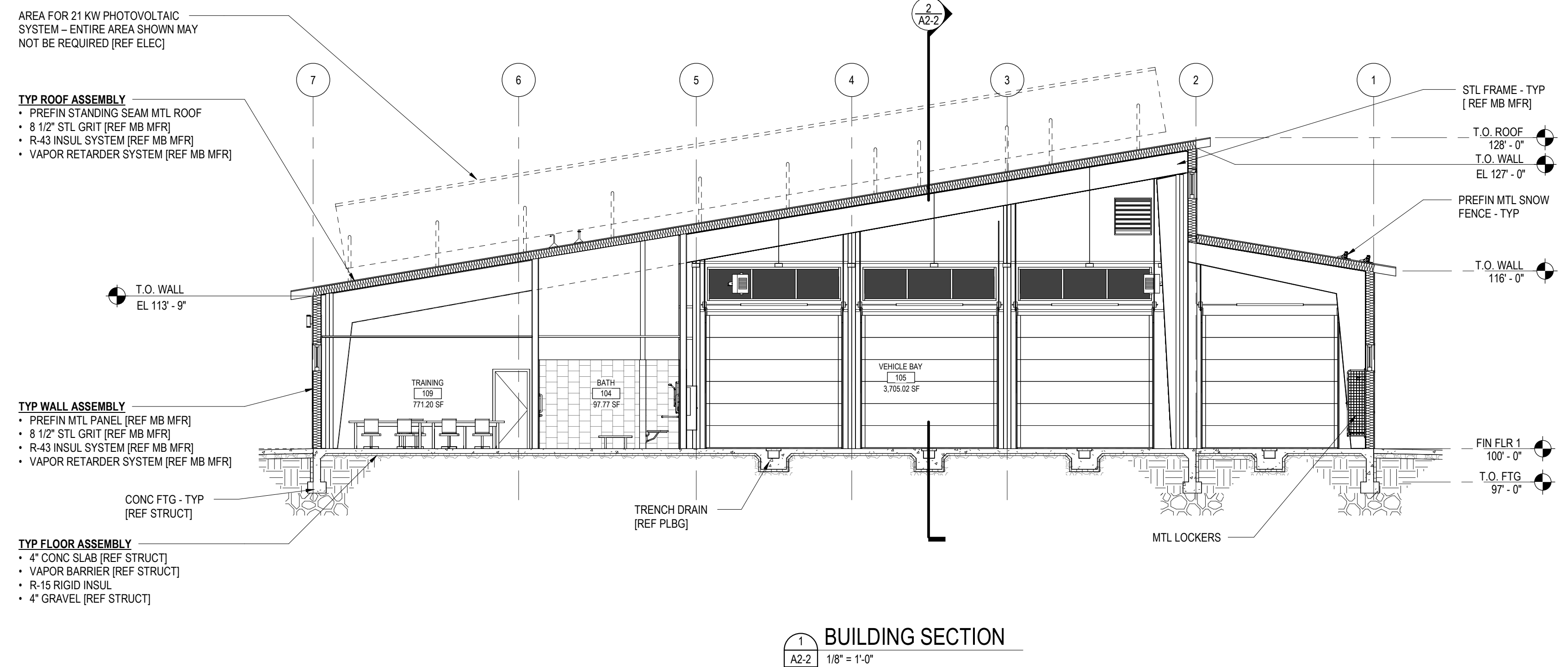
1
A2-1 1/8" = 1'-0"



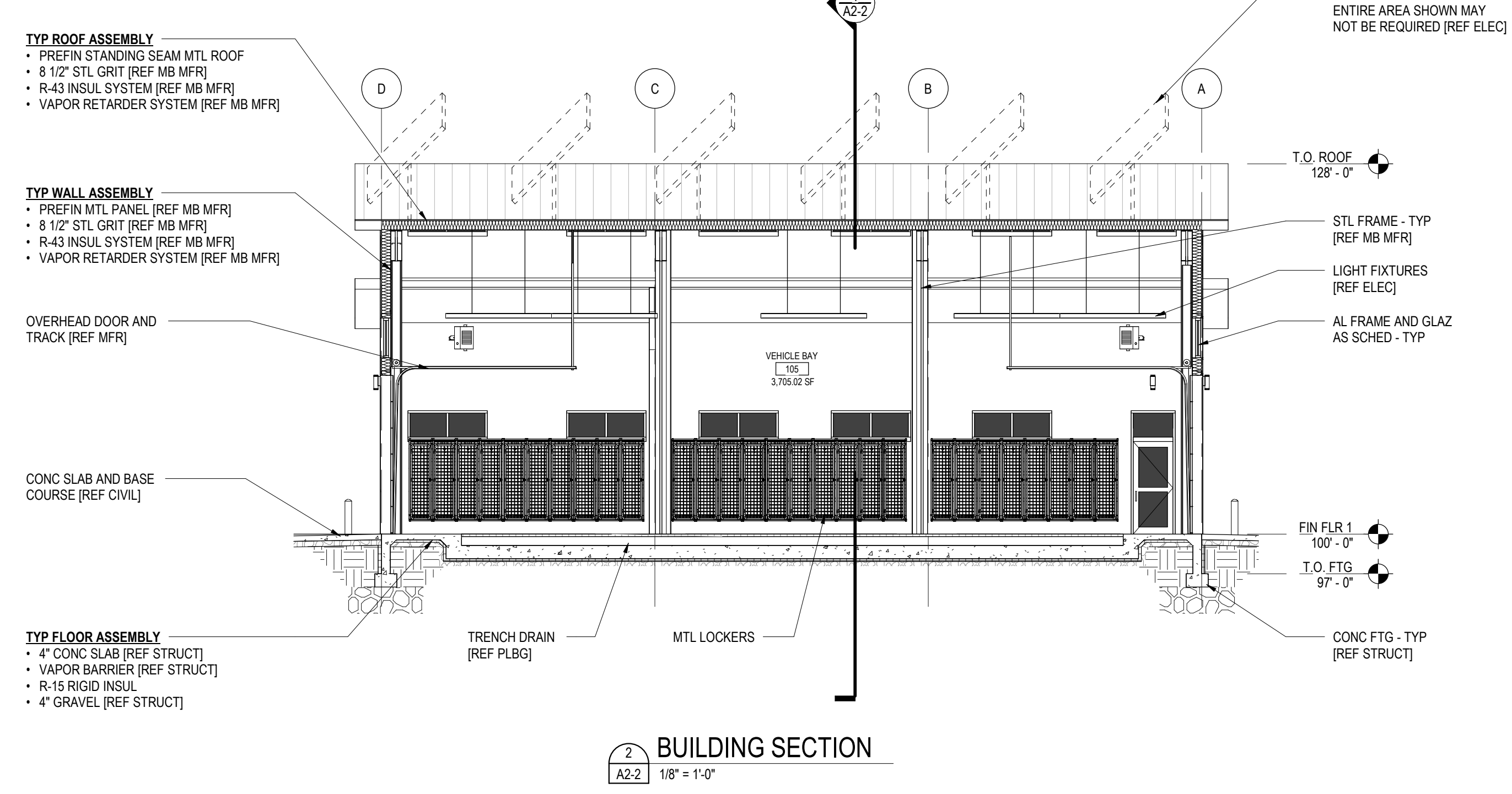
4
A2-1 1/8" = 1'-0"



3
A2-1 1/8" = 1'-0"



BUILDING SECTION
A2-2 1/8" = 1'-0"



BUILDING SECTION
A2-2 1/8" = 1'-0"



NEW EMERGENCY
CENTER CAMPUS -
CRESTED BUTTE FIRE
PROTECTION DISTRICT -
SEARCH AND RESCUE

CR 317 AND SLATE RIVER
GUNNISON COUNTY, CO
(NORTH CRESTED BUTTE)

BUILDING SECTIONS

SCHEMATIC DESIGN

REVISIONS DATE

DATE: 6/14/2023

PROJECT #: 22033_3

SHEET #:

A2-2

CRESTED BUTTE FIRE PROTECTION DISTRICT
NEW EMERGENCY SERVICES CAMPUS
Span Subdivision Exemption, Crested Butte, Co 81224
90% Schematic Design Package 02– Search and Rescue (SAR)

APPENDIX B

CRESTED BUTTE FIRE PROTECTION DISTRICT
NEW EMERGENCY SERVICES CAMPUS
Span Subdivision Exemption, Crested Butte, Co 81224
90% Schematic Design Package 02– Search and Rescue (SAR)

REVISION LOG

Revision 1
6/14/2023

Crested Butte Fire Protection District
NEW EMERGENCY SERVICES CAMPUS
CR 317 and Slate River, Gunnison County, CO (North Crested Butte)

FINAL Schematic Design Package 01
Central Administration, Fire, and Emergency Medical Services (EMS)
Project No. 22033
14 June 2023

Revision No.	Date	Description
0	February 08, 2023	Original Submittal, No highlight
1	June 14, 2023	Misc. changes highlighted in yellow



CRESTED BUTTE FIRE PROTECTION DISTRICT NEW EMERGENCY SERVICES CAMPUS

CR 317 and Slate River, Gunnison County, CO (North Crested Butte)

Schematic Design Package 01 – Central Administration, Fire, and Emergency Services (HQ)

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 6. Exterior Architectural Concept
 7. Interior Architectural Concept
 8. Structural Concept
 9. Mechanical, Plumbing, and Electrical Concepts
 10. Fire Protection
 11. Project Team
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 13. Drawing List
 14. Project Manual Table of Contents
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 - B. Appendix B – Standard Civil Details
 - C. Appendix C – Town of Crested Butte Public Works Criteria (for water and sewer design).
 - D. **Appendix D – Revision Log**

CRESTED BUTTE FIRE PROTECTION DISTRICT NEW EMERGENCY SERVICES CAMPUS

CR 317 and Slate River, Gunnison County, CO (North Crested Butte)

Schematic Design Package 01 – Central Administration, Fire, and Emergency Services (HQ)

1. Project Description

The Crested Butte Fire Protection District (CBFPD) intends to develop a new emergency services campus on its “Spann Subdivision Exemption Parcel” located in Gunnison County North of the Town of Crested Butte. The new campus will include a total of two (2) buildings which will be permitted separately and therefore are separated into their own reports. This report (Schematic Design Package 01) covers the primary building on the new campus and site work for the entire campus.

The new Central Administration, Fire, and Emergency Services (referred to hereafter as HQ) will house most primary functions of the CBFPD including but not limited to the following:

- District administrative/public functions – Spaces and offices for public interaction functions and personnel such as the lobby, training room, meeting room, and fire prevention offices
- Employee / Crew Living Quarters – Spaces that house the functions of the on-duty crew through their shift (no public spaces). Functions include sleeping areas, showers, fitness room, workspace, and a kitchen and day room.
- Equipment Bays and Related Support Spaces – Includes a separate bay area for ambulance equipment, another bay area for fire apparatus/equipment, a maintenance bay, and accessory support spaces related to each such.

The site is made up of two (2) parcels which are in Gunnison County CO. Both parcels are owned by the CBFPD. A subdivision process with Gunnison County will be undertaken to vacate the existing property line between the two properties as well as create a new property line running down the center of the Slate River. At the conclusion of this process, the site will be made up of two (2) parcels with the larger being on the SW side of Slate River and a smaller on the NW/E side of Slate River. All new work occurs on the larger parcel.

The Admin building is the largest structure and is located along the western boundary of the larger parcel paralleling CR 317. The site development work will be included in its bid package and therefore included in this Report.

The project will be constructed using a Construction Manager/ General Contractor (CM/GC) method of delivery. The process of selecting a qualified CM/GC is complete and FCI Constructors, Inc. has been selected, awarded, and is currently part of the project. The CM/GC will play an integral role working with the design team to help achieve the project goals.

It is anticipated the Admin building will be constructed concurrently with the other structures on campus.

CRESTED BUTTE FIRE PROTECTION DISTRICT NEW EMERGENCY SERVICES CAMPUS

CR 317 and Slate River, Gunnison County, CO (North Crested Butte)

Schematic Design Package 01 – Central Administration, Fire, and Emergency Services (HQ)

Zoning information

Authority Having Jurisdiction (Building Permits) is the Gunnison County.

Project Design Standards: Gunnison County, Colorado Land Use Resolution (LUR)

- Zone: Current – Agricultural
Intended – Public *(After approved Land Use Change Permit (LUP) process).
- **The site design and water usage will comply with the 2018 Wildland-Urban Interface Code (WUIC)**
- Lot Measurement Restrictions (none required of a Public District)
 - Minimum lot area (13-103.D.2): 35 acres (Subject to modification by approved LUP)
 - Minimum lot Depth: 0 feet (N/A)(Not governed by LUR)
 - Minimum frontage: 0 feet (N/A)(Not governed by LUR)
 - Setbacks for principal structures (13-107, Table 7)(No setbacks for public, listed as 0 until LUP):
 - Front: *0 feet (N/A)
 - Side: *0 feet (N/A)
 - Side adjoining residential: *0 feet (N/A)
 - Side adjoining business or com: 0 feet (N/A)
 - Side adjoining agricultural: 0 feet (N/A)
 - Side adjoining public Lands: 0 feet (N/A)
 - Rear: *0 feet (N/A)
 - Setbacks from Roads: 40 feet along CR 317 frontage (Subject to modification by approved LUP)
- Building Limitations
 - Height (13-103.H) Undefined (N/A)
 - Area Undefined (N/A)
- Parking: Final parking count will be negotiated as part of the LUP. CBFPD estimates 30 spaces would exceed their needs. The following are factors from the Appendix, Table 3 of the LUR:
 - Government Office: 1 parking space / 300 sf
 - Warehousing and Storage: 1 parking space / 500 sf of gross floor area
 - Multiple Family: 2 parking spaces per residence for up to 3 bedroom residence; one additional space for each additional bedroom
- Protection of Water Quality
 - Requirements shall not extend beyond 125 feet of water body / wetland. (11-107.C)
 - Restrictive Inner Buffer: 25' from ordinary high water mark (11-107.E.2)
 - Slopes Steeper than 15%: 25' from edge of slope (11-107.E.4.b.1)
 - Highly Erodible Soils: 25' from edge of soils (11-107.E.4.b.2)
 - Vegetation Providing Bank Stability: 25' from edge of feature (11-107.E.4.b.2)

* LUR does not have a “Public” use. Therefore, most setback restrictions do not apply and are noted as (N/A). These setbacks will be determined and set during the Land Use Change Permit (LUP) process.

Design team initially used “Commercial and Industrial” use as a guide for setbacks. The Owner directed the design team to encroach upon the 25’ setback adjacent to a residence and the 40’ setback from CR 317.

CRESTED BUTTE FIRE PROTECTION DISTRICT NEW EMERGENCY SERVICES CAMPUS

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There is no entity responsible for review or critique of the project design such as BOZAR or the Town of Crested Butte (ToCB) Design Guidelines. The ToCB may attempt to gain influence in exchange for access to the ToCB water and sanitary sewer services.

CRESTED BUTTE FIRE PROTECTION DISTRICT NEW EMERGENCY SERVICES CAMPUS

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Exclusions

This report and therefore the project scope does not currently contain any of the following items. If added to the project it is anticipated they, or any other scope modifications would result in additional fees and potential re-design of work already performed.

- 1) Zero Energy – The scope of this project does not include any provision for any building(s) to be zero energy or zero carbon. Nor does it include any energy analyses, simulations, enclosure testing, or mockups. If any of these items or similar items are added to the scope of the project, project fees, construction costs, and project timeline would need to be re-evaluated before moving forward.
- 2) Roof Mounted Photovoltaics (PV): The project will be designed to more easily accommodate the future installation of PV structures and panels on the roof. Features include consideration in the structural design and electrical.
- 3) LEED: No aspect of the project will pursue LEED Certification at any level

2. Project Schedule

<u>Phase</u>	<u>Completion</u>
FINAL Schematic Design and Cost Estimate:	June 21, 2023
CBFPD BOD-SD Approval Meeting:	July 11, 2023
Final Design Development and Cost Estimate:	October 9, 2023
CBFPD BOD-DD Approval Meeting:	October 10, 2023
BG+co Final Contract Documents to FCI for pricing:	July 25, 2023
Final Contract Documents and GMP:	September 05
CBFPD BOD-CD Approval Meeting:	January 30, 2024
Begin Construction Phase:	March 19, 2023
Mobilization:	April 12, 2024
Substantial Completion:	July 7, 2025

CRESTED BUTTE FIRE PROTECTION DISTRICT NEW EMERGENCY SERVICES CAMPUS

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3. Preliminary Code Analysis

In cooperation with Gunnison County, the CBFPD has voluntarily agreed to comply with the 2021 code editions in lieu of the currently enforced codes.

Building Codes Followed:

- By Gunnison County
 - 2021 International Building Code (IBC)
 - 2021 International Mechanical Code (IMC)
 - 2021 International Energy Conservation Code (IECC) without Appendix RC adoption
 - 2021 International Fuel Gas Code (IFGC)
- By the State of Colorado
 - 2018 International Plumbing Code (IPC)
 - 2020 National Electrical Code (NEC)
- Referenced Standards:
 - 2017 ICC/ANSI 117.1

Chapter 3 Use and Occupancy Classification:

IBC Section 304. The proposed use is classified as a Mixed Use – Non-Separated occupancy of Assembly A-3, Business Group B, Residential (R-3), and Storage (S-1 and S-2).

Chapter 4 Special Detailed Requirements Based on Use and Occupancy:

Section 420.2 requires that all separating dwelling units in the same building, walls separating sleeping units in the same building and walls separating dwelling or sleeping units from other occupancies contiguous to them in the same building shall be constructed as fire partitions in accordance with Section 708. Section 520.3 requires that floor assemblies separating dwelling units in the same buildings, floor assemblies separating sleeping units in the same building and floor assemblies separating dwelling or sleeping units from other occupancies contiguous to them in the same building shall be constructed as horizontal assemblies in accordance with Section 711. Group R occupancies shall be equipped throughout with an automatic sprinkler system in accordance with Section 903.2.8.

Chapter 5 General Building Heights and Areas:

The building is permitted 2 stories per Table 504.4 using the stricter requirement for Occupancy 'S-1' and have a maximum height of 60 feet by Table 504.3. The maximum allowable area after consideration of the Type V-B construction, being fully fire sprinklered, and its location on the property is 24,000 SF/story for the two floors of the entire building using the stricter requirement of Occupancy 'A-3' [Table 506.2]. Building as designed is below this value therefore calculations for increase based on frontage are not required. In each story, the building area shall be such that the sum of the ratios of the actual building area of each separated occupancy divided by the allowable building area of each separated occupancy shall not exceed 1 [IBC 508.4.3].

Section 508.3.3 allows that no separation is required between nonseparated occupancies; however, Group R-3 dwelling units and sleeping units shall be separated from other dwelling or sleeping units and from other occupancies contiguous to them in accordance with the requirements of Section 420.

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Chapter 6 Types of Construction:

This building will be of the type of construction described in IBC Section 602.2 for Type VB. In this type of construction structural elements, exterior walls, and interior walls are of any materials permitted by the IBC code. IBC Table 601 requires (0) fire-resistance ratings for building elements in a Type VB construction. IBC Table 602 requires (0) fire-ratings for exterior walls of B, R, S-1, or S-2 occupancy groups with fire separation distances equal to or exceeding 10 feet. If this distance is between 5 and 10 it will need to have a 1 hr rating and if this distance is less than 5 feet, it will need a 1 hr rating for occupancy groups B, R, and S-2 and a 2 hr rating for occupancy group S-1.

Chapter 7 Fire and Smoke Prevention Features:

Exterior walls shall comply with Section 705. Section 705.2 requires that cornices, eave overhangs, exterior balconies and similar projections conform to minimum projection distances specified by Table 705.2. Buildings on the same lot must comply with requirements set forth in Section 705.3. Section 705.8.1 requires that the maximum area of unprotected and protected openings permitted in an exterior wall in any story of a building shall not exceed the percentages specified in Table 705.8. Section 705.11 requires that parapets be provided on exterior walls of buildings except if the wall is not required to be fire-resistance rated according to Table 602 because of fire separation distance. Section 705.11.1 requires that parapets have the same fire-resistance rating as that required for the supporting wall.

Section 708.3 requires that fire partitions shall have a fire-resistance rating of not less than 1 hour except that dwelling unit and sleeping unit separations in buildings of Type IIB, IIB, and VB construction shall have fire-resistance ratings of not less than ½ hour in buildings equipped throughout with an automatic sprinkler system. Section 708.4 requires that fire partitions extend from the top of foundation or floor/ceiling assembly below to the underside of the floor or roof sheathing, slab or deck above or to the fire-resistance-rated floor/ceiling or roof/ceiling assembly above, and shall be securely attached thereto.

Section 711.2.4.3 requires that the fire-resistance rating of horizontal assemblies serving as dwelling or sleeping unit separations in accordance with Section 420.3 shall be not less than 1-hour fire-resistance-rated construction with the exception that horizontal assemblies separating dwelling units and sleeping units shall be not less than ½-hr fire-resistance-rated construction in a building of Type IIB, IIIB, and VB construction, where the building is equipped throughout with an automatic sprinkler system in accordance with Section 903.3.1.1.

Chapter 8 Interior Finishes:

IBC Table 803.13 requires other wall and ceiling finishes to be Class B in interior exit stairways and Class C in all other rooms and spaces.

Chapter 9 Fire Protection Systems:

Fire Suppression is not required by code but is being installed at Owners preference.
Fire Extinguishers shall be installed in accordance with NFPA 10.

Neither Manual or Automatic Fire Alarm system is required as the projected Occupant loads are less than the triggers given in IBC Sections 907.2.2 and 907.2.7.

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Chapter 10 Means of Egress:

2018 IBC Table 1004.5 sets the maximum floor area allowance per occupant for B and M occupancies. This table sets the total building occupant load as follows: Note: occupancy and exiting was calculated based on the original SD Submittal.

Floor	Square Footage	Occupancy Factor	Occupant Load
First–A-3 Occupancy	1,610 SF	15 net	108
First–B Occupancy	4,692 SF	100 gross	47
First–B Occupancy (Exercise)	1,066 SF	50 gross	22
First–R-3 Occupancy	628 SF	150 gross	4
First–S-1 Occupancy	1,946 SF	300 gross	7
First–S-2 Occupancy	7,310 SF	200 gross	37
Second–B Occupancy	3,893 SF	100 gross	39
Second–S-1 Occupancy	513 SF	300 gross	2
Second–S-2 Occupancy	689 SF	200 gross	
Total:	22,347 SF		266

IBC Table 1006.3.2 sets the minimum number of exits or access to exits with 1-500 occupants at 2 per story. The maximum exit access travel distance for a B occupancy in a fully sprinklered building is 300 feet and 250 feet for an M occupancy per IBC Table 1017.2. Maximum Common Path of Egress Distance 75 feet for M occupancy and 100 feet for Business occupancy spaces (Table 1006.2.1). Maximum occupant load of any of the space uses with one exit shall not exceed 49 (Table 1006.2.1). There is no fire-resistance rating required in sprinklered B or M occupancy groups for corridors per Table 1020.1. The minimum corridor width is 44" per IBC Table 1020.2.

Chapter 11 Accessibility

IBC Section 1104 requires at least one accessible route be provided from accessible parking, accessible passenger loading zones, and public streets or sidewalks to an accessible entrance to the building. IBC Section 1105 requires that at least 60% of all public entrances be accessible. IBC Section 1104.4 requires at least one accessible route be provided to each level of multi-story buildings (elevator required). IBC Section 1109.2 has requirements for toilet and bathing facilities to be accessible. IBC Section 1111 has requirements for accessible element signage.

Chapter 12 Interior Environment

IBC Section 1204 requires temperature control for all interior spaces intended for human occupancy to provide and maintain indoor temperatures of not less than 68°F (20°C) at a point 3 feet above the finish floor. Section 1205 has requirements for providing natural and artificial light. Section 1210 has requirements for toilet and bathroom finishes of walls, floors, and partitions to be smooth, hard and nonabsorbent materials.

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Chapter 13 Energy Efficiency:

IBC Section 1301 requires buildings to be designed and constructed in accordance with the International Energy Conservation Code. According to the 2015 IECC, the Town of Crested Butte is in Climate Zone 7. Insulation entirely above roof decks are required to provide an insulating value of R-35 continuous insulation (ci) per Table C502.1.3. The above grade walls of metal framed buildings are required to provide R-13 plus R-7.5 continuous insulation value in all areas except the sleeping rooms, which are required to provide R-13 plus R-15.6 continuous insulation value. The building envelope will be examined as a whole using ComCheck software to ensure compliance with the IECC requirements.

Chapter 29 Plumbing Systems:

For the Business (B) occupancy, 1 water closet is required per 25 for the first 50 people, and 1 per 50 for the remainder exceeding 50. 1 lavatory is required per 40 for the first 80 and 1 per 80 for the remainder exceeding 80. 1 drinking fountain is required per 100 people, and 1 service sink is required. For the Residential (R-3) occupancy portion of the building, 1 water closet per 10 people is required, and 1 lavatory per 10 people is required. 1 bathtub/shower is required per 8 people, and 1 drinking fountain is required per 8 people. 1 service sink is required. For the Storage (S-1 and S-2) occupancies, 1 water closet and 1 lavatory are required per 100 people. 1 drinking fountain per 1000 people is required, and 1 service sink.

Chapter 30 Conveying Systems:

The elevator is required for accessibility (IBC Section 1109.7) however it is not required to be used for accessible egress (IBC Section 1009.2.1).

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4. Civil Concept

The site of the proposed project is located just north of the Town of Crested Butte Colorado within unincorporated Gunnison County and is bordered to the south by the Town of Crested Butte Slate River Annexation, to the west by Gunnison County Road 317, to the east by the Slate River and to the north CR 317 bends to the east and crosses over the Slate River creating an overall triangular shaped site. Adjacent to the Slate River on the east side of the property are high quality wetlands and some steep slopes on the southeast side of the property sloping to the river and wetlands. Therefore, there is a strict river and wetlands setbacks that must be protected on the east side of the project. The total project site consists of approximately 2.4 usable acres.

The existing site is undeveloped with native grass and sagebrush vegetation (no existing trees or structures on site). The site is relatively flat sloping to the north at about 3% but does have a hill in the southeast corner of the property that the site will be cutting into and will require 2-6' boulder retaining walls.

Site work to include all grading, drainage, utility, access and parking for the overall campus. The Crested Butte Fire Protection District New Emergency Services Campus includes two distinct buildings – Headquarters (HQ) and Search & Rescue (SAR). The overall campus site design will be developed as a unified site with site grading, drainage, paving, parking, and utilities working together but with separate utility meters and services for each building.

As shown on the Schematic Architectural Site Plan the campus will have two primary entrance and egress with the main entrance for visitors is to be from the north end of the site off CR 317 accessing a parking lot for the administration sides of both buildings with access to the main HQ entrance on the northwest corner of the main headquarters building from this parking lot. The parking lot is sized to provide additional parking for the search and rescue building. The second ingress and egress primarily for fire employees only will be off CR 317 at the southwest corner of the site accessing employee parking and the drive through bays of the main HQ building. The emergency vehicle bays will open directly onto the CR 317 for access. SAR vehicles will exit the site through the second southern egress to CR 317. All paved areas are to be 3" of asphalt over 9" of CDOT compacted class 6 aggregate basecourse (approximately 3,530 S.Y.). There will also be 30' long by 75' wide 6" thick concrete snow melt aprons on both sides of the vehicle bays (approximately 800 S.Y.).

The asphalt access and parking areas will be lined by spill curb and gutter along the building sides of the parking and will have a flush concrete ribbon curb on the outsides of the parking and drive areas so snow can be plowed off and to the outsides of the site. Below are example details of the curb and gutter and flush ribbon curb to provide conceptual examples (approximately 740 L.F spill curb, 640 L.F flush ribbon curb).

There will also be a **future** 8' wide concrete side walk along the west side of the property paralleling CR 317 that is described in the Landscape scope of work in addition to other site hardscape around the buildings.

Site Grading will include the grading with a 2% cross slope of an 8' wide soft surface trail from the middle of the south boundary of the property wrapping around the east side of the site above the river slope terminating at the north end of the site before the old bridge crossing foundations (approximately 650 L.F.).

Grading and Drainage

In general, the natural existing drainage of the site flows from the south to the north before turning east and out letting to the Slate River. The developed site will divide the drainage into two halves with a ridge

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line running through the middle of the site east/west approximately down the middle of the SARs building and splitting the HQ building in half. This will create two drainage basins, one in the south and one in the north each with their own surface detention pond. The site will have the buildings siting higher along that ridge line and positive drainage sloping away to either the south and west or north then east. Both detention ponds will have selected granular porous material (biofiltration) on the bottom to promote infiltration and will have concrete outlet structures. The south detention basin in the southwest corner of the site will outlet to the west where it will flow in a vegetated roadside swale parallel to CR 317 before discharging to the Slate River. The south side of the site will also have a 6' wide valley-pan draining the asphalt area from the SAR building to the southwest detention pond. The north side of the site will sheet drain to a second detention basing before it discharges to the Slate River. Drainage components consist of

- Vegetated roadside swale approximately 30" deep by 8' wide by 550' long
- Three (3) 24" HDPE culverts under the three access drives total 220'
- Two detention ponds with biofiltration (sand and gravels) bottom (650 SY bottom total area) and two concrete outlet structures
- 170' long 6' wide concrete valley-pan

The entire 2.4 acres of the development site will need to have 6"-8" of topsoil removed and then 1'-2' of site leveling, grading and compacting of native material across the site. It should be anticipated that 1'-2' of structural fill be placed under the buildings for proper fill material (see structural narrative). Any non-formal landscaped area will have topsoil replaced and be re-vegetated with native seed mixes. However excess topsoil and building excavation spoils will have to be removed from the site and cannot be wasted on the site.

The east and south portion of the property will be cutting into a mild hillside and require boulder retaining walls. On the east side of the SAR building is where this boulder retaining wall will be largest and range from 3' tall to 6' tall at the tallest and be approximately 215 L.F. long. On the south side of the property the boulder retaining will only need to be approximately 18"-24" tall and only need one course of boulders stacked and be about 150 L.F. long. Below is a conceptual detail for the boulder retaining walls.

As described above the east side of the site also has sensitive wetlands areas and during construction and re-vegetation significant construction stormwater management BMPs must be implemented and maintained, and the contractor must obtain and follow all Colorado Construction Stormwater Discharge permits and requirements.

Utilities

There is an existing 20' electrical and communications easement on the west side of the site with existing utilities in them the must be protected and maintained. Atmos Gas has a main line located on the west side of CR 317. Water will come from an onsite well (not yet drilled, to be part of the project) located on the northeast side of the project between the detention pond and the Slate River and will have its own onsite storage and treatment. Sewer services will come from the south side of the site from the Town of Crested Butte and will require main line extensions to the property from Pyramid Avenue located in the Town.

- Domestic Water: A new Fire District owned and operated water well will need to be drilled on the north side of the property. Water quality and quantity are unknown currently, design is assuming 30 gallons per minute from the well. A 7' deep 2" HDPE line will need to run from the well to the water treatment and storage room located on the outside of the HQ building (approximately 250 L.F.). The well itself will require a well pump that can provide 30 gallons per minute at 50 feet of head supplying two 500 gallon water storage tanks (piped in parallel) located in the HQ building water treatment and storage room and be controlled by a Well/Tank automated control system

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with floats in the tanks similar or equal to the attached Mission MyDro 850 control system. All required electrical and control will for pump will need to be buried along side the water line. Inside the HQ building water treatment and storage room after the two 500 gallon water storage tank will be a booster pump to bring building water pressure up to 60-70psi and connect to a 500 gallon hydropneumatic bladder system tank keeping the building plumbing at required domestic pressure. Also, from the booster pump to the hydropneumatics tank will be a chlorine disinfection feed connection to the water stream providing the chlorine contact time in the hydropneumatic tank. After the hydropneumatics tank piping will separate to both the HQ and SAR buildings, piping between the HQ and SAR building will be 2" HDPE and buried min 7' deep with valving on both sides for isolation.

- Fire Water: Raw fire water for the project will be provided by the same well described above for the domestic water. The 2" HDPE line from the well to the HQ building will branch off at the building and also supply a 24,000-25,000 gallon buried fire water storage tank located approximately 15' east of the HQ building. Associated valving will be required for the well pump to supply both the domestic water tanks and fire water tank; but both can be run off the same Tank/Well automated control system with floats also in the fire water tank. See attached Xerxes fire protection tank diagram to be similar or equal to; a deadman system or footing system will be required on the tank to counter the buoyancy forces by anticipated high groundwater. The sprinkler-system configuration with a vertical turbine pump will be required for the fire suppression system. However, the vertical turbine pump will be located inside the HQ water treatment and storage room located approximately 30' from the tank, and so a 30" DIP piping system from the bottom of the tank bottom sump running over to under the HQ water treatment and storage room and up vertically for the vertical turbine pump to sit in will be required. The fire vertical turbine pump shall be FM certified and meet the flow and pressure requirements listed in the Fire Protection/Fire Alarm Schematic Design Report. Two options for the fire vertical turbine pump shall be provided for pricings, 1) an electric pump that utilizes the HQ building backup generator for backup power 2) a stand alone diesel engine pump to be able to run on diesel fuel and not rely on electricity. A fire connection to the outside of the HQ building connected to the sprinkler fire suppression system shall also be required.
 - In addition to the fire sprinkle system a site dry fire hydrant will be required that is connected to the Slate River. The dry fire hydrant will be located on the northeast side of the drive area (near the detention pond) and will have a 12" DIP buried line connecting to a gravel infiltration collection system located at the bottom of the Slate River (approximately 200 L.F.)
- Sanitary Sewer: The entire project site is at a lower elevation than the Town gravity sanitary sewer system. There is an existing gravity manhole located at the north end of Pyramid Avenue and 8th Street that has a tie in location for this project. A central single sanitary sewer lift stations will be required to serve both buildings and be expandable for future Town owned TP1 lot. Outside of the lift station will be a central wet-well manhole that will collect wastewater from both buildings and potential future TP1 lot (approximately 8' diameter and 12' deep) before combining flows into the lift station. The lift station for our current project demands will need to be able to pump approximately 1400 gallons per day at a total of 40' of total dynamic head. From the lift station a single 4" HDPE pressure force main line will run south in an easement across TP1 to Pyramid Ave right of way and east to 8th Street where it will connect into an existing gravity manhole, approximately 710 L.F. total. Gravity sewer service lines from each building will flow the lift station wet-well and will need to be buried 7' deep (6" SDR 35 PVC 385 L.F.). All sanitary sewer work, must follow Town of Crested Butte Public Works Criteria and specifications, including testing, inspecting, start up and acceptance.
- Gas: Atmos gas main line runs parallel to CR 317 but on the west side. Gas service line 36' deep will need to be bored under CR 317 in a shared 4" sleeve and then separate services and meters for the two buildings. The boring is approximately 100 L.F. and the service to the two buildings an additional 300 L.F.

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- Electrical: 3 Phase electrical power is in the 20' electrical easement on the west side of the property by Gunnison County Electrical. A new transformer will need to be set on the property adjacent to the proposed generator. Existing 1 phase power and box is located at the southeast side of the property that can serve the SAR building, but the line will need to be looped to the new transformer on the west side of the property.
- Communications services are located at the southwest corner of the property in the existing 20' utility easement and will serve all three buildings from that location.

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5. Landscaping and Irrigation Concept

The Crested Butte Fire Protection District New Emergency Services Campus includes two distinct buildings – Headquarters (HQ) and Search & Rescue (SAR). The overall campus site design will be developed as a unified site with unique elements associated with each building as the uses for each structure differ. The overall site design theme will draw from the nearby natural landscape of the Slate River Valley framed by the Elk Mountains. Landscape plant materials will showcase native trees, shrubs, grasses, and perennial wildflowers. The landscape plan will be designed to be waterwise and low maintenance and will comply with the 2018 Wildland-Urban Interface (WUI) Code as adopted by Gunnison County. Snow storage / management, drainage and stormwater management will be addressed on a campus wide basis.

Open space at the west corner of the site will provide space for stormwater detention and an aesthetic foreground as one approaches the site from the Town of Crested Butte. This area will include native trees, understory plantings and native grass & wildflower restoration. This will be a passive space and an important opportunity to establish the aesthetic character of the site landscape design.



Image 1 - Detention pond garden space

The HQ building dominates the Gothic Road frontage and is the largest mass of the two structures. Due to space restrictions and utility easements, landscaping along the Gothic Road frontage will be limited to small maturing trees along with shrubs, ornamental grasses, perennials, and landscape boulders. Additional planting may be incorporated with movable planter boxes and pots. A future concrete sidewalk may be extended along the Gothic frontage, providing connectivity from Town property to the Emergency Services campus and a growing recreation/transportation trail system. A vegetated ditch for storm water management will line the frontage between the back of curb and a future sidewalk.

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The main public entrance is located at the NE corner of the HQ building. This entrance area will include a small plaza to mark this civic amenity with the opportunity to incorporate interpretive/story telling elements about the history of the CBFPD and/or the natural surrounding landscape/ecology. Information may be expressed using sign panels or as artwork and graphics incorporated into site elements such as paving and site furnishing. This plaza will include hardscape paving (concrete or pavers), boulders, planters, benches, bike racks, trash receptacle, integrated interpretive/story telling elements (signage or artwork).



Image 2 - Courtyard plaza with pavers and boulders

The east courtyard and patio of the HQ building is framed by the Administration wing of the building and provides space for employees and training exercises separate from the public. The courtyard area is protected from the NW prevailing winds and open to views of Mt. Crested Butte and down valley. This area will accommodate training activities, outdoor meetings, relaxing, gathering, eating and outdoor fitness. This space is intended to serve the needs of employees, volunteers, and visitors of the HQ building, but not for the public at large. Landscaping and circulation associated with this space will reinforce the separation between general public access and the east courtyard.

The north and east sides of the site overlook the Slate River. Drainage naturally flows to this area of the site. A detention pond will be situated in this area. Plant

material will be selected to blend with the native surroundings and provide filtration within the detention pond for runoff from the adjacent parking lot before it flows to the river. Erosion control mitigation and biofiltration measures will be incorporated into the landscape design to protect the Slate River.

The SAR building is located behind and perpendicular to the HQ building and is adjacent to the private residential property to the south of the project site. Landscaping (trees, site grading) will be used to soften the mass of the building from the adjacent property and provide outdoor space for the SAR building users. The character of the proposed landscaping will tie seamlessly with the natural landscape and will create a buffer between the differing land uses.

There are opportunities to tie in with potential future trails for increased pedestrian/bike connectivity through or adjacent to the site. Site circulation via a future soft surface (gravel or decomposed granite) trail will be explored as part of the Emergency Services Campus circulation system. **This includes grading for a future, 8' wide, non-motorized crusher fines trail connecting the Slate River Subdivision TP-7 to the former South bridge abutment on the CBFPD plat.** Boulder retaining walls will be located to best support proposed circulation paths and will be used to create space for and frame outdoor spaces in addition to retaining grade as needed. Locally available boulders shall be used to construct boulder retaining walls.

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Image 3 – Native and waterwise planting with boulders and non-combustible gravel mulch

Landscape Elements shall include:

- Gothic Road Frontage
 - Native seeding and naturalized landscaping
 - **Future** sidewalk – 8’ wide concrete walk, approximately 390 linear feet
- HQ Public Entry Plaza
 - Hardscape paving (patio & walkways)
 - Flag poles
 - Planter boxes and/or pots
 - Planting beds
 - Bike rack & bike maintenance kiosk
 - Trash receptacle
 - Benches
 - Interpretive/story telling signage or integrated design element
 - Hardscape sidewalks to connect to minor entrances, public trail (future) and parking
- East Courtyard
 - Hardscape paving (patio & walkways)
 - Tables and chairs
 - Trash receptacles
 - Bike rack
 - Hardscape sidewalks to connect adjacent entrances
- Future site path – 8’ wide decomposed granite walking path, approximately 650 linear feet
- Landscape beds with native shrubs (5 gallon), perennials and ornamental grasses (1 gallon). All beds will be mulched with gravel or shredded cedar mulch.
- Landscape boulders in planting beds, natural areas (for beauty & texture) and adjacent to patios (for seating alternative).



Image 4 – Civic entry plaza with waterwise planting, flags, and special paving



Image 5 – Bike maintenance kiosk

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- Buffer planting to include deciduous (2"-3" caliper) and evergreen trees (6' to 10'+). Tree species to include cottonwood, aspen, chokecherry and spruce.
- Native seeding with grasses and wildflowers to all disturbed areas unless otherwise noted.
- Automatic, pressurized, underground irrigation system to connect to raw water, if available. Drip irrigation and micro-sprays shall be used to efficiently irrigate shrubs, trees, perennials, and groundcovers. Pop-up sprays shall be used for turf areas. Rain sensors shall be included. A programmable automatic irrigation controller with remote control capabilities shall be provided. If the system needs to connect to domestic water, a proper backflow preventer will be installed. Temporary irrigation may be used in native revegetation areas for an establishment period of 3-5 years.
- Boulder retaining walls as needed (see Civil)

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6. Exterior Architectural Concept

The new Central Administration, Fire, and Emergency Services (HQ) building has a life expectancy is 50+ years and the expectation is for required maintenance to be minimal. A dry stacked stone water table extends up to 3'-0" high around the entire building. Wall surfaces above the masonry will be a yet to be determined non-masonry siding product. In some locations of the building, the siding product will be oriented vertically to create differentiation. This vertical siding product will be the composite product where heights are less than 12'-0". The building mass containing the apparatus bays will be brick veneer for the entire height of the wall above the stacked stone water table. The bay accessory support spaces will be siding for the entire height of the wall above the stacked stone water table.

Windows are currently assumed to be composite, double hung where operable, and minimal areas of storefront or larger window openings. All glazing should be triple pane with low-E coating. All wall openings including windows and doors facing Gothic Avenue shall be of a noise reduction design. All windows shall receive manual, light filtering shades. All windows at sleeping, conference, and training rooms shall receive manual dual-shade treatments with light filtering and blackout fabrics

The heating and cooling equipment will be located on the low slope roof, screened by parapets. The roof is anticipated to be a single-ply membrane product with a 30-year warranty (EPDM). There will be an option to build a structure and install photovoltaic cells at the open roof areas as well.

A community alert siren will be located on the roof at a location to be identified. The siren shall be provided by the Owner and installed as part of the contract.

Typical Exterior Assemblies:

- Exterior Siding Walls: 5/8" interior gyp, 6-8" cold-formed metal framing studs, closed cell spray foam insulation (R-9), fiberglass mat gypsum sheathing, fully adhered water and air-resistive membrane barrier, 2-in-1 continuous insulation system (R-18), siding* (vertical and horizontal) attached through Z-clips or subgirts
- Exterior Brick Veneer Walls: 5/8" interior gyp, 6-8" cold-formed metal framing studs, closed cell spray foam insulation (R-9), fiberglass mat gypsum sheathing, fully adhered water and air-resistive membrane barrier, 2-in-1 continuous insulation system (R-18), 2" air space, brick veneer with tiebacks
- Exterior Stone Veneer Water Table: 5/8" interior gyp, 6-8" cold-formed metal framing studs, closed cell spray foam insulation (R-9), fiberglass mat gypsum sheathing, fully adhered water and air-resistive membrane barrier, 2-in-1 continuous insulation system (R-18), 2" air space, stone veneer attached with anchors
- Roof Assembly: Steel/CLT deck, vapor retarder, polyisocyanurate insulation (min. R-45), cover board, fully adhered EPDM membrane (may be some portions of metal roof where slopes are shown)
- Roof Assembly at Outdoor Patios: Steel/CLT deck, vapor retarder, polyisocyanurate insulation (min. R-45), cover board, paver system on pedestals

*Siding material TBD. Options include:

- composite siding material (sim. Resysta)
- metal wall panels (sim. AEPspan)
- fiber cement cladding (sim. Equitone)

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7. Interior Architectural Concept

The interior architectural concept is to provide CBFPD sufficient space to service the Town of Crested Butte. The interior design of this building is divided into three basic parts:

- 1) **Public** – The northern portion of the building. This space serves primarily the Fire District's public functions such as CBFPD administration offices, meeting rooms, training room, and all support areas required such as storage, circulation, and restrooms. There is a portion of office and support space on the second floor that will be shell only. The extents are indicated on the drawings.

The interior architecture of this area will be functional and durable. Typical wall construction will be metal stud with sound insulation and gypsum wall board finish. Public spaces such as the entrance vestibule, lobby, and training room will include dynamic ceiling design, millwork, accent finishes, and upgraded floor finishes creating elegant yet welcoming spaces. Space and millwork in the vestibule will display historic and important icons of the CBFPD.

- 2) **Non-Public, firefighting living/work area** – The middle of the building. This space provides functions needed by the firefighting employees between assignments including sleeping rooms, showers with glass shower doors, workspace, fitness room, kitchen, day room, and support spaces.

The interior architecture of this area will be functional, and durable as well. Typical wall construction will be metal stud with sound insulation and gypsum wall board finish. Moisture resistant gypsum board should be installed in spaces with water. Sleeping rooms will have painted Type X gypsum board ceilings while the remainder of ceilings will have acoustic, lay-in ceilings. Floor finish will be durable and quiet.

- 3) **Apparatus Bays** – The southern portion of the building. This area contains the active functions of the facility. It contains (4) apparatus bays for emergency and fire response bays as well as adjoining support spaces, including apparatus storage, equipment cleaning, storage, training activities, and related support areas, and (1) maintenance bay for apparatus repair.

The interior architecture of this area will be functional and durable. Typical wall construction will be metal stud with gypsum wall board and masonry veneer to a height of 10'-0" where appropriate such as all walls in the bays where the potential for water and impact will be high. The entire length of the south wall in the fire bay is considered to be full-height, masonry veneer for training functions. Ceilings will be open and exposed to structure where appropriate and acoustic, lay-in ceiling where required.

Access Control – Select doors to be identified during a later phase shall include a badge reader type access control that is the same as / compatible as the Gunnison County system in use which is currently "Access It!" by RS2 Technology (<https://rs2tech.com/software/access-it/>).

Preliminary Finish Schedule:

AREA	FLOOR	WALLS	CEILINGS
Vestibule	Sealed concrete	Painted Gypsum	Gyp Bd. w/ Acoustical lay-in tile
Public Lobby	Sealed concrete	Tile/Painted Gypsum	Gyp Bd. w/ Acoustical lay-in tile
Training Room	Carpet Tile	Painted gypsum	Gyp Bd. w/ Acoustical lay-in tile
Offices/Conf Rms	Carpet Tile	Painted gypsum	Gyp Bd. w/ Acoustical lay-in tile
Elec/Mech/Plbg	Sealed concrete	Painted gypsum	Open to Structure

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AREA	FLOOR	WALLS	CEILINGS
Public Restrooms	Porcelain tile	Porcelain tile wainscot up to c.7'-0", epoxy painted gypsum wallboard	Gypsum board
Circulation Spaces	Sealed concrete	Painted impact-resistant gypsum	Acoustical lay-in tile
Fitness Room	Athletic Rubber	Tnemec Painted gypsum	Gyp Bd. w/ Acoustical lay-in tile
Sleeping rooms	Sealed concrete	Painted gypsum wallboard	Gypsum board
Shower rooms	Porcelain Tile	Porcelain tile wainscot up to c.7'-0", epoxy painted gypsum wallboard	Gypsum board
Crew Workspace	Carpet tile	Painted gypsum wallboard	Gyp Bd. w/ Acoustical lay-in tile
Dayroom	LVT	Painted gypsum wallboard	Gyp Bd. w/ Acoustical lay-in tile
Kitchen	LVT	Painted gypsum wallboard	Gyp Bd. w/ Acoustical lay-in tile
Covered Patios	Pavers	Exterior Finishes	Open to Structure
Storage/Janitor	Sealed concrete	Painted gypsum wallboard	Open to Structure
Apparatus Bays	Sealed concrete	Sealed and Painted Masonry up to 10'-0", Tnemec Painted gypsum wallboard w/ accent walls	Open to Structure
Bay accessory spaces (including decon shower)	Sealed Concrete	Tnemec Painted Gypsum	Open to Structure
Maintenance Office	Sealed Concrete	Painted gypsum wallboard	Acoustical lay-in tile



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Schematic Design Package 01 – Central Administration, Fire, and Emergency Services (HQ)

8. Structural Concept

Schematic Design Package 01 – Central Administration, Fire, Emergency Services (EMS)

March 3, 2023

Structural Systems Narrative

GENERAL BUILDING DESCRIPTION

The Crested Butte Fire Protection District – Central Administration, Fire, and Emergency Services building is a new 2-story building, located at 306 Maroon Avenue, Crested Butte, Colorado.

The building will serve as offices, lobby, sleeping quarters, communal spaces, training, ambulance and fire apparatus bays, and maintenance. The ground floor shall consist of primarily public spaces, offices, along with the apparatus bays, and sleeping quarters. The second floor shall have offices, a residential kitchen, and exterior patios, a portion of which will remain un-finished in the initial phase of the project.

This narrative describes the projected structural foundation, floor, roof, lateral and exterior wall systems for the project and discusses the proposed structural design criteria.

DESIGN CRITERIA

- The governing Building Code is the IBC 2021 and referenced codes.
- Design Dead Loads will include:
 - Structure self-weight
 - Allowance for flooring, C/L/M/E (ceiling, lights, mechanical piping and ducts, and electrical) 15psf min
 - Allowance for direct mounted future photovoltaic panels on all flat roofs
- Design Live Loads will include:
 - Design Live Loads will be in accordance with the requirements of IBC
 - Office space: 50psf + 15psf for partitions
 - Residential: 40psf
 - Vehicle Bays: 40psf, concentrated load of vehicle
- This building is classified as Risk Category IV.
- Serviceability:
 - Live Load deflection = $L/360$
 - Total Load deflection (including creep) = $L/240$
 - Design floor for ATC Design Guide 1 “Minimizing Floor Vibration”
 - Maximum acceleration = 0.5% g
 - Assumed damping = 3%
 - Wall deflection = $L/240$
 - Building Drift = $H/400$ (wind), $H/50$ (seismic)
- Seismic loading in accordance with IBC and ASCE using the following parameters:
 - Soil Site Class, Per Geotechnical Report: D
 - Response Modification Coefficient (R): 3.0
 - Short Period Spectral Acceleration (S_s): 36.4%g
 - One-Second Period Spectral Acceleration (S₁): 8.2%g
 - Importance Factor, I_e: 1.5

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- Seismic Design Category: D
- Mass calculations will conform to ASCE 7
- Wind loading in accordance with ASCE using the following parameters:
 - Basic ultimate wind speed = 120 mph
 - Exposure category C
- Snow loading in accordance with ASCE 7 using the following parameters:
 - Ground Snow Load, Pg: 125 psf
 - Thermal factor, Ct: 1.0
 - Snow Exposure factor, Ce: 1.0
 - Importance Factor, Is: 1.2
 - Flat Roof Snow Load, Pf: 105 psf
- Frost protection to be not less than 36".
- Foundations will be designed in accordance with the Cesare, Inc geotechnical engineering study number 22.2156, dated December 15, 2022. Foundation system options are summarized in the Foundation section below.

ROOF FRAMING

The roof will consist of flat roofs with parapets. The roofs will be comprised of 3N x 18 ga metal roof deck spanning to open web steel bar joists or wide flange steel beams supported on wide flange steel girders and steel columns. Wide flange beams will be utilized to support rooftop mechanical units where required.

Detailed information is provided below:

Deck	3" N x 18 Gage	
Long Span Joists/Beams @ Bays	40LH's/W21's @ 8'-0" OC Maximum	3.5/5psf
Girders @ Bays	W21's	2.5psf
Joists/Beams	20K's @ 4'-0" OC/ W14's @ 8'-0" OC Maximum	2.5/2.5psf
Girders	W14's	2.5psf
Columns	HSS 8x8 (Interior) HSS 6x6 (Exterior)	2.0psf
Braced Frames	HSS 4x4	2.0psf
Misc. Structural Steel	Bent Plate and Angle	1.0psf
Structural Steel Average Weight:		11.0/12.5psf

SECOND FLOOR FRAMING

The building is proposed to be steel framed to provide the maximum future flexibility in terms of open spans as well as providing fire ratings if required in the future. The floors will be comprised of 2" by 18 ga composite metal deck spanning to wide flange steel beams supported on wide flange steel girders and steel columns.

For preliminary pricing, the following can be assumed:

- Concrete for slab-on-metal deck:
 - F'c = 3,500 psi, normal weight
 - No entrained air

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Detailed information is provided below:

Slab	4 1/2" (Above Deck) Normal Weight	
Slab reinforcing	6x6 W2.9xW2.9 Slab Reinforcing Drag Bars	1.0psf
Deck	2" VLI 18 Gage	
Beams	W14's to W21's @ 8'-0" OC Maximum	3.5psf
Girders	W16's	2.5psf
Columns	HSS 6x6 (Interior) HSS 6x6 (Exterior)	2.0psf
Braced Frames	HSS 4x4	2.0psf
Misc. Structural Steel	Bent Plate and Angle	1.0psf
Structural Steel Average Weight:		12.0psf

FIRST FLOOR FRAMING

The first-floor slab is expected to be a conventional slab-on-grade reinforced with welded wire reinforcement. For preliminary pricing, the following can be assumed:

- Concrete for slab-on-grade:
 - F'c = 4,500 psi, normal weight
 - No entrained air
- Slab-on-grade:
 - 4" thick slab with 6" thick slab at vehicle bays
 - Thickened slabs up to 12" thick at stair stringers, and in mechanical areas

Detailed information is provided below:

Slab-On-Grade	4" Normal Weight with Fiber Mesh	
Slab Reinforcing	6x6 W2.9xW2.9 Slab Reinforcing	0.5 psf
Slab-On-Grade – Vehicle Bays	6" Normal Weight with Fiber Mesh	
Slab Reinforcing – Vehicle Bays	#4 @18" oc	1.5 psf
Prepared subgrade per recommendations of the Geotechnical Engineer		

FOUNDATIONS

The expected foundation system is a shallow spread footing foundation system. During the excavation for the geotechnical report ground water was not found. For preliminary pricing, the following can be assumed:

- Concrete for footings and stem walls:
 - F'c = 3,000 psi, normal weight
 - 6% air-entrainment in stem walls
- Foundations:
 - The allowable bearing pressure is 3,500psf based on dead load plus ½ live load.



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Detailed information for each option is provided below:

Typical Exterior Footing and Stem Wall	8" Thick Stem Wall with #4 @ 12" Each Way, Each Face On 16" Wide x 12" Thick Strip Footing with #5 @ 12" If brick or full thickness stone is to be supported on stem wall assume 14" Thick Stem Wall w/ #5 @ 18" Each Way, Each Face on 22" Wide x 12" Thick Strip Footing with #5 @ 12"
Typical Interior Footing	7'x7'x1'-4" Normal Weight Concrete with (6) #6 Each Way, Bottom
Typical Exterior Footing	5'x5'x1'-2" Normal Weight Concrete with (6) #5 Each Way, Bottom
Typical Braced Frame Footing	6'x6'x1'-4" Normal Weight Concrete with (8) #5 Each Way, Top and Bottom

LATERAL SYSTEM

The lateral system for the building will be steel braced frame not detailed for seismic resistance with 5-inch by 5-inch tube steel braces.

EXTERIOR WALL

The exterior walls will be comprised of light gauge metal studs. Six-inch-deep x 43 mil studs are expected to work for the typical walls with 8" deep studs required at the 2 story walls. The design of the metal stud system will be performance specified by Martin/Martin, Inc. to be designed by the metal stud Contractor and their specialty Engineer.

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9. Mechanical, Plumbing and Electrical Concepts



Bighorn Consulting Engineers, Inc.
386 Indian Road, Grand Junction, CO 81501
Phone: 970-241-8709

Crested Butte Fire Protection District
New Fire Station
Crested Butte, CO

Mechanical, Plumbing and Electrical Schematic Design Narrative
June 14, 2023

General

The project will include the construction of a fire station with apparatus bays, sleeping rooms, offices, training rooms, and ancillary spaces. This will be a two-story building of about 21648 ft².

The second story space will be core and shell design. Systems serving this area are to be roughed in to an extent that demolition will not be required in first-floor spaces to complete the future build out. This shall include, but not be limited to:

- Radiant tubing installed in floor,
- Ductwork from DOAS stubbed in the space.
- Refrigerant line set from VRF system stubbed in the space.
- Electrical conduit routed to space.
- Electrical panels and breakers supplied to serve space.
- Domestic pipes routed to space and capped for future use.
- Waste pipe rough-in routed to anticipated fixture locations.

Applicable Codes

2021 International Building Code
2021 International Mechanical Code
2021 International Plumbing Code
2021 International Energy Conservation Code
2023 National Electric Code

Seismic Classification

The project classification is Site Class D, Risk Category IV, and Seismic Design Category D. For this facility, the Component Importance Factor would be 1.5.

The following systems/components will be installed with seismic bracing:

1. Fire protection piping.
2. Electrical conduit larger than 2".
3. Ductwork with a cross-sectional area greater than six square feet.

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4. Domestic, sanitary, storm, or hydronic piping that does not meet the 12-inch hangar rule. Piping 1" or less and supported by a single clevis does not require bracing. Piping 1" or less supported by a trapeze per ASCE 7 does not require bracing.
5. In-line components greater than 75 lbs.
6. Light fixtures in suspended ceilings.

This will be a delegated design for MEP systems performed by a firm specializing in seismic classification and design of restraints for MEP systems and equipment.

Plumbing

It is anticipated that a new fire protection line would be routed to the building to provide fire protection water and a new domestic water line would be routed to the building for domestic water as follows:

1. Fire Station: 6" fire line, 4" domestic line.

This water will come from an onsite water well and storage tank system, and the tap locations will be coordinated during design. The domestic water entry will include a strainer, PRV's, reduced pressure backflow preventer and pressure gauges.

Sanitary sewer lines will exit the buildings and tie to the sanitary mains on site as follows:

1. Fire Station: 6" line.

Coordination with the civil engineering consultant will be necessary to determine final location of the sewer tap for the building. A sewage grinder/lift station is anticipated for the Fire station and location and coordination with the civil engineer will occur during final design.

Natural gas will be routed in the building to serve gas-fired appliances including water heaters, boilers and owner provided, gas-fired equipment for the building. The meter set location will be coordinated during design. Delivery pressure (2 psi or 14" wc) will also be determined during design. The gas needed in the new system will vary with the selection of the mechanical system. Exterior, underground gas piping will be HDPE with fusion welded joints. Interior gas piping will be schedule 40 steel piping. Gas pipe size up to 3" is anticipated, assuming 14" wc delivery pressure.

The Fire station will have a domestic hot water will be supplied by an indirect fired hot water heater. The indirect water heater will be supplied by the boiler plant. It is anticipated that a single 115 gallon, 199 MBH water heater similar to the Raypak - RSIT115 will be used.

The water heaters will be fed from the boiler system and domestic hot water will be routed from this location to all fixtures requiring domestic hot water. Recirculation lines will be routed from the furthest fixtures as required by the IPC.

Exterior hose bibbs will be provided at select locations around the exterior of the building.

Interior roof drains and overflow drains will be provided for drainage on selected roof areas. Interior roof drain and overflow leader piping will be piped independently to coordinated building exits. Overflow piping will have downspout nozzles. The first 20 ft. of leader piping will be insulated with 1" fiberglass insulation.

Plumbing fixtures will be standard grade, commercial quality. The water closets will be high efficiency 1.1 gpf, floor-mounted water closets by Kohler. Urinals will be 0.125 gpf high efficiency style by Kohler. Flush valves will be sensor type with battery power. Lavatory faucets in public restrooms, private restrooms,

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and handwash sinks in the bays will be 0.3 gpm sensor type with battery power. Decontamination area sinks will have manual faucets.

Waste, vent, and storm piping inside the buildings will be standard weight cast iron pipe with “No-hub” joints. Underground waste will be DWV rated PVC with solid wall. Domestic water and recirculation piping will be type “L” copper. Domestic hot water will be insulated with 1” fiberglass insulation according to IECC 2015.

Floor drainage will be provided in select areas as determined during design. The drain locations and type will be coordinated with the architect and owner during design. These will include large toilet rooms, locker rooms, and apparatus bays.

Condensate drainage will be provided from each indoor VRF unit thru a condensate drainage system of copper piping to appropriate waste reception.

Specific plumbing items for the Fire station apparatus bays include:

1. A compressed air system will be provided and will include an air compressor, air dryer, and 3/4” copper tubing for air distribution.
2. An emergency eyewash will be provided in the Decontamination room.
3. There will be two, wall-mounted 2-1/2” truck fill connections in each bay. This water will be metered.
4. A 1500 gallon, two-compartment sand/oil interceptor will be installed outside at this end of the building and the location will be coordinated during design.
5. The Cleaning room will have an extractor, sink, washer, and dryer. An indirect sump basin will be provided for drainage.
6. Trench drains will be coordinated during design for floor drainage and will drain to the sand/oil interceptor.
7. A domestic water loop will be provided in the bays for general water usage and washing.
8. 10000 Gallon storage tank for training water purposes and filling apparatus tanks. It is anticipated that the tank will be supplied via 2” domestic water line, and be provided with a method to capture, filter, and reuse water for training purposes.

Heating, ventilating, and air-conditioning

The systems for the Apparatus bays and ancillary support spaces on this end of the building will be composed of the following:

1. A central boiler plant with two, modular, high-efficiency, gas-fired boilers; pumps; indirect water heaters; piping; and controls. The boilers will each have a capacity of 800 MBH and be similar to the Raypak XFIRE-Type H, Model #800B. This boiler plant will also provide heating water to the radiant floor in the Administration portion.
2. Radiant floor will be installed throughout this area and will include 1/2” hePEX at 10” o.c. Other system components will include radiant manifolds, control valves and loop piping. Loops will be limited to 300 feet in length.
3. Snowmelt systems will be installed at the aprons at each overhead door and will extend 8 ft from the door. Systems will include 3/4” hePEX tubing at 12” o.c. Other system components will include snowmelt manifolds, control valves and loop piping. Loops will be limited to 500 feet in length. System fluid will be 50% propylene glycol. The area between the HQ and SAR buildings will be served by this system as well.

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4. Suspended, hydronic unit heaters will be placed in these areas for supplemental heating. Typically, a unit will be placed near each set of two OH doors and one in the maintenance bay.
5. Apparatus vehicle source capture exhaust system will be provided for each vehicle. This will be a system composed of exhaust fans, ductwork, track system and breakaway connections.
6. Air circulation fans will be provided for de-stratification in these areas. Fans will be similar to the Air Pear style by Airius.
7. General exhaust fans will be used to provide ventilation throughout and to ensure negative pressure relation to the Administration side of the building. There will be a roof-mounted fan in the ambulance bay, the fire bay, and the maintenance bay. The fans will provide 0.75 cfm/ft² of exhaust capacity. The general exhaust system will be provided with a carbon monoxide and nitrogen dioxide gas detection system similar to the Macurco DVP-1200 with sensors.
8. The Maintenance office will receive a cold-climate heat pump to provide heating and cooling for the space. The unit will be a nominal 1.5-ton system with the condensing unit on the roof.

The systems for the Administration portion of the building will be composed of the following:

1. Radiant floor will be installed in select areas and will include 1/2" hePEX at 10" o.c. Other system components will include radiant manifolds, control valves and loop piping. Loops will be limited to 300 feet in length. Proposed radiant floor areas include: hallways, fitness, training, public lobby, kitchen, and conference room on second floor.
2. Heating and cooling will be accomplished with a variable refrigerant flow (VRF) air-air heat pump system using heat recovery and a dedicated outdoor air system (DOAS) for ventilation air delivery. The system will be similar to Mitsubishi CityMulti Hyperheat R2 series with heat recovery. Outdoor units will be similar to model PURY-HP240 and might be located on the second floor adjacent to the stairwell.
3. Indoor VRF units will be fan coil or cassette style depending on zone configuration. Each bunk room will each receive a fan coil style unit with supplemental hydronic heating coil to provide an independent zone for each room. Other spaces not served with radiant floor (e.g., first and second floor offices) will be zoned with fan coil style units with supplemental hydronic heating coil. Spaces served with radiant floor (e.g., training room, fitness room, conference room) may have ceiling cassettes.
4. The DOAS unit will provide code required ventilation air to the building and provide heat recovery and will supply up to 2000 cfm. The unit will have DX cooling and gas-fired heating and will temper/cool the incoming outside air to about 72° deg F. The unit may be located on the second-floor roof near the VRF condensers. Supply air and exhaust air ductwork will be routed from the unit to the zones and/or VRF indoor units as needed.
5. Air will be distributed to each zone by steel ductwork built according to SMACNA standards and ceiling-mounted diffusers and grilles. Ductwork will be insulated as per the 2015 International Energy Conservation Code (IECC) with R-6 insulation in unconditioned areas.
6. Exhaust would be provided at restrooms, locker room, janitor closets, etc. by the exhaust side of the DOAS with exhaust ductwork and grilles.
7. The IT room on the first floor will receive a 1.0-ton cooling only split system air conditioner with low ambient cooling.
8. A direct digital control (DDC) building automation system (BAS) will be designed to control and monitor all aspects of the building mechanical system. A Trane SC system will be the basis of design and used to control all the equipment, VRF, DOAS, and miscellaneous monitoring points. The Trane system will be web-based.
9. Building utility metering through the BAS will include: Whole building water usage, whole building gas usage, and whole building electrical usage and demand.

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10. Commissioning of building heating, cooling and service water heating systems will be performed by a certified commissioning agent per C408 of the IECC. This will be an independent third-party agent that is contracted with the owner.

Geothermal Considerations

The gas fired boiler plant could be replaced with a geothermal 6-pipe chiller heat pump plant to provide simultaneous heating water and chilled water. 6-pipe chiller plant would be comprised of (4) Water Furnace TruClimate 500 model WCHVM050 units each with a nominal 50-ton capacity. The source would be sized for approximately 600 GPM of total flow.

The portions of the mechanical system requiring heating water would remain the same and would receive their heating water from the 6-pipe chiller. The outdoor air-cooled VRF system (PURY-HP240) described above coupled with the indoor VRF units identified in item #3 would be replaced with a 4-pipe ducted fan coil system. Each VRF fan coil would be replaced with a heating and chilled water 4-pipe ducted fan coil served by the 6-pipe chiller.

The 6-pipe chiller plant would be connected to the site geothermal bore field loop.

Electrical:

Site/Overall

Site lighting will be provided using full cutoff fixtures that are Dark Sky Compliant. Arrangement of building mounted lights and Site poles or bollards shall be such that light does not trespass over the property boundaries in accordance with IECC 2021 requirements. The need for additional Site task lighting to assist with operations or training scenarios will be coordinated during the design. Site lighting layout will take into consideration the planned Helicopter Landing Zone and flight path, including pole height, placement, and light source visibility. Provide two (2) conduits running between buildings. One is to be for Fire alarm (low voltage) and one for future use. Size of conduits to be determined during design.

Lighting

The lighting system for the project will include the most energy efficient lighting available with consideration from a maintenance standpoint to provide the most compatible light fixtures. Vehicle bays are planned to have LED low-bay lighting that is coordinated with the equipment and vehicle layout to provide the most effective coverage. Sleeping rooms are planned to have LED lighting that is arranged with Crew Member comfort in mind and to provide individualized room controls. Offices, Workspaces, Training Rooms, and similar areas are planned to use LED panels, downlights, and pendants for a contemporary commercial Office building environment.

Automatic lighting controls will be provided where required or practical to turn lights on when occupants enter an area and off after a period of inactivity. Automatic daylight harvesting controls shall be provided where required by the governing IECC. Corridors and circulation paths will have a minimum number of lights on 24/7 with the remaining lights controlled by local switches or occupancy sensors. The lighting in the Offices, Workspaces, Training Rooms, and similar areas will be coordinated with the best usage in mind for these areas. All the fixtures will have dimming capabilities in conjunction with the LED light fixtures.

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Exterior lighting will be controlled by a timeclock or photocell and provide the ability to reduce light output via fixture dimming.

General Power

The electrical service is planned to be a 1200 amp, 277/480V, 3 phase design. The ratings of the electrical gear may require special provisions for Egress from the dedicated Electrical working space and these requirements will be coordinated during the design.

The entire electrical service is planned to be backed up by a Cummins Turbo-diesel generator that is configured for continuous operation (i.e., COPS NEC 708) for a period of 72 hours minimum. Estimated size of backup generator is 350kW and provisions for a load shedding transfer switch to the SAR building shall be planned at minimum. Confirmation of generator capacity and alternate solutions for backup generator power will be discussed during the design and may include increased nominal size and load shedding or transfer switch configurations, add alternate option for independent backup generator for the SAR building (~65kW), etc. Due to the operational requirements and anticipated size of the backup generator, it is planned to have a 4000-gallon underground diesel storage tank onsite with a redundant fuel transfer pump configuration to resupply the running fuel tank automatically using float level controls. The location and size of the fuel tank will be coordinated during the design. The electrical gear will have protection against overvoltage (SPD) as well Arc Energy Reduction as part of the main disconnect. The electrical system will be designed to handle the demands of a typical building of this usage with capability to handle power requirements for general office and training operation in addition to Emergency response and operations related to Fire and EMS activities. All electrical devices will be specification grade.

The building will require a fire pump for the sprinkler system and the fire pump is planned to be installed remote to the building. The fire pump will be provided with backup power based on the final design of the system. It is planned that the fire pump will be diesel powered and require minimal backup electric power, or that the fire pump will be electric and provided with a separate transfer switch. The backup power will be from the planned generator and the transfer switch will shed all other loads in the event that the fire pump needs to operate while running on the backup generator.

At least one large pressure pump is anticipated for training purposes to provide pressurized water from the 10,000-gallon underground water storage tank at NFPA acceptable flow rates for Fire Suppression training. The need or desire for a redundant pressure pump, or additional pressure pump, will be coordinated during the design.

A remote sewage lift-station grinder pump is anticipated to be installed on the site to be used by all buildings (Fire Station and SAR). This pump will be powered from the generator backed electrical service from the Fire Station or SAR building depending on final location.

Building metering will be accomplished with a single meter located on the exterior of the building next to the main disconnect/panel. Submetering for building systems to meet Energy Code or Certification requirements will also be included; these systems may include lighting, heating, cooling, etc. It is planned to use products from eGauge to complete the submetering.

Photovoltaic generation system(s) are planned to be installed as part of the construction, or as a budget alternate. The anticipated size of the photovoltaic system is 21kW and the specific installation plan and restrictions/limitations will be coordinated during the design. Electric Utility Service provider (Gunnison County Electric Association (GCEA)) has limitations on the overall size (kW) of interconnected generation as well as total energy production/offset (kWh) of these systems that must be reevaluated at the time of the design.

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Systems

Data and A/V systems will be designed and specified according to the input from the owner. This will include data ports in all offices, sleeping rooms, etc. It will also include wireless access points (WAP's) at strategic areas of the building to provide access as well as a cellular repeater system. All Data and AV systems will be routed in Cat 6A cable. The pathways will consist of a star pattern with each data drop consisting of a cable from the IT room to the outlet.

Access control will be installed as directed by the owner. Wiring will be accomplished via Cat 6A cabling or per manufacturers recommendations. Exterior proximity devices with extended reach will be installed at selected doors and gates to allow entry.

Cameras will be installed around and inside the building as directed by the owner. Wiring will be done using Cat. 6A wire.

Coordination during the design for Station Alerting system(s) may include specialty LED red lighting for Crew Member alerting, PA/Speaker or Paging for alerting or information. Vehicle apparatus bays shall be equipped with a shore power connection that has break-away capabilities.

END OF MECHANICAL/ELECTRICAL NARRATIVE

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10. Fire Protection



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**Crested Butte Fire Protection District Headquarters
Fire Protection/Fire Alarm Schematic Design Report**

June 14, 2023

Prepared by: Deborah Shaner, P.E., Fire Protection Engineer

The Crested Butte Fire Protection District (CBFPD) Headquarters building will be provided with fire alarm and fire protection systems in accordance with the following standards:

- NFPA 72, National Fire Alarm & Signaling Code
- NFPA 13, Standard for the Installation of Sprinkler Systems
- NFPA 1142, Standard on Water Supplies for Suburban and Rural Firefighting
- Crested Butte Fire Protection District Amendments

The following outlines the design criteria for the Fire Protection, Fire Alarm and Emergency Responder Radio Coverage systems.

Fire Protection

Fire Sprinklers

The building will be fully sprinklered. The system will consist of a wet pipe sprinkler system in the Office, Training and Quarters areas of the building. A dry pipe zone will be designed for the Apparatus Bays. A 6" sprinkler line is recommended. The system will be designed in accordance with NFPA 13 and consist of Light Hazard and Ordinary Hazard classifications.

The approximated system demand is:

Sprinkler System flow: 400 gpm
Hose Stream: 250 gpm
Total: 650 gpm
Approximate pressure demand: 60 psi

Water Supply

Water supply for both firefighting use and fire sprinkler demand is required.

NFPA 1142 will provide the basis of design for the site firefighting water supply. Two sources are planned. The first is a working hydrant within 1000' of the project site. This hydrant will be tested and evaluated during Design Development. The second is a dry hydrant in the river. The location of this

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hydrant will be coordinated with CBFPD. The site's target fire flow is 1000 gpm, the maximum required by NFPA 1142. This water supply will satisfy the hose stream demand from NFPA 13.

Fire sprinkler demand will be met using a single water supply for both HQ and SAR. A storage cistern of approximately 24,000 gallons will be buried near the HQ building. A room will be provided at the HQ building for a fire pump and sprinkler riser. Using a vertical turbine pump with a vault under the pump room, pressure for both the HQ and SAR sprinkler system will be provided. A zone will be provided for the SAR building. Note that sprinkler piping cannot be buried without access, so a pipe chase will be required between HQ and SAR to serve the SAR sprinkler zone. The pump will be powered in accordance with NFPA 20. Refer to Electrical and Civil for more information.

Fire Alarm

The Headquarters Building will be outfitted with a fire alarm system consisting of the following:

- Addressable fire alarm control panel (FACP)
- Occupant notification through horns and strobes in accordance with NFPA 72 in common use areas
- Combination smoke/CO detectors with low frequency sounder bases in residential quarters
- Smoke detector at the FACP
- Manual pull station at FACP
- Sprinkler system supervision through waterflow and tamper switches
- Weatherproof horn/strobe on the exterior of the building at 10' above finished grade at the fire department connection
- HVAC Interface for shutdown of fans over 2000 cfm
- LCD Annunciator at front entry

The fire alarm systems for the two buildings on site (Headquarters and Search and Rescue) will be networked together for the purposes of annunciation and monitoring. The network will require a single conduit between the buildings with a fiber or cable connection between the two fire alarm control panels.

Emergency Responder Radio Coverage

This project requires Emergency Responder Radio Coverage (ERRC). Testing shall be completed after initial building construction to determine functionality of emergency responder radios. If testing fails, an ERRC system will be installed. This system shall meet the requirements outlined in Section 510 of the 2021 IFC and shall be tested in accordance with Crested Butte Fire Protection District requirements.

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11. Project Team

Owner: **Crested Butte Fire Protection District (CBFPD)**
Sean Caffrey, Chief Executive Officer & Commissioner
306 Maroon Ave.
Crested Butte, CO 81224
970.349.5333

Owner Representative **Goulding Development Advisors, LLC**
Todd Goulding
P.O. Box 2308
Edwards, CO 81632
970.331.1732

Architect of Record: **BG+co.**
Peter Icenogle, AIA
622 Rood Avenue
Grand Junction, CO 81501
970-242-1058

Design Architect: **TCA Architecture and Planning**
Brian Harris
6211 Roosevelt Way, Northeast
Seattle, Wa 98775
206.522.3830

Civil Engineering/Land Surveyor: **SGM**
Jerry Burgess
103 West Tomichi Ave, Suite A
Gunnison, Co 81230
970.641.5355

Landscape Architecture: **Sprout Studio, Inc.**
Margaret Loperfido
523 Riverland Drive, Unit 3b / P.O. Box 4184
Crested Butte, Co 81224
970.349.8959

Structural Engineer: **Martin / Martin**
Sean Molloy
0101 Fawcett Road, Suite 260
Avon, Co 81620
970.445.2470

Mechanical and Electrical Engineering: **Bighorn Consulting Engineers**
Shawn Brill
386 Indian Road
Grand Junction, CO 81501
970-241-8709

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Construction Management:

FCI Constructors, Inc.
Brian Young
P.O. Box 1767 (81502)
3070 I-70 B, Bldg. A
Grand Junction, CO 81504
970.434.9093

Specialty Consultants Provided By Owner

Geotechnical Analysis

Cesare, Inc. d/b/a CMT Technical Services - Colorado
Darin R. Duran, P.E.
116 Halleys Ave
Poncha Springs, CO 81242
Phone: 303-220-0300

Entitlements

Mauriello Planning Group, LLC
Dominic F. Mauriello, AICP Brian Young
PO Box 4777
2205 Eagle Ranch Road
Eagle, Colorado 81631
970-376-3318 cell

Aquatic Resource Analysis

Bio-Environs, LLC
Tim Lapello
970.641.8749

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12. Architectural Program

Refer to Appendix A for the current architectural program including a comparison of the initial program against the current Schematic Design spaces.

CBFPD HQ ROOM SCHEDULE		
NUMBER	NAME	AREA
FIN FLR 1		
-	CORRIDOR	803 SF
-	CORRIDOR	380 SF
-	ELEVATOR	49 SF
-	CORRIDOR	492 SF
100	VESTIBULE	74 SF
101	LOBBY	492 SF
102	PUBLIC RR	52 SF
103	PUBLIC RR	52 SF
104	TRAINING ROOM	1,358 SF
105	TABLE STORAGE	70 SF
106	DOMESTIC WATER	300 SF
107	FIRE PUMP	166 SF
108	RECEPTION	102 SF
109	FP OFFICE	180 SF
110	FIRE MARSHAL OFFICE	120 SF
111	TRAINING OFFICE	168 SF
112	CAPT OFFICE	120 SF
113	IT/ELEC	102 SF
114	CREW WORKSPACE	256 SF
115	ADA RR	70 SF
116	FITNESS ROOM	868 SF
117	STORAGE	88 SF
118	JAN	31 SF
119	SLEEPING RM 1	78 SF
120	SLEEPING RM 2	78 SF
121	SLEEPING RM 3	78 SF
122	SLEEPING RM 4	78 SF
123	SLEEPING RM 5	78 SF
124	SLEEPING RM 6	80 SF
125	LAUNDRY	86 SF
126	MED STOR	94 SF

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127	ADA SHOWER	94 SF
128	SHOWER	86 SF
129	DECON	120 SF
130	CLEANING	138 SF
131	TURNOUT GEAR	615 SF
132	ADA SHOWER	94 SF
133	DECON SHOWER	64 SF
134	WATER	78 SF
135	APPARATUS BAYS	6548 SF
136	MAINT OFFICE	136 SF
137	PARTS	105 SF
138	SHOP	135 SF
138	SHOP	135 SF
139	WASH ALCOVE	83 SF
140	HOSE STORAGE	213 SF
141	COMPRESSOR	59 SF
142	SCBA	167 SF
143	ELECTRICAL	104 SF
FIN FLR 2		
-	SEATING	128 SF
-	CORRIDOR	144 SF
200	KITCHEN	563 SF
201	DAYROOM	738 SF
202	ADA RR	59 SF
203	RESTROOM	52 SF
204	HR OFFICE	168 SF
205	EXEC OFFICE	174 SF
206	CHIEF OFFICE	174 SF
207	DISTRICT MGR OFFICE	174 SF
208	CONF ROOM	399 SF
209	COPY	137 SF
210	RECORD STORAGE	125 SF
211	ADMIN OFFICE	147 SF
212	SEASONAL STORAGE	198 SF
212	JAN	26 SF
213	TRAINING	409 SF
214	UNIFORM STORAGE	202 SF
215	MECHANICAL	183 SF

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13. List of Drawings

Refer to Appendix B for the following drawing sheets from the Schematic Design Package:

G0-1 Title Sheet
G1-1 Life Safety Plan
AS-1 Architectural Site Plan
A1-1 Floor Plan – Level 1
A1-2 Floor Plan – Level 2
A1-3 Roof Plan
A2-1 Exterior Elevations

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000107	Seals Page
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012100	Allowances
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012501	SUBSTITUTION REQUEST FORM
013000	Administrative Requirements
014000	Quality Requirements
014216	Definitions
014219	Reference Standards
015500	Vehicular Access and Parking
015713	Temporary Erosion and Sediment Control
016000	Product Requirements
017000	Execution and Closeout Requirements
017419	Construction Waste Management and Disposal
017610	Temporary Protective Coverings
017800	Closeout Submittals
017900	Demonstration and Training

DIVISION 02 - EXISTING CONDITIONS

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DIVISION 03 - CONCRETE

030516	Underslab Vapor Barrier - Stego
033000	Cast-in-Place Concrete
033511	Concrete Floor Finishes

DIVISION 04 - MASONRY

040511	Mortar and Masonry Grout
042000	Unit Masonry
044313	Stone Masonry Veneer

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051200	Structural Steel Framing
052100	Steel Joist Framing
053100	Steel Decking
054000	Cold-Formed Metal Framing
055000	Metal Fabrications
055100	Metal Stairs
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DIVISION 06 - WOOD, PLASTICS, AND COMPOSITES

061000	Rough Carpentry
062000	Finish Carpentry
068316	Fiberglass Reinforced Paneling

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071900	Water Repellents
072100	Thermal Insulation
072500	Weather Barriers
074643	Composition Siding
075323	Ethylene-Propylene-Diene-Monomer Roofing - Versico
076200	Sheet Metal Flashing and Trim
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DIVISION 08 - OPENINGS

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081416	Flush Wood Doors
083100	Access Doors and Panels
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099113	Exterior Painting
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099300	Staining and Transparent Finishing

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DIVISION 10 - SPECIALTIES

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104400	Fire Protection Specialties
107500	Flagpoles

DIVISION 11 - EQUIPMENT

114000	Foodservice Equipment
--------	-----------------------

DIVISION 12 - FURNISHINGS

122400	Window Shades - MechoShade Systems
123200	Manufactured Wood Casework
123600	Countertops
129313	Bicycle Racks

DIVISION 14 - CONVEYING EQUIPMENT

142400	Hydraulic Elevators
--------	---------------------

DIVISION 33 – UTILITIES

33 16 00	Storage Tanks
33 21 00	Water Supply Wells

**CRESTED BUTTE FIRE PROTECTION DISTRICT
NEW EMERGENCY SERVICES CAMPUS**

CR 317 and Slate River, Gunnison County, CO (North Crested Butte)

Schematic Design Package 01 – Central Administration, Fire, and Emergency Services (HQ)

APPENDIX A

VICINITY MAP



NEW EMERGENCY CENTER CAMPUS CRESTED BUTTE FIRE PROTECTION DISTRICT CENTRAL ADMIN, FIRE, AND EMERGENCY SERVICES (HQ)

CR 317 AND SLATE RIVER, GUNNISON COUNTY, CO (NORTH CRESTED BUTTE)

BG+co. PROJECT # 22033_2

02/08/2023 90% SCHEMATIC DESIGN
06/14/2023 100% SCHEMATIC DESIGN

100% SCHEMATIC DESIGN ARCHITECTURAL

PROJECT DESIGN TEAM

ARCHITECTURE / INTERIOR DESIGN:



Architecture
Interior Design
Project Management
BLYTHE GROUP + co.



ARCHITECTURE + PLANNING + DESIGN
6211 ROOSEVELT WAY NE
SEATTLE, WA 98115
(206) 322-3630

in association with:



103 W TOMICHI AVE, SUITE A
GUNNISON, CO 81220
(970) 841-5355

LANDSCAPE ARCHITECTURE:



PO BOX 4184
CRESTED BUTTE, CO 81224
(970) 349-8959

STRUCTURAL ENGINEERING:



77 METCALF ROAD, SUITE 301
AVON, CO 81620
(970) 928-6007

MECHANICAL, PLUMBING AND ELECTRICAL ENGINEERING:



388 Indian Road
Gunnison, CO 81220
Phone (970) 241-6700
Fax (970) 241-6700
www.elghorn.com



Architecture
Interior Design
Project Management
BLYTHE GROUP + co.



ARCHITECTURE + PLANNING + DESIGN



CRESTED BUTTE FIRE PROTECTION DISTRICT HQ

CR 317 AND SLATE RIVER
GUNNISON COUNTY, CO

TITLE SHEET

SCHEMATIC DESIGN

REVISIONS DATE

ACCEPTANCE

I have received and reviewed the attached 100% Schematic Design package from the BG + co. I have found it to be acceptable and to meet the requirements of this project phase. I hereby authorize the BG + co. and their team of Consultants to proceed to finalize the Schematic Design phase of the project.

DATE: 06/14/2023

This document is intended to create awareness of the impact to both design and construction schedules and design fees should major design changes occur after this phase.

Approved to proceed to finalize the Schematic Design Phase:

Owner / Owner's Representative _____ Date _____

MATERIALS LEGEND

- EXISTING CONSTRUCTION
- ASPHALT PAVING (SECTION)
- EARTH (PLAN & SECTION)
- GRANULAR FILL (SECTION)
- STRUCTURAL FILL (SECTION)
- SAND (SECTION)
- CONCRETE (PLAN & SECTION)
- BRICK VENEER (SECTION)
- CONCRETE MASONRY UNITS (CMU) (PLAN & SECTION)
- PRECAST CONCRETE (SECTION)
- MORTAR NET (SECTION)
- STEEL (SECTION)
- WOOD BLOCKING (CONTINUOUS) (SECTION)
- WOOD BLOCKING (INTERMITTENT) (SECTION)
- WOOD SHEATHING
- WOOD FINISH (SECTION & ELEVATION)
- INSULATION (FIBROUS) (PLAN & SECTION)
- INSULATION (RIGID) (PLAN & SECTION)
- STUCCO (SECTION)
- STUCCO (ELEVATION)
- GYPSUM WALL BOARD (GWB) (REFLECTED CEILING PLAN)

NOTE: SOME MATERIALS SHOWN MAY NOT BE USED ON THIS PROJECT.

SYMBOLS LEGEND

- ROOM TAG: ROOM NAME: A202A
- DOOR TAG: 1220A
- ASSEMBLY TAG: 27
- NEW COLUMN GRID LINE: 0
- EXISTING COLUMN GRIDLINE: 0
- KEY NOTE: ?
- WINDOW / FRAME TYPE: #
- DRAWING REFERENCE: A1-1 1/8" = 1'-0"
- BUILDING SECTION INDICATOR: 00 SIM
- WALL SECTION INDICATOR: 00 SIM
- SIGN TAG: ID Type
- ELEVATION INDICATOR: Name Elevation
- DIMENSION LINES: 1"
- NEW CONTOUR: ####
- EXISTING CONTOUR: ####
- HIDDEN LINE:
- OVERHEAD OBJECT:
- CENTER LINE:
- MATCH LINE:
- LIMITS OF CONSTRUCTION:
- DEMOLISHED ITEMS:

ABBREVIATIONS

ADD-X	ADDENDUM NO. X	HORIZ	HORIZONTAL	UNO	UNLESS NOTED OTHERWISE
AFF	ABOVE FINISH FLOOR	HVAC	HEATING VENTILATING & AIR	VCT	VINYL COMPOSITION TILE
AHU	AIR HANDLING UNIT	COND	CONDITIONING	VERT	VERTICAL
AL	ALUMINUM	IBC	INTERNATIONAL BUILDING CODE	VEY	VERIFY
ALT	ALTERNATE	ID	INSIDE DIAMETER	VIF	VERIFY IN FIELD
ALT-X	ALTERNATE NO. X	INCL	INCLUDED	VWC	VINYL WALL COVERING
AM	ACOUSTIC MATERIAL	INSUL	INSULATION	W	WIDE / WIDTH
AM-X	ACOUSTIC MATERIAL TYPE X	INT	INTERIOR	WI	WITH
ARCH	ARCHITECT / ARCHITECTURAL	JT	JOINT	W/O	WITHOUT
ATTEN	ATTENUATION	L	LONG / LENGTH	WD	WOOD
AVE	AVENUE	LAV	LAVATORY	WOM	WALK OFF MAT
AVG	AVERAGE	LLH	LONG LEG HORIZONTAL		
B.O.	BOTTOM OF	LLV	LONG LEG VERTICAL		
BIT	BITUMINOUS	MAS	MASONRY		
BLDG	BUILDING	MATL	MATERIAL		
BLKG	BLOCKING	MAX	MAXIMUM		
C/L	CENTER LINE	MECH	MECHANICAL		
CEM	CEMENT / CEMENTITIOUS	MFR	MANUFACTURER		
CJ	CONTROL JOINT	MIN	MINIMUM		
CLG	CEILING	MISC	MISCELLANEOUS		
CLR	CLEAR	MO	MASONRY OPENING		
CMU	CONCRETE MASONRY UNIT(S)	MTD	MOUNTED		
CONC	CONCRETE	MTL	METAL		
CONT	CONTINUOUS	NA	NOT APPLICABLE		
CPT	CARPET	NFPA	NATIONAL FIRE PROTECTION ASSOCIATION		
CT	CERAMIC TILE	NIC	NOT IN CONTRACT		
CTR	CENTER	NO.	NUMBER		
D	DEEP / DEPTH	NRC	NOISE REDUCTION COEFFICIENT		
DBL	DOUBLE	NTS	NOT TO SCALE		
DEMO	DEMOLISH / DEMOLITION	OC	ON CENTER		
DEPT	DEPARTMENT	OD	OUTSIDE DIAMETER		
DF	DRINKING FOUNTAIN	OPNG	OPENING		
DIA / Ø	DIAMETER	OPP	OPPOSITE		
DIMS	DIMENSION(S)	PERF	PERFORATED		
DN	DOWN	PLAM	PLASTIC LAMINATE		
DTL	DETAIL	PLBG	PLUMBING		
DW	DISHWASHER	PLYWD	PLYWOOD		
DWG	DRAWING	PNT	PAINT		
EA	EACH	PREFAB	PREFABRICATED		
EJ	EXPANSION JOINT	PREFIN	PREFINISHED		
ELEV	ELEVATION	PT	PORCELAIN TILE		
ELEC	ELECTRICAL	QT	QUARRY TILE		
EQ	EQUAL	QTY	QUANTITY		
EQUIP	EQUIPMENT	R	RADIUS		
EWV	ELECTRIC WATER COOLER	RB	RUBBER BASE		
EXIST	EXISTING	RCP	REFLECTED CEILING PLAN		
EXT	EXTERIOR	REF	REFERENCE / REFER TO		
F.O.	FACE OF	REFR	REFRIGERATOR		
FAB	FLUID APPLIED AIR BARRIER	REIN	REINFORCE (D) (ING)		
FAAP	FIRE ALARM ANNUNCIATOR PANEL	REDD	REQUIRED		
FACP	FIRE ALARM CONTROL PANEL	RES	RESILIENT		
FBO	FURNISHED BY OWNER	RO	ROUGH OPENING		
FD	FLOOR DRAIN	ROW	RIGHT OF WAY		
FDN	FOUNDATION	RTU	ROOF TOP UNIT		
FE	FIRE EXTINGUISHER	SC	SEALED CONCRETE		
FEC	FIRE EXTINGUISHER CABINET	SCHED	SCHEDULE (D)		
FF	FINISHED FLOOR	SECT	SECTION		
FFIN	FACTORY FINISH	SF	SQUARE FEET		
FRP	FIBERGLASS REINFORCED PLASTIC	SFT	STORE FRONT		
FTG	FOOTING	SIM	SIMILAR		
FURN	FURNISHING / FURNITURE	SPEC	SPECIFICATION		
GA	GAGE	SQ	SQUARE		
GALV	GALVANIZED	SS	STAINLESS STEEL		
GL	GLAZING	SSM	SOLID SURFACE MATERIAL		
GLX	GLAZING TYPE X	STL	STEEL		
GWB	GYPSUM WALL BOARD	STN	STAIN		
H	HIGH / HEIGHT	STRUCT	STRUCTURAL		
HC	HANDICAPPED	SV	SHEET VINYL		
HDW	HARDWARE	T&G	TONGUE & GROOVE		
HDWD	HARDWOOD	T.O.	TOP OF		
HM	HOLLOW METAL	TEMP	TEMPORARY		
		TYP	TYPICAL		

INDEX TO DRAWINGS

- GENERAL INFORMATION SHEETS
- G0-1 TITLE SHEET
- G1-1 LIFE SAFETY PLAN
- ARCHITECTURAL SHEETS
- AS-1 ARCHITECTURAL SITE PLAN
- A1-1 FLOOR PLAN - LEVEL 1
- A1-2 FLOOR PLAN - LEVEL 2
- A1-3 ROOF PLAN
- A2-1 EXTERIOR ELEVATIONS



CRESTED BUTTE FIRE PROTECTION DISTRICT HQ

CR 317 AND SLATE RIVER GUNNISON COUNTY, CO

LIFE SAFETY PLAN

SCHEMATIC DESIGN

REVISIONS DATE

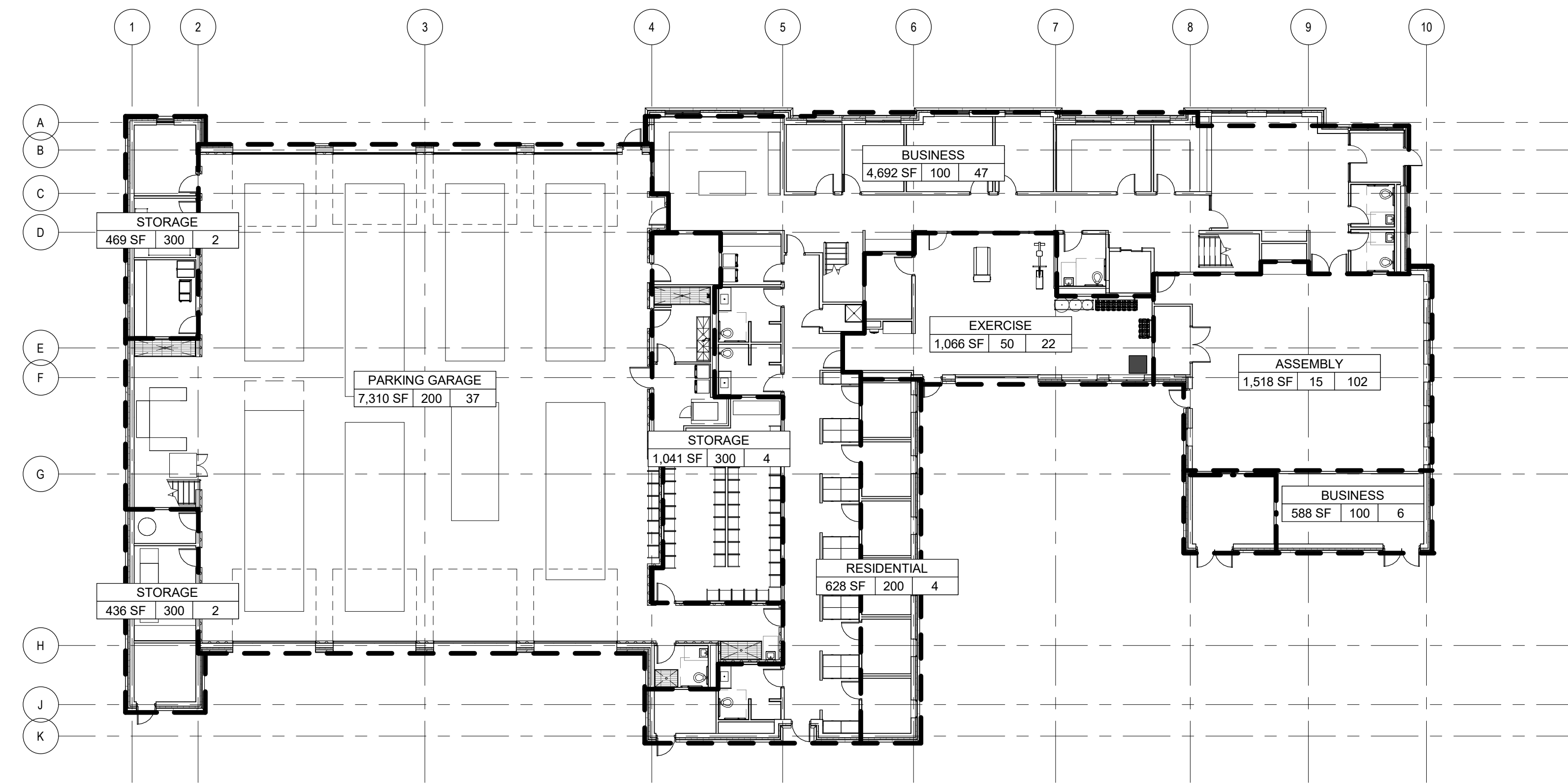
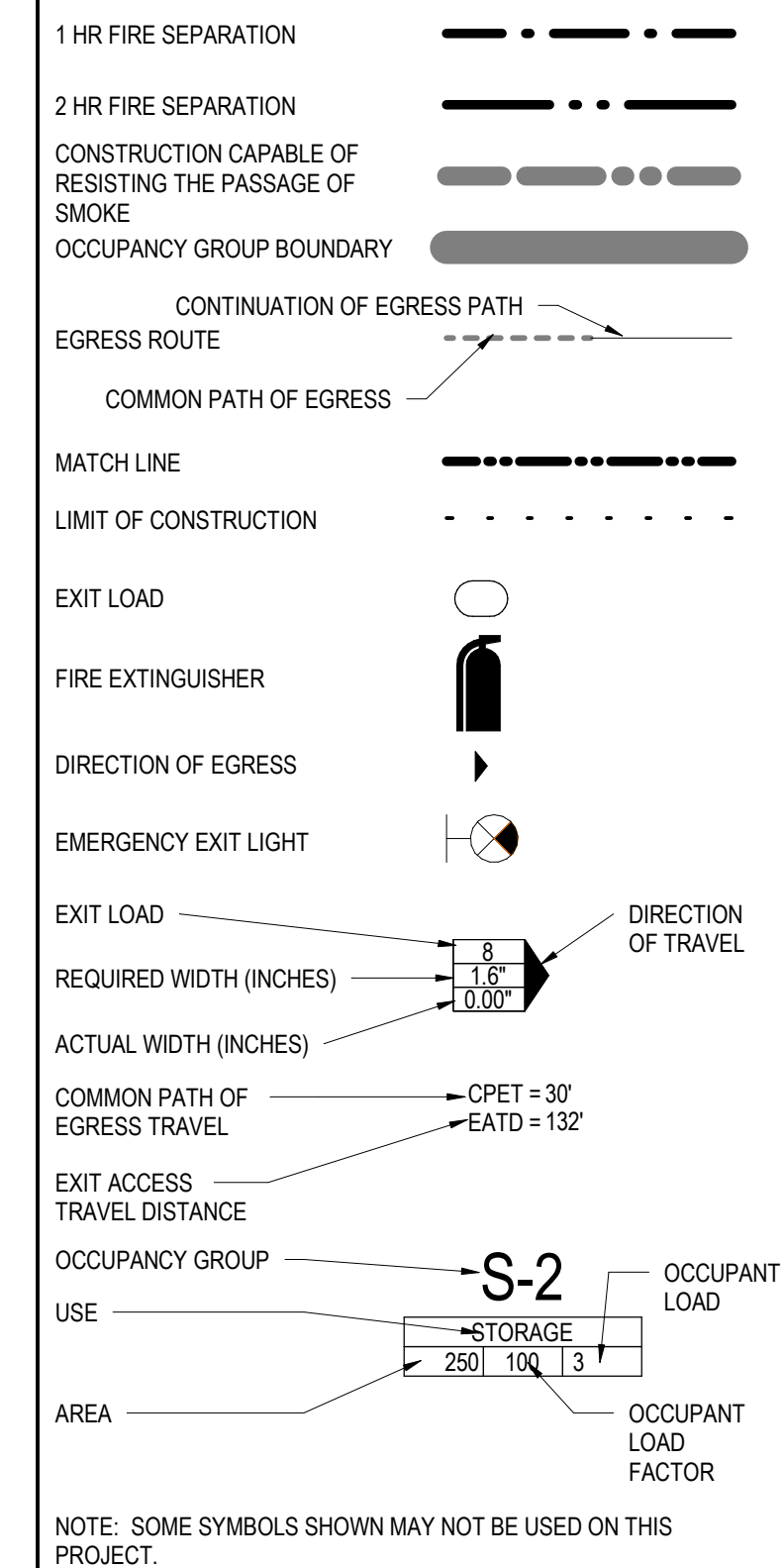
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PROJECT #: 22033_2

SHEET #:

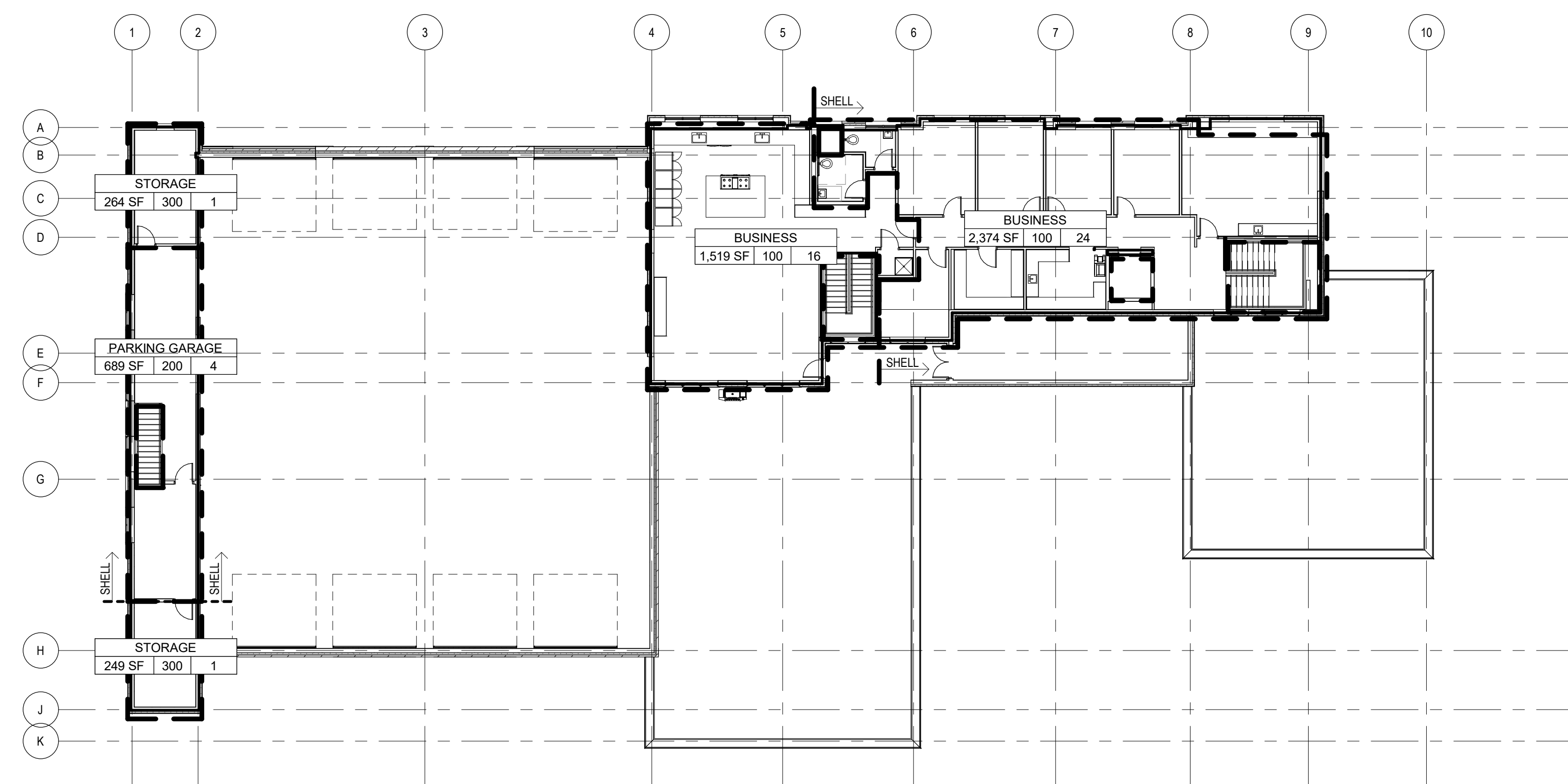
G1-1

LIFE SAFETY PLAN LEGEND



1 FIN FLR 1
G1-1 1/16" = 1'-0"

OCCUPANT LOAD					
OCCUPANCY TYPE	OCCUPANCY GROUP	AREA	OLF	OCCUPANT LOAD	COMMENTS
FIN FLR 1					
	BUSINESS	588 SF	100	6	
		588 SF			
B	BUSINESS	4,692 SF	100	47	FINISH
R-3	RESIDENTIAL	628 SF	200	4	FINISH
A-3	ASSEMBLY	1,518 SF	15	102	FINISH
B	EXERCISE	1,066 SF	50	22	FINISH
S-1	STORAGE	1,041 SF	300	4	FINISH
S-2	PARKING GARAGE	7,310 SF	200	37	FINISH
S-1	STORAGE	469 SF	300	2	FINISH
S-1	STORAGE	436 SF	300	2	FINISH
		17,160 SF			
FINISH					
FIN FLR 1					
B	BUSINESS	1,519 SF	100	16	FINISH
S-1	STORAGE	249 SF	300	1	FINISH
		1,788 SF			
FINISH					
S-2	PARKING GARAGE	689 SF	200	4	SHELL
S-1	STORAGE	264 SF	300	1	SHELL
B	BUSINESS	2,374 SF	100	24	SHELL
		3,327 SF			
SHELL					
FIN FLR 2					
		5,095 SF			
Grand total					
		22,843 SF			



2 FIN FLR 2
G1-1 1/16" = 1'-0"

BUILDING CODE ANALYSIS

CODE JURISDICTION:
2018 IBC

OCCUPANCY:
A: B: R-3: S-1: S-2

OCCUPANT LOADS:
A=102; B=109; R-3=4; S-1=10; S-2=41

CONSTRUCTION TYPE:
CONSTRUCTION TYPICAL OF TYPE VB.

AUTOMATIC SPRINKLER SYSTEM:
WILL BE PROVIDED

BUILDING AREA:
ACTUAL TOTAL BUILDING: 22,843 SF
ALLOWED (IBC 506.1): 27,000 SF

BUILDING HEIGHT:
ACTUAL HEIGHT: 38'-0" AFF, 2 STORIES
ALLOWABLE HEIGHT: 3 STORIES (IBC 504); ___ STORIES PER GJ 2&D

FIRE RESISTANCE RATING REQUIREMENTS:
(FOR TYPE VB CONSTRUCTION) (IBC TABLE 601)
STRUCTURAL FRAME: 0 HRS
BEARING WALLS, EXTERIOR: 0 HRS
BEARING WALLS, INTERIOR: 0 HRS
NON-BEARING WALLS, EXTERIOR: 0 HRS*
NON-BEARING WALLS, INTERIOR: 0 HRS
FLOOR CONSTRUCTION: 0 HRS
ROOF CONSTRUCTION: 0 HRS

EXIT TRAVEL DISTANCE:
FOR B OCCUPANCY:
COMMON PATH OF EGRESS TRAVEL: 100 FT WITH SPRINKLER SYSTEM (IBC TABLE 1006.2.1)
EXIT ACCESS TRAVEL DISTANCE: 300 FT WITH SPRINKLER SYSTEM (IBC TABLE 1017.2)

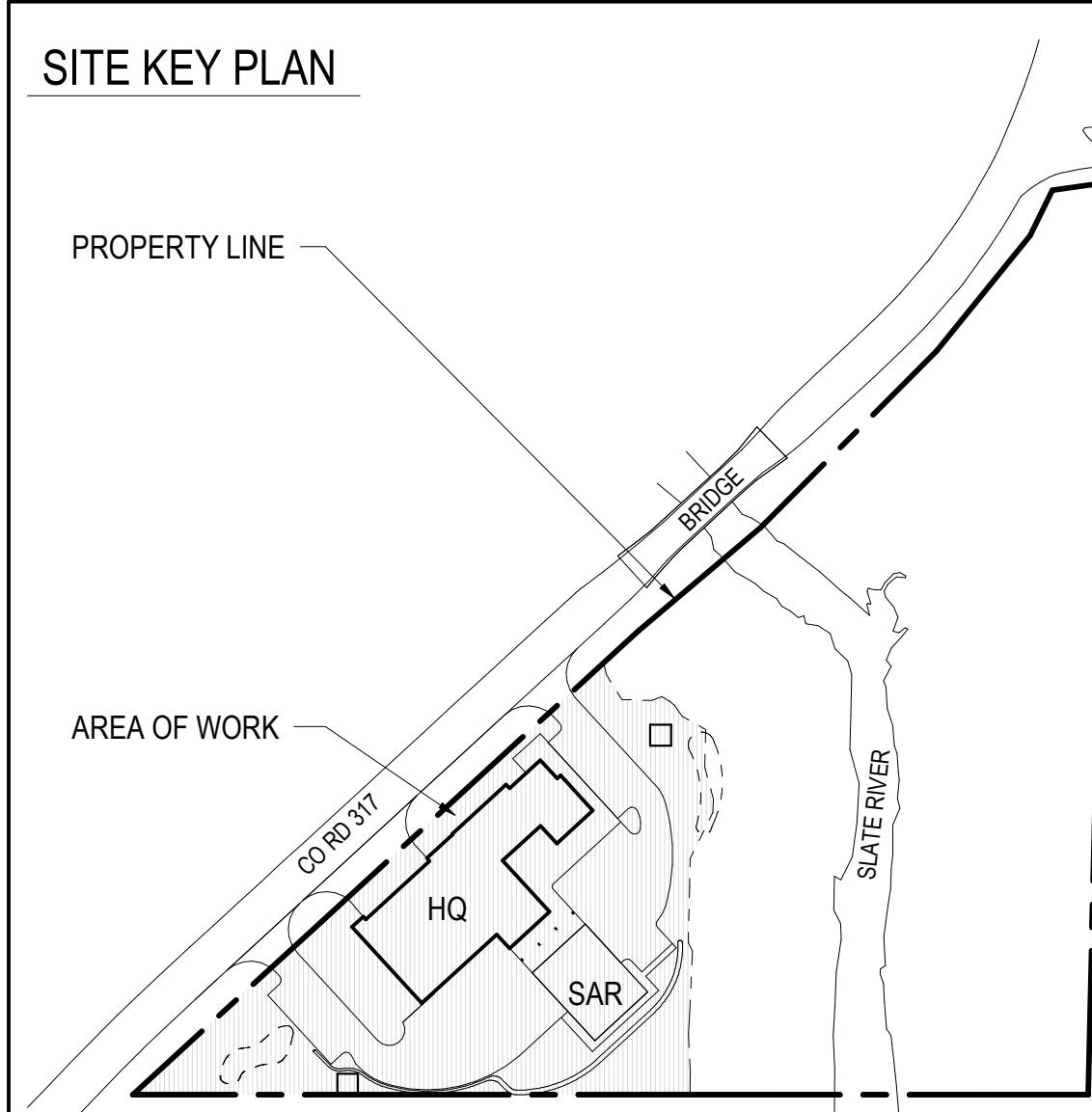
FOR R-3 OCCUPANCY:
COMMON PATH OF EGRESS TRAVEL: 125 FT WITH SPRINKLER SYSTEM (IBC TABLE 1006.2.1)
EXIT ACCESS TRAVEL DISTANCE: 250 FT WITH SPRINKLER SYSTEM (IBC TABLE 1017.2)

FOR A OCCUPANCY:
COMMON PATH OF EGRESS TRAVEL: 75 FT WITH SPRINKLER SYSTEM (IBC TABLE 1006.2.1)
EXIT ACCESS TRAVEL DISTANCE: 250 FT WITH SPRINKLER SYSTEM (IBC TABLE 1017.2)

FOR S-1, S-2 OCCUPANCY:
COMMON PATH OF EGRESS TRAVEL: 100 FT WITH SPRINKLER SYSTEM (IBC TABLE 1006.2.1)
EXIT ACCESS TRAVEL DISTANCE: 400 FT WITH SPRINKLER SYSTEM (IBC TABLE 1017.2)

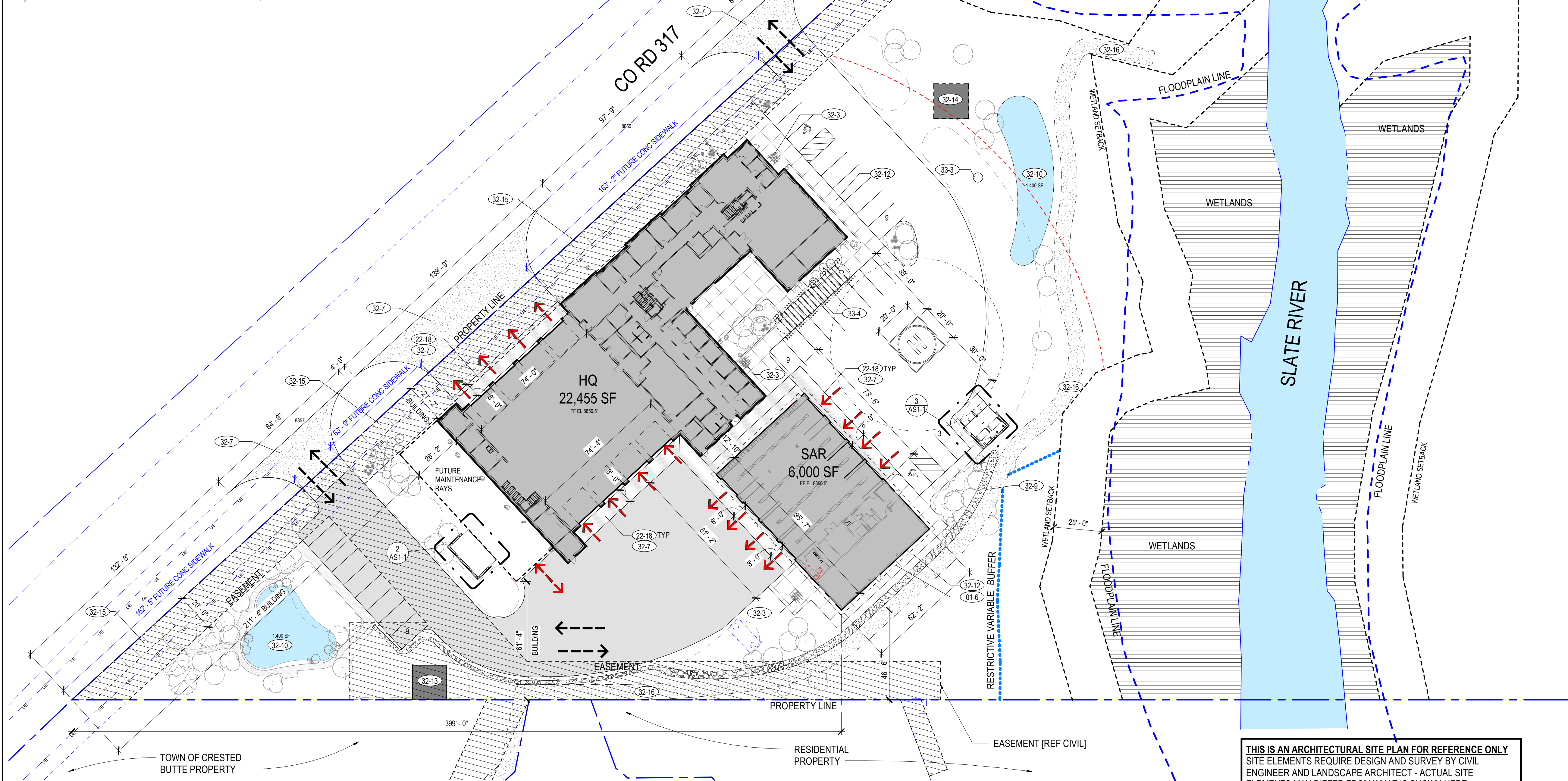
PLUMBING FIXTURE COUNT:

PROV	OCC LD	MEN	WOMEN	WC'S		LAV		DF		SS
				REQD	PROV	REQD	PROV	REQD	PROV	
U				-/-	-/-	-/-	-/-	-/-	-/-	-/-
U				-/-	-/-	-/-	-/-	-/-	-/-	-/-
U				-/-	-/-	-/-	-/-	-/-	-/-	-/-
TOTALS M / W										
UNISEX										
TOTAL FOR BUILDING										

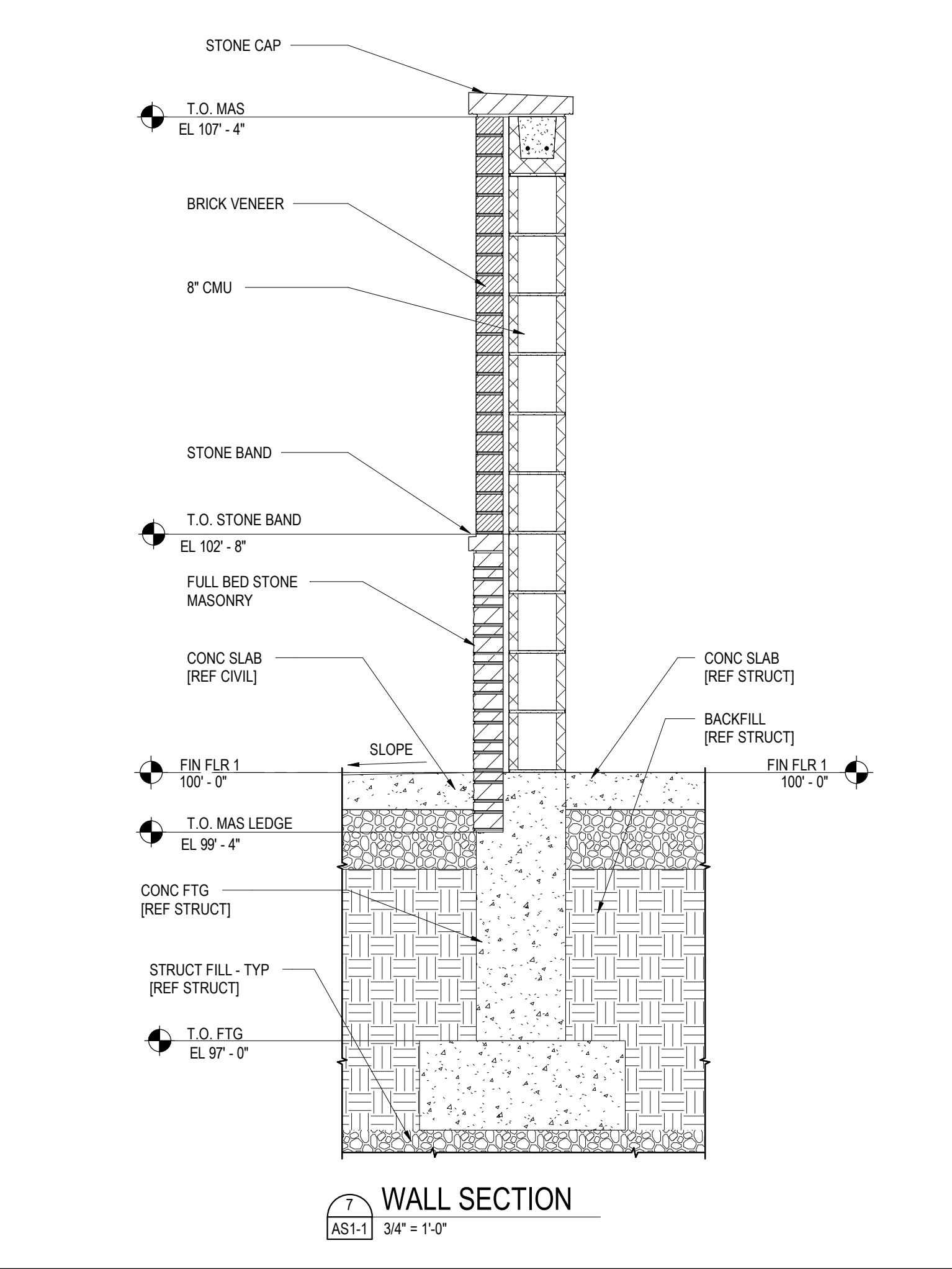
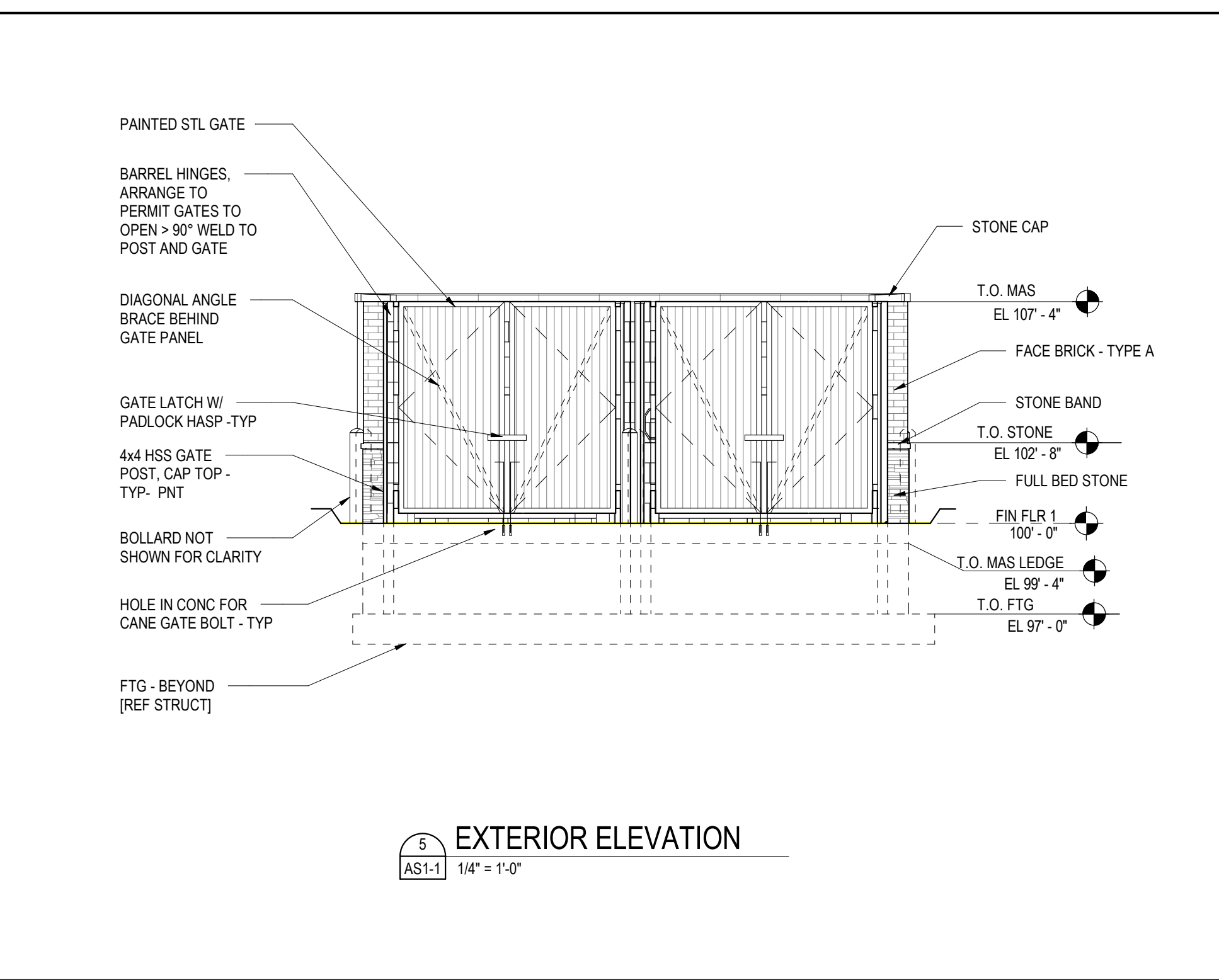
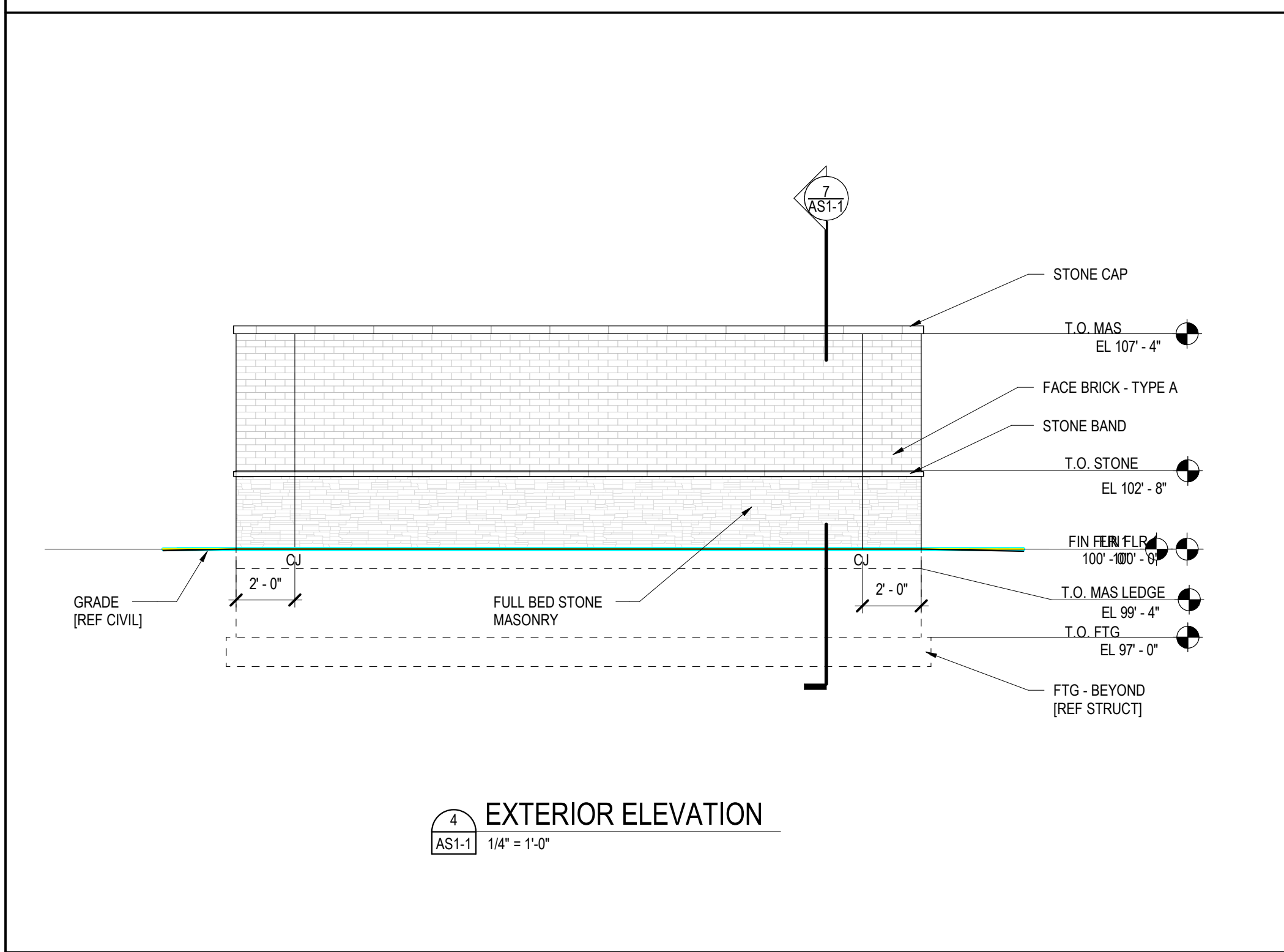
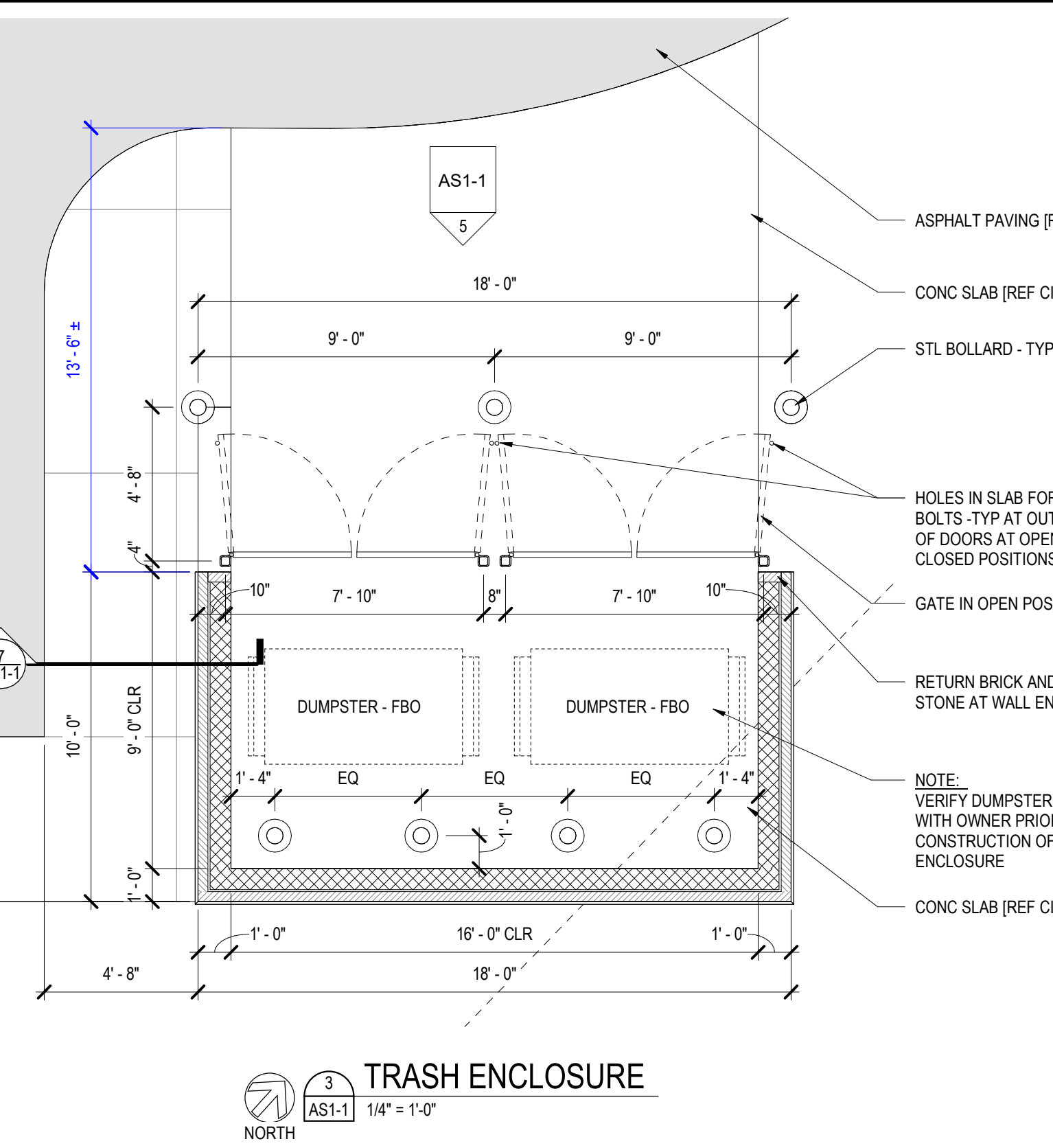
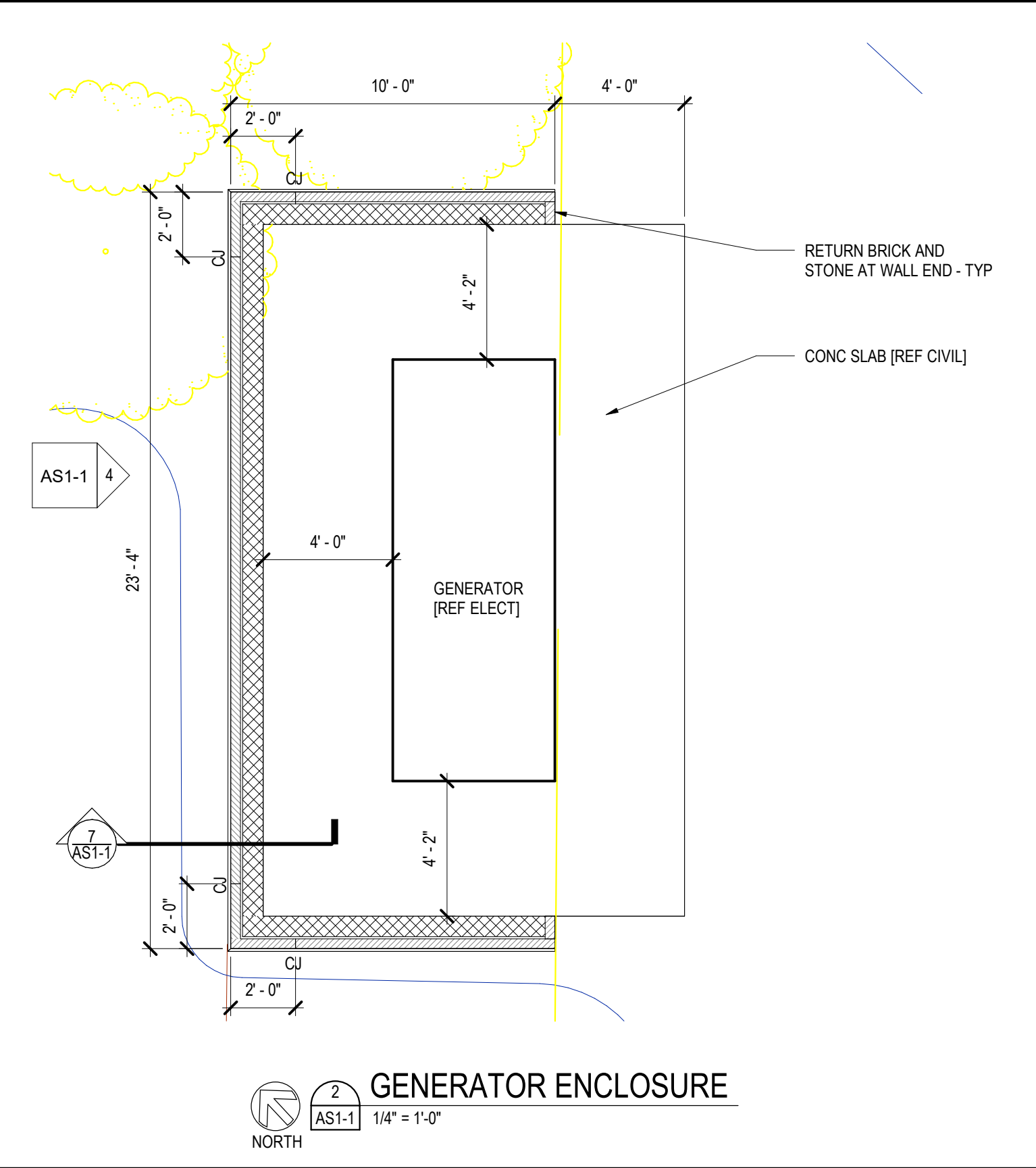


KEYNOTE LEGEND

01-6	DASHED LINES OF ROOF ABOVE
22-18	HYDRONIC HEAT LOCATED IN CONCRETE APRON AT ALL OVERHEAD DOORS (REF PLBG)
32-3	BIKE RACK (REF LANDSCAPE)
32-7	CONCRETE SLAB (REF CIVIL)
32-9	STONE RETENTION WALL (REF CIVIL)
32-10	DETENTION POND (REF CIVIL)
32-12	CONCRETE SIDEWALK (REF CIVIL)
32-13	LIFT STATION (REF CIVIL)
32-14	FUTURE TRAINING TOWER
32-15	FUTURE CONCRETE SIDEWALK (REF CIVIL)
32-16	FUTURE GRAVEL TRAIL - PERFORM ROUGH GRADING ONLY - SHOWN FOR REFERENCE ONLY (REF CIVIL)
33-3	WELL AND PUMP - LOCATION SHOWN FOR REFERENCE ONLY - FINAL LOCATION TO BE DETERMINED BY OWNERS HYDROLOGIST (REF MFR, CIVIL, AND PLBG)
33-4	BELOW GRADE FIBERGLASS WATER TANK (REF CIVIL AND PLBG)



THIS IS AN ARCHITECTURAL SITE PLAN FOR REFERENCE ONLY
 SITE ELEMENTS REQUIRE DESIGN AND SURVEY BY CIVIL ENGINEER AND LANDSCAPE ARCHITECT - ACTUAL SITE ELEMENTS MAY DIFFER FROM WHAT IS SHOWN HERE



BG+ co.
 Architecture
 Interior Design
 Project Management
 BLYTHE GROUP + co.

T C A
 ARCHITECTURE + PLANNING + DESIGN

CRESTED BUTTE FIRE PROTECTION DISTRICT

CR 317 AND SLATE RIVER GUNNISON COUNTY, CO (NORTH CRESTED BUTTE)

ARCHITECTURAL SITE PLAN

SCHEMATIC DESIGN

REVISIONS	DATE

DATE: 6/14/2023
 PROJECT #: 22033_1
 SHEET #:

AS1-1

Project Team:
 Print Date: 6/14/2023 2:55:31 PM



CRESTED BUTTE FIRE PROTECTION DISTRICT HQ

CR 317 AND SLATE RIVER
GUNNISON COUNTY, CO

FLOOR PLAN - LEVEL 1

SCHEMATIC DESIGN

REVISIONS DATE

DATE: 06/14/2023

PROJECT #: 22033_2

SHEET #:

A1-1

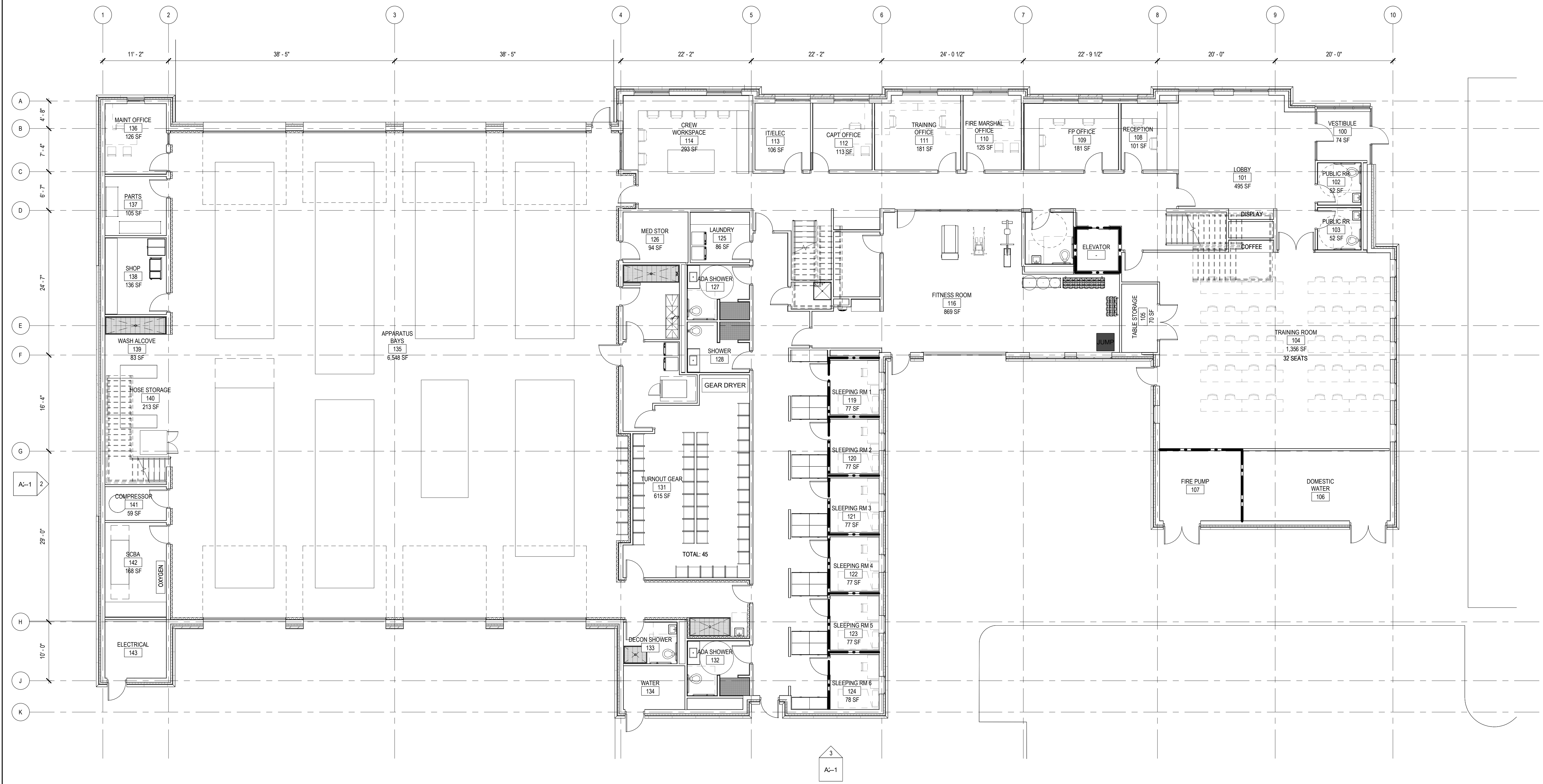
KEYNOTE LEGEND

LEGEND

- EXIST WALL
- NEW WALL
- EXIST DOOR
- NEW DOOR
- NO ARCHITECTURAL RENOVATION WORK
- NEW CMU WALL

GENERAL NOTES

1. ALL INTERIOR PARTITIONS ARE TYPE 1, UNO. REFERENCE ASSEMBLES DRAWING FOR ADDITIONAL WALL TYPES & CONSTRUCTION.
2. WALLS LOCATED ON GRID LINES ARE CENTERED ON THE GRID LINE UNO.
3. INTERIOR DIMENSIONS ARE TO F.O. STUD. UNO.
4. EXTERIOR DIMENSIONS ARE TO F.O. STUD. MASONRY, OR CONC. UNO.
5. REFERENCE FINISH DRAWINGS FOR INTERIOR FINISHES.
6. DIMENSIONS TO EXISTING WALLS ARE TO FINISH FACE, UNO.
7. ALL ITEMS ARE NEW UNLESS NOTED AS EXISTING.



FLOOR PLAN
1/8" = 1'-0"



CRESTED BUTTE FIRE PROTECTION DISTRICT HQ

CR 317 AND SLATE RIVER
GUNNISON COUNTY, CO

FLOOR PLAN - LEVEL 2

SCHEMATIC DESIGN

REVISIONS DATE:

DATE: 06/14/2023

PROJECT #: 22033_2

SHEET #:

A1-2

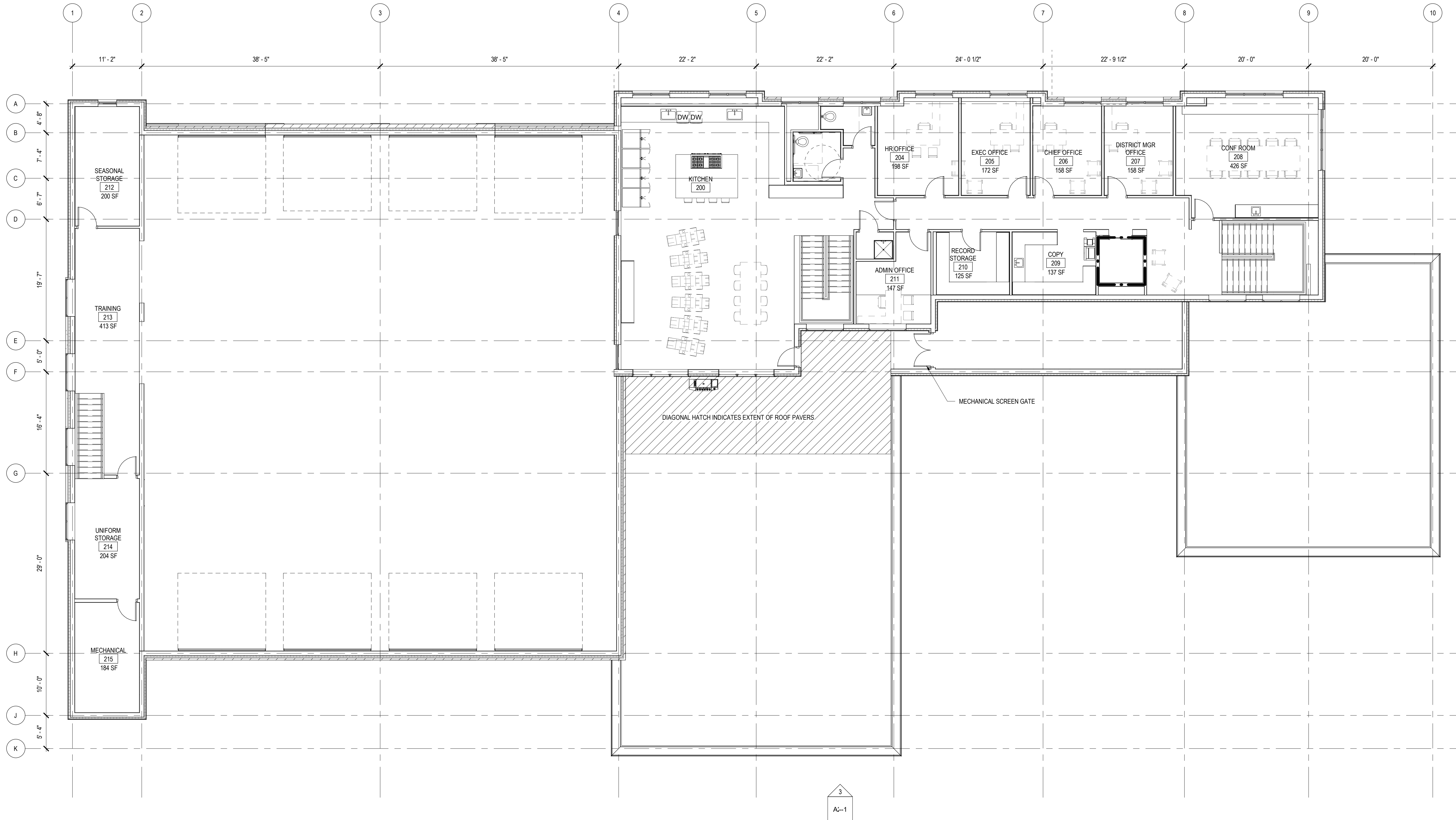
KEYNOTE LEGEND

LEGEND

- EXIST WALL
- NEW WALL
- EXIST DOOR
- NEW DOOR
- NO ARCHITECTURAL RENOVATION WORK
- NEW CMU WALL

GENERAL NOTES

1. ALL INTERIOR PARTITIONS ARE TYPE 1, UNO. REFERENCE ASSEMBLIES DRAWING FOR ADDITIONAL WALL TYPES & CONSTRUCTION.
2. WALLS LOCATED ON GRID LINES ARE CENTERED ON THE GRID LINE UNO.
3. INTERIOR DIMENSIONS ARE TO F.O. STUD, UNO.
4. EXTERIOR DIMENSIONS ARE TO F.O. STUD, MASONRY, OR CONC. UNO.
5. REFERENCE FINISH DRAWINGS FOR INTERIOR FINISHES.
6. DIMENSIONS TO EXISTING WALLS ARE TO FINISH FACE, UNO.
7. ALL ITEMS ARE NEW UNLESS NOTED AS EXISTING



1 FIN FLR 2
A1.2 1/8" = 1'-0"



CRESTED BUTTE FIRE PROTECTION DISTRICT HQ

CR 317 AND SLATE RIVER
GUNNISON COUNTY, CO

ROOF PLAN

SCHEMATIC DESIGN

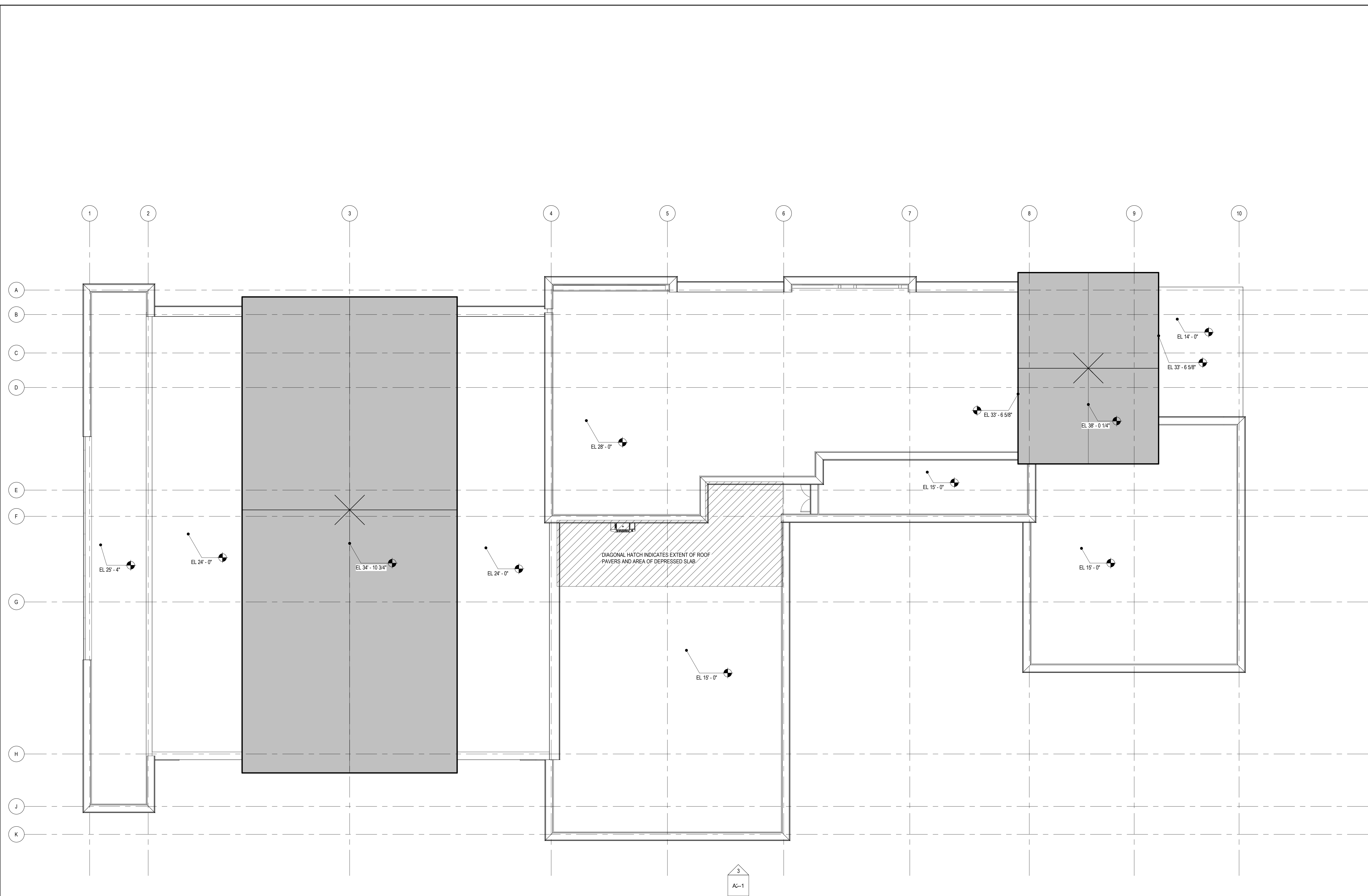
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DATE: 06/14/2023

PROJECT #: 22033_2

SHEET #:


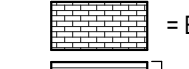
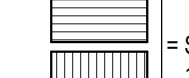
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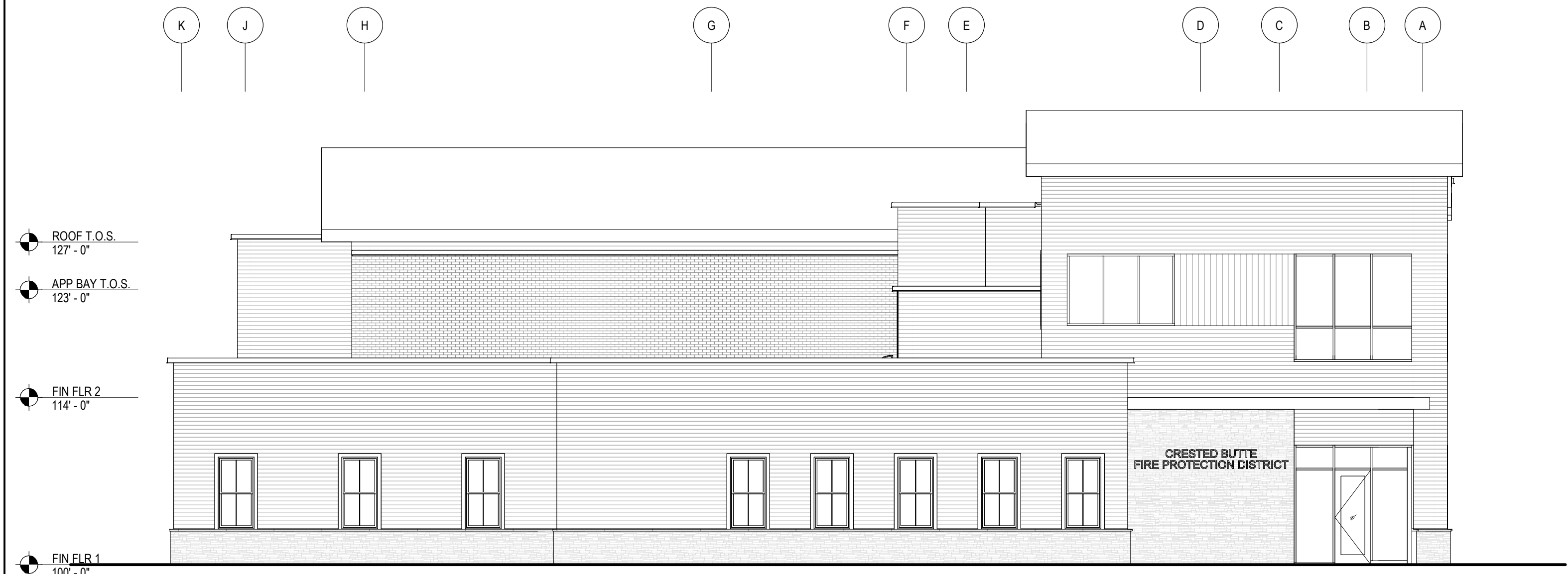


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A1-3
ROOF PLAN
1/8" = 1'-0"

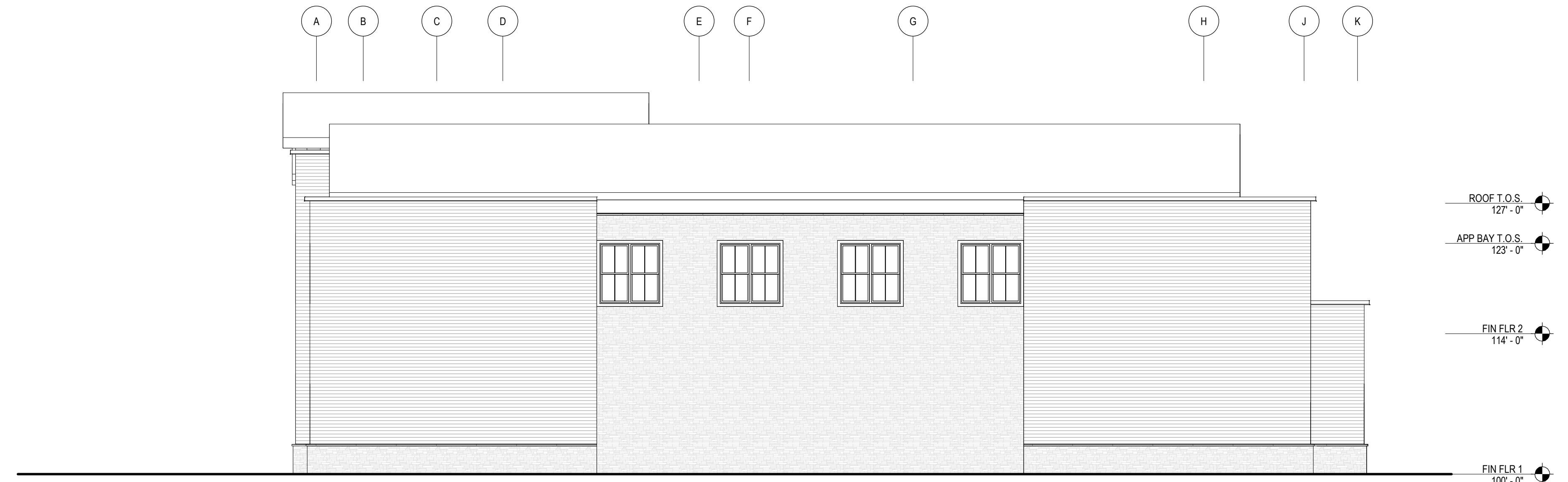
FOR PRICING REFERENCE ONLY - EXTERIOR DESIGN IS STILL IN PROCESS

EXTERIOR MATERIAL LEGEND

-  = STONE
-  = BRICK
-  = SIDING MATERIAL (HORIZONTAL AND VERTICAL)
 - 1. RESYSTA COMPOSITE SIDING
 - 2. AEPSPAN FLEX SERIES METAL PANEL
 - 3. EQUITONE TECTIVA FIBER CEMENT SIDING
 (NOTE MANUFACTURERS ARE LISTED FOR REFERENCE, OPEN TO ALTERNATES)



1 NORTH ELEVATION
A2-1 1/8" = 1'-0"



2 SOUTH ELEVATION
A2-1 1/8" = 1'-0"



3 WEST ELEVATION
A2-1 1/8" = 1'-0"



4 EAST ELEVATION
A2-1 1/8" = 1'-0"



CRESTED BUTTE FIRE PROTECTION DISTRICT HQ
CR 317 AND SLATE RIVER
GUNNISON COUNTY, CO

EXTERIOR ELEVATIONS

SCHEMATIC DESIGN

REVISIONS DATE

DATE: 06/14/2023

PROJECT #: 22033_2

SHEET #:

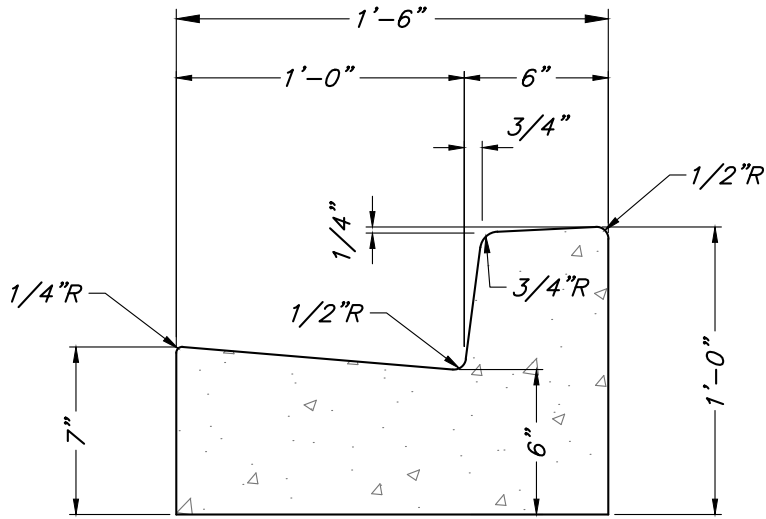
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**CRESTED BUTTE FIRE PROTECTION DISTRICT
NEW EMERGENCY SERVICES CAMPUS**

CR 317 and Slate River, Gunnison County, CO (North Crested Butte)

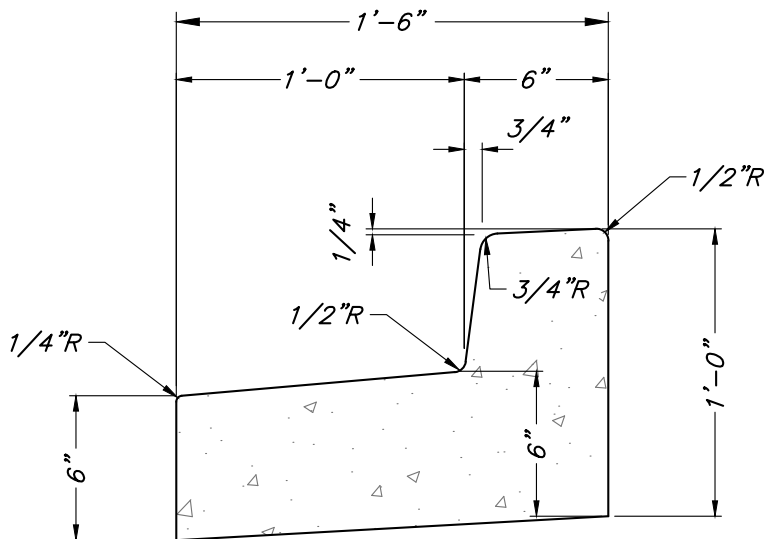
Schematic Design Package 01 – Central Administration, Fire, and Emergency Services (HQ)

APPENDIX B



18" CURB & GUTTER

SCALE: 1 1/2" = 1'-0"



INVERTED 18" CURB & GUTTER

SCALE: 1 1/2" = 1'-0"

J:\AutoCAD\standard_details\Concrete\extras\18 inch Standard Curb and Gutter.dwg



118 West Sixth Street, Suite 200
 Glenwood Springs, CO 81601
 970.945.1004 www.sgm-inc.com

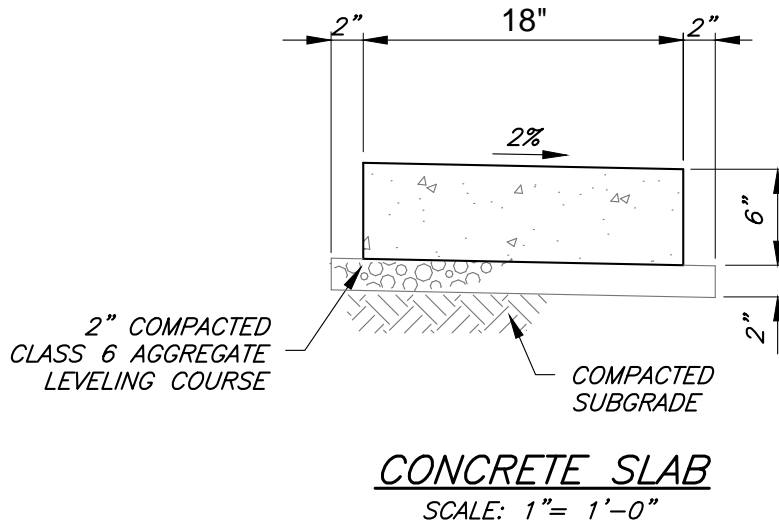
Client
 Location

Job No.	2017-100.001
Drawn by:	XX
Date:	11.15.17
QC:	XX PE: XX
File:	18 inch Standard Curb and Gutter

18 inch Standard
 Curb and Gutter

Sh. 1
 Or 0

y:\AutoCAD\standard details\Concrete\20 inch Concrete Slab.dwg



118 West Sixth Street, Suite 200
Glenwood Springs, CO 81601
970.945.1004 www.sgm-inc.com

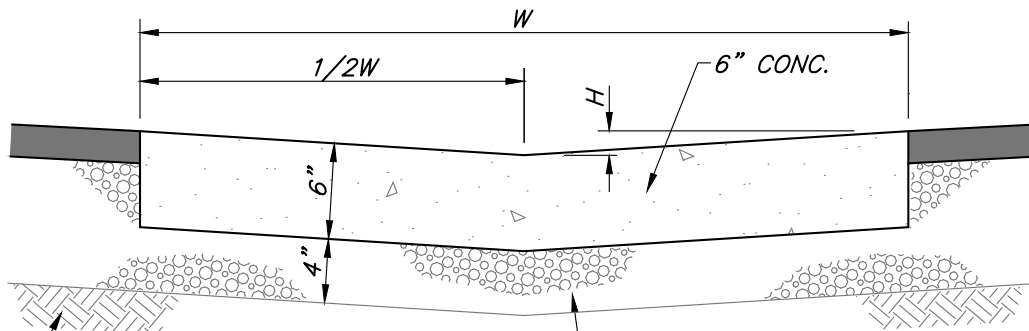
Client
Location

Job No.	2017-100.001
Drawn by:	XX
Date:	11.15.17
Approved: XX	PE: XX
File:	20 inch Concrete Slab

18" inch Concrete Slab

Sht. 6

Of 0



STRIP ALL TOPSOIL, SCARIFY &
RECOMPACT SUBGRADE A MIN. OF 8"
DEPTH TO 95% MODIFIED PROCTOR

4" CLASS 6 AGGREGATE BASE
COURSE COMPACTED TO 95%
MODIFIED PROCTOR

WIDTH (W)	HEIGHT (H)
2 FT.	1.0 INCH
3 FT.	1.5 INCH
4 FT.	2.0 INCH
6 FT.	2.5 INCH
8 FT.	3.0 INCH

VALLEY PAN DETAIL

SCALE: 1" = 1'-0"

y:\AutoCAD\standard_details\Concrete\Valley Pan Detail.dwg



118 West Sixth Street, Suite 200
Clemwood Springs, CO 81601
970.945.1004 www.sgm-inc.com

Client
Location

Job No.	2017-100.001
Drawn by:	XX
Date:	11.15.17
QC:	XX PE: XX
File:	Valley Pan Detail

Valley Pan Detail

Sht. 39

Of 0

Well Water & Pressure Booster Expansion Tanks

FXA Series

Wessels FXA series ASME
Replaceable Hydropneumatic
Bladder System with
Smart Tank Add-On for Booster
Expansion Pressure Control

APPLICATIONS

Open-loop
Potable
Pressure Booster
Well Water
Water



Wessels patented FXA Tanks are ASME replaceable bladder type pre-charged hydro-pneumatic tanks for commercial and industrial well and water systems, booster systems, or other non-heated potable water applications. They are designed to deliver water under pressure between pump cycles to provide sufficient flow to meet demands. The water is contained in a butyl bladder. All FXA tanks can be installed vertically or horizontally.

NEXT LEVEL INTELLIGENCE

- Pressure gauge integrated
- WessView® bladder integrity monitor included
- WessGuard® proximity sensor port adaptable
- Easy-access air valve
- Tamper-resistant secure guard mount
- Designed and fabricated in accordance with ASME Boiler & Pressure vessel code
- Products comply with NSF/ANSI Standard 61
- Replaceable heavy-duty butyl bladder (other materials available)
- Standard design pressure is 125 psi (8.6 bar)
- Available in carbon steel, 304 or 316L stainless steel
- Factory pre-charged and field adjustable
- Never waterlogs
- Separation of water and air
- Full flow design compatible
- Higher pressure ratings available
- Wessels Company Patented Design US 8,633,825 B2



SINCE 1908
wessels
company

The Next Generation of Wireless Real-Time Alarm, Monitoring, and Remote-Control

All of the functionality of the legacy series (M110 and M800) with an onboard interactive display and enhanced electronics

MyDro 150 and 850 RTUs

Easy to Install

Each remote terminal unit (RTU) includes all necessary hardware for a standard installation, such as a cellular radio, enclosure, backup battery, transformer, antenna with cable, and mounting hardware. Purpose-built RTUs simplify and speed installation. There is no programming required, and RTUs are self-enrolling.

Reliable Wireless Communications

RTUs operate on current generation cellular radios for dependable data transmissions. Mission maintains direct relationships with the largest cellular carriers in the U.S. and Canada to ensure the best service possible. There are no radios to license or cellular contracts to set up.

Real-Time Alarms Delivered To All Devices

Real-time alarms are delivered via phone call, text message, email, fax, page, and even to an existing HMI software through an OPC data link. Each alarm is logged with a time stamp for tracking and reporting. The alarm call-out schedule is easy, flexible, and intuitive to set up.

Managed Service—The Complete Package

The Mission system includes all cellular data service, data storage, alarm call-outs, reports, and on-call, 24-7-365 technical support. The highly reliable turnkey system offers more features at a lower cost than an in-house setup. No engineering or programming is required, and there are no networks to maintain.

View data and reports using the secure 123SCADA web portal, accessible from any web-enabled device. The 123SCADA user interface is designed to mimic industry-standard HMI SCADA and also includes a legacy user mode. Tabular and graphical reports can be used for compliance reporting and comparative studies. System enhancements are available immediately and included at no cost.

M150 RTUs

Real-Time Alarms with Hourly Summaries

M150 RTUs summarize pump runtimes and pump starts hourly. All alarm data is reported in real-time. Analog data and RTU status are reported hourly. Simultaneous pump runtimes can be reported when two pumps run.

M850 RTUs

Real-Time Alarms and Streaming Data

M850 RTUs report pump starts and stops in real-time. Analog values are reported every two minutes or on a five percent change. Volumetric flow calculations can utilize this information along with sump volume (as determined by an analog level sensor or fixed entries) to calculate hourly volumetric flow rates.

Remote-Control

Expand system operations with optional remote-control for off-site wells, tanks, gates, chlorine dosers, variable frequency drives, and more. Optional automatic remote control interfaces include the Tank and Well Control Package, Digital Interconnect, and Analog Interconnect.



LCD Touch Screen

- Displays current status
- Supports local configuration

Radio

- Cellular radios support LTE, 4G, 3G, and 2G for both GSM (AT&T and partners) and CDMA (Verizon and partners)
- No radio licenses or site path studies required

Expandable

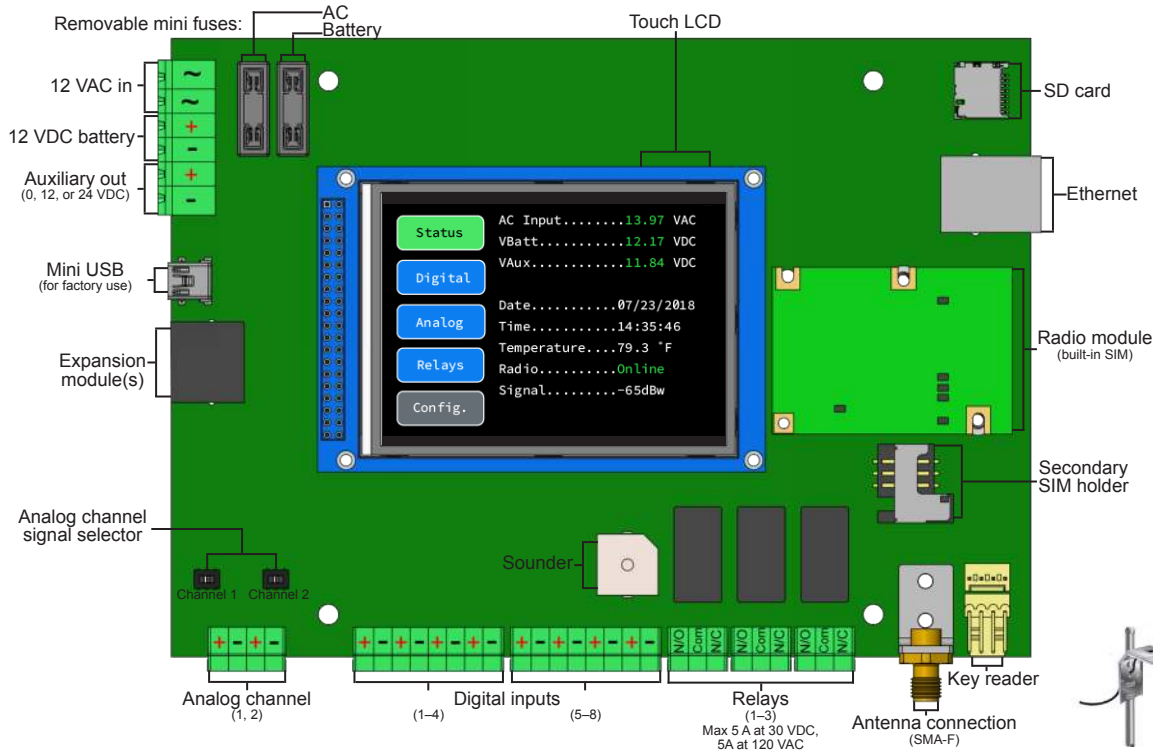
- Up to 16 digital inputs, 6 analog inputs, 2 pulse inputs, and 2 analog outputs, simultaneously
- Onboard digital inputs configurable for wire fault supervision or strap on current sensing switch for easier pump run indication
- RS485 for digital, analog, and pulse expansion

Enhanced

- 12 or 24 VDC auxiliary output for battery-backed analog instrument loop power
- Over-the-air upgradeable firmware

	MyDro 150	MyDro 850
Wastewater	Sewage lift station, industrial water quality (WQ) alarming, lift station generator alarming	Master pump station monitoring and remote-control, critical process monitoring, open channel flow monitoring, sewer station power monitoring, reuse water monitoring and control
Water	Pump station alarming, reservoir level alarming, remote valve alarming, chlorine (Cl) residual WQ alarming, pressure reducing valve station alarming	Pump station monitoring, tank and multiple well control, remote valve monitoring and control, Cl residual WQ alarming, flow or pressure monitoring
Other	Gate status alarming, rainfall monitoring	Septic offload and billing, custody transfer and billing, canal level monitoring and gate control, I&I flow, level data logging

Technical Specifications



Outdoor NEMA 4X enclosure:
13.25" w x 13.75" h x 6.25" d
With sun shield
Weight: 7.6 lbs



NEMA 1 enclosure:
11.375" w x 11.25" h x 3.5" d
Use indoors, wall mounting
Weight: 3.6 lbs



FlatPak NEMA 1 enclosure:
10.5" w x 7.75" h x 1.5" d
Use inside MCC cabinet
Weight: 1.8 lbs
5 Ah battery weighs additional
3.6 lbs

MyDro 150

MyDro 850

	MyDro 150	MyDro 850	
Data	Alarm Data	Real-time	Real-time
	Pump State	Summarized hourly	Real-time
	Analog Reporting	Current value reported hourly	Every 2 minutes or on 5% change
	Device Health	Built-in inputs reported hourly	
Input/Output	Digital Inputs	8 onboard, dry digital inputs with selectable wire fault supervision or direct attach current sensing switch; Expandable to 16 with PN OP653 3 configurable for pump run summary reporting; Simultaneous runtimes reported when 2 pumps are monitored	8 configurable for pump run; Pump states reported in real-time. Simultaneous pump runtime reporting supported for up to 7 pumps
	Analog Inputs	2 onboard, 4–20 mA isolated or 0–5 VDC; 4 alarm set points each; Expandable to 6 with PN OP465	
	Relay Outputs	3 remotely controllable, form C, dry contact relay outputs; 5 A at 30VDC, 120 VAC, SPDT, N/O, or N/C	
	RS485	Support for specified expansion modules	
	Pulse Inputs	2 channels with pulse input expansion module (PN OP464)	
		15-minute reporting	2-minute reporting
	Analog Output	2 channels (4–20 mA or 0–5 V) with PN OP461	
	Electronic Key Reader	Key reader for site activity tracking and service mode	
Built-in Inputs	AC voltage, battery voltage, board temp, and signal strength; Optional second key reader		
Electrical	AC Power	Supervised 120 VAC to 12 VAC, 1.2 A, UL-recognized class II/class III transformer	
	Backup Power	12 V, 5 Ah battery standard with enhanced charging system	
		Up to 50 hours	Up to 18 hours
	Auxiliary	Auxiliary output selectable 12 VDC or 24 VDC for battery-backed analog instrument loop powering; 250 mA max	
	Removable Terminals	Included: Amphenol PN 20020008-G061B01LF (6 pin for power), 20020004-D081B01LF (D08, D04, D03 for I/O)	
Power Consumption	4.2 W		
Other	Enclosures	FlatPak (PN M153), NEMA 1 (PN M151), NEMA 4X (PN M152), Large NEMA 4X (PN M152L)	FlatPak (PN M853), NEMA 1 (PN M851), NEMA 4X (PN M852), Large NEMA 4X (PN M852L)
	Environment	Operating temperature -20–60°C, non-condensing	
	Cellular Radio	Radios make live, continuous, encrypted TCP socket connections; Payload is end-to-end acknowledged; Penta band (850, 900, 1700, 1900, 2100 mHz); AT&T and partners: LTE, HSPA+, 3G; Verizon and partners: LTE, EVDO, 1XRTT	
	Antenna	Omnidirectional antenna with 11' cable, SMA termination, universal mounting bracket	
	Options	Optional SCADA integration OPC link (PN SW586) to client/server HMI, Tank and Well Control Package (see Accessory Catalog for details)	
	Service	Requires Service Packages for the unit and optional expansion boards (see Accessory Catalog for details)	
	Warranty	One-year manufacturing and material warranty	



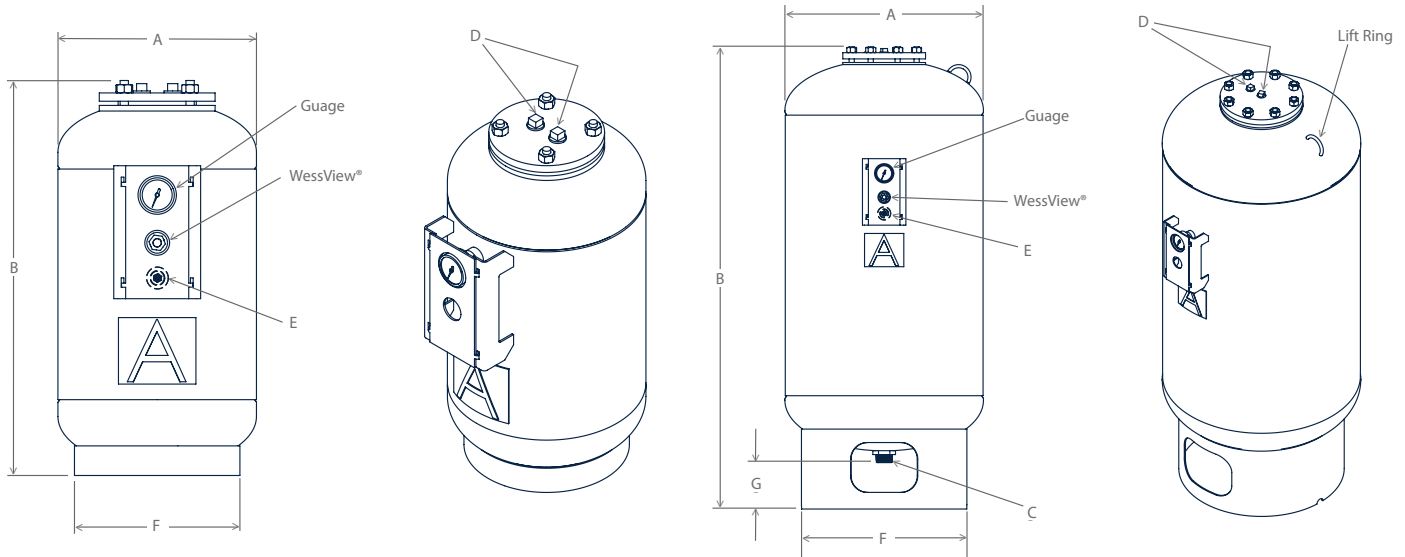
Safety Certified



(877) 993-1911 • sales@123mc.com • 123mc.com

M150/M850-2007

FXA



FXA-85 thru FXA-800L

MODEL	DIMENSIONS (in.)							MAX WORKING PRESSURE	SHIPPING WEIGHT (lbs)
	A	B	SYSTEM CONNECTION		CHARGING VALVE	F	G		
			C	D	E				
FXA-35	12	23 1/2	-	3/4 NPT	0.302" - 32NC	10	-	125	40
FXA-50	14	24	-	3/4 NPT	0.302" - 32NC	10	-	125	50
FXA-85	16	37	1 NPT	3/4 NPT	0.302" - 32NC	12	5 1/2	125	90
FXA-130	20	37	1 NPT	3/4 NPT	0.302" - 32NC	16	5 1/2	125	125
FXA-200	24	43	1 1/2 NPT	3/4 NPT	0.302" - 32NC	20	5 1/4	125	210
FXA-300	24	55	1 1/2 NPT	3/4 NPT	0.302" - 32NC	20	5 1/4	125	225
FXA-400	30	49	1 1/2 NPT	3/4 NPT	0.302" - 32NC	24	5 1/4	125	300
FXA-500	30	57	2 NPT	3/4 NPT	0.302" - 32NC	24	5 1/4	125	335
FXA-600	30	65	2 NPT	3/4 NPT	0.302" - 32NC	24	5 1/4	125	360
FXA-800L	32	76	2 NPT	3/4 NPT	0.302" - 32NC	28	5 1/4	125	475

Note:

- Tanks are factory pre-charged at 40 psi and field adjustable.
- California code-sight glass is available upon request.
- Both top and bottom connections (C and D) access the bladder.
- Available with mounting clips.

TYPICAL SPECIFICATION

Furnish and install, as shown on plans, a _____ gallon _____" diameter X _____" (high) pre-charged steel hydropneumatic pressure tank with heavy-duty butyl bladder. The tank shall have multiple water-side connections to promote full-flow to eliminate stagnate water within the tank, a 0.302"-32 charging valve connection (standard tire valve) to facilitate the on-site charging of the tank to meet system requirements, a pressure gauge, and WessView® bladder integrity monitor. The tank must contain a port for WessGuard® proximity sensor monitor. The tank must be constructed in accordance with most recent addendum of Section VIII Division 1 of the ASME Boiler and Pressure Vessel Code, and rated for 125 psig.

Each tank shall be Wessels model number FXA-_____ or approved equal.

UPGRADE TO SMART WESSGUARD® TANK PROTECTION

Wessels Type FXA-WG Smart Tanks are ASME removable bladder type pre-charged, hydropneumatic expansion tanks, with patented WessGuard® bladder monitor. They are designed to absorb the expansion forces and control the pressure in heating/cooling systems and come equipped with a uniquely designed capacitive sensor that is sensitive to any movement inside the tank.

The system's expanded water (fully compatible with water/glycol mixtures) is contained in a heavy-duty bladder preventing tank corrosion and waterlogging problems. If the bladder extends beyond the normal movement, WessGuard® monitor will activate an audible LED alarm and energy management system to notify maintenance staff of a potential system issue.



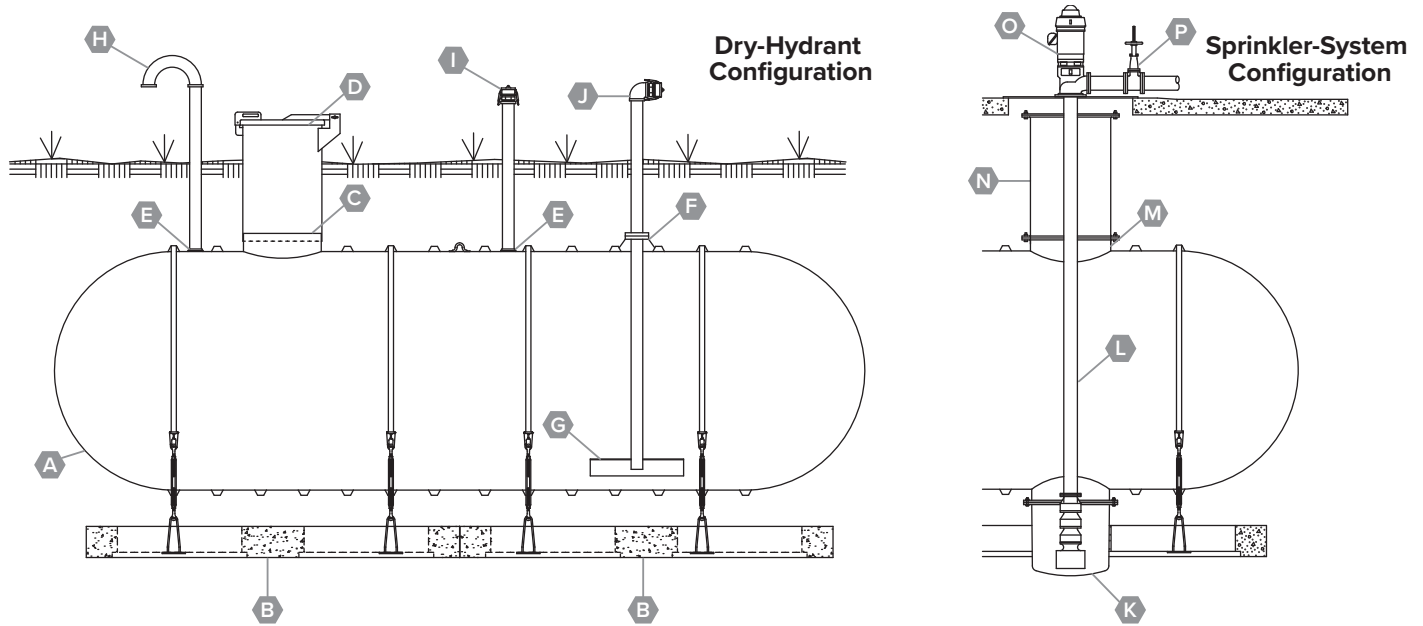
SINCE 1908
wessels
company

101 Tank Street Greenwood, IN 46143
P: 317-888-9800 F: 317-865-7411
www.westank.com

FIRE PROTECTION TANKS

Our tanks can be used to store either primary or secondary water supplies for fire protection. Municipalities and developers often install fire protection water tanks when developments are far from municipal water supplies. The tanks are also an ideal solution for sites that don't have sufficient water volume or pressure for fire protection needs.

The tanks can provide water for a building's sprinkler system or give fire trucks quick, easy access to water for dry-hydrant connections. Our fire protection tanks comply with NFPA 20, 22 and 1142 standards. When used as dual-purpose water tanks that store potable water, they are available as NSF 61-listed (and labeled) tanks.



CODE	DESCRIPTION		
A	Xerxes Single-Wall FRP Tank	E	4" NPT Service Fitting
B	Xerxes Prefabricated Deadman System with Anchor Strap and Turnbuckle Assembly	F	4" FRP Flanged and Gusseted Down Pipe
C	30" I.D. Access Opening w/Alignment Ring	G	FRP Anti-vortex Plate
D	30" FRP Riser Pipe with Hinged and Lockable Top and Gel Coat	H	4" Vent Pipe with Bird Screen
		I	4" Fill with Cam Lock Connection
		J	4" Suction with Fire Department Connection
		K	30" FRP Flanged Bottom Sump
		L	6" Vertical Pump Shaft Housing with Bowl Assembly and Strainer
		M	30" Manway with Blank Cover
		N	30" Manway Extension
		O	Vertical Pump with Discharge Head and Mounting Plate
		P	Discharge Valve and Piping

Case Study: Supplemental Water

As Stantec developed the design for a Toronto college's new aerospace center, they realized that the available fire protection water flow from the onsite system did not meet the city's requirement for water supply. Three Xerxes 35,000-gallon [132,000-liter] tanks now provide the supplemental water. This installation took less than four hours from offloading to burying the tanks.

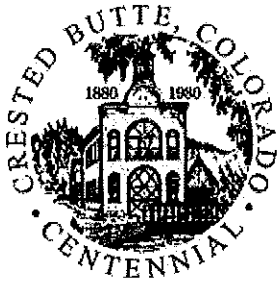


**CRESTED BUTTE FIRE PROTECTION DISTRICT
NEW EMERGENCY SERVICES CAMPUS**

CR 317 and Slate River, Gunnison County, CO (North Crested Butte)

Schematic Design Package 01 – Central Administration, Fire, and Emergency Services (HQ)

APPENDIX C



TOWN OF CRESTED BUTTE

PUBLIC WORKS CRITERIA

FOR DESIGN AND CONSTRUCTION

June 2018

APPROVED FOR PUBLIC RELEASE; DISTRIBUTION UNLIMITED

FOREWORD

This is a living document that will be periodically reviewed, updated, and made available to users as part of the Town of Crested Butte, Colorado responsibility for providing technical criteria for design and construction projects in Crested Butte. Contractors should contact the Public Works Department for document interpretation and improvements.

Deviation from these criteria cannot be made without prior written approval of the Public Works Director.

This document is effective upon issuance, and can be found on the Town of Crested Butte Internet site, www.crestedbutte-co.gov

Authorized By:



Dara MacDonald
Town Manager
Town of Crested Butte



Rodney E. Due
Director of Public Works
Town of Crested Butte

Original issuance dated March 2009

Updated as of June 12, 2018

TOWN OF CRESTED BUTTE
PUBLIC WORKS CRITERIA
FOR DESIGN AND CONSTRUCTION

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TOWN OF CRESTED BUTTE
GENERAL SPECIFICATIONS

SECTION 100

I. SCOPE

These specifications including material specifications and construction requirements for all construction within Town right-of-way and in other areas under Town jurisdiction or ownership.

These specifications are the minimum requirements for design, materials, and construction and may only be modified by written approval from the Town OF Crested Butte.

II. DEFINITIONS AND ABBREVIATIONS

Wherever the following words, phrases or abbreviations appear in these specifications, they shall have the following meanings:

Town: The Town of Crested Butte, Colorado.

Town Code: The official adopted Town Code Regulations of Crested Butte, Colorado.

Engineer: The Town Engineer, Town OF Crested Butte, Colorado, or an authorized representative acting on behalf of the Town.

Traffic Control Officer: An authorized representative acting on behalf of the Town OF Crested Butte, Colorado.

Inspector: An authorized representative of the Town at the site of the work.

Utility: The Water and Sewer Utilities Department of the Town OF Crested Butte, Colorado and all other utilities.

Base Course: The upper course of the granular base of the pavement or the lower course of an asphalt concrete pavement structure.

Culvert: Any structure not classified as a bridge, which provides an opening under or adjacent to the roadway.

Pavement: Any surfacing of streets, alleys, sidewalks, courts, driveways, or similar areas, consisting of material aggregate bound into a rigid or semi-rigid mass

by a suitable binder such as, but not limited to, Portland cement, or asphalt cement.

Pavement Structure: The combination of subbase, base course, and surface course placed on a subgrade to support the traffic load and distribute to the road bed.

Private Street: Any vehicular access serving residential properties where average daily traffic volume exceeds sixty (60) trips per day.

Public Improvements: Includes public facilities and shall refer to the construction or installation of streets, including curb and gutter, sidewalks, development or extension of the municipal water system, municipal sanitary sewer system, municipal storm sewer system, municipal irrigation system, and landscaping.

Right-of-Way: A general term denoting land, property or interest therein, usually in a strip, acquired for or devoted to a street, highway, or other public improvement.

Road: A general term denoting an open way for purposes of vehicular and pedestrian travel.

Roadway: The improved portion of the right-of-way intended primarily for vehicular traffic.

Sanitary Sewer: Conduits and related appurtenances employed to collect and carry off wastewater to a suitable point of final discharge.

Shoulder: That portion of the roadway contiguous with the traveled way for accommodation of stopped vehicles, for emergency use, and for lateral support of base and surface courses.

Sidewalk: That portion of the street primarily constructed for the use of pedestrians.

Storm Sewer: Any conduit and appurtenance intended for the reception and transfer of stormwater.

Street: The improved area of the right-of-way.

Structures: Bridges, culverts, catch basins, drop inlets, retaining walls, cribbing, manholes, end walls, buildings, sewers, service pipes, underdrains, foundation drains, fences, swimming pools, and other features which any be encountered in the work and not otherwise classed herein.

Subbase: The lower course of the base of a roadway, immediately above the subgrade.

Subgrade: The supporting structures on which the pavement and its special under courses rest.

Whenever the words, "as directed", "as required", "as permitted", or words of like meaning are used, it shall be understood that the direction, requirements, or permission of the Engineer or Town Representative is intended. Similarly, the words "approved", "acceptable", and "satisfactory" shall refer to approval by the Engineer or Town Representative.

Whenever references are made to standard specifications, methods of testing, materials, codes, practices, and requirements, it shall be understood that the latest revision of said references shall govern unless a specific revision is stated. Wherever any of the following abbreviations appear, they shall have the following meaning:

AASHTO: American Association of State Highway Transportation Officials

ASA: American Standards Association

ASTM: American Society for Testing and Materials

AWWA: American Water Works Association

APWA: American Public Works Association

CDOT: Colorado Department of Transportation

CDOT-SSCRB: CDOT Standard Specifications for Construction of Roads & Bridges

DPW: Department of Public Works, Crested Butte

GCEA: Gunnison County Electric Association

MUTCD: Manual of Uniform Traffic Control Devices

III. DESIGN CRITERIA

A. Streets

1. Street Layout
 - a. Street layout shall be designed to conform to the standards described in Residential Streets, second edition, published by the American Society of Civil Engineers, National Association of Home Builders and the Urban Land Institute in 1990, or latest edition. Copies are available in the Planning Department. When there are Conflicts between the standards set forth herein and Residential Streets, the standards set forth herein shall prevail.
 - b. Street layout shall conform to the Master Street Plan in the Crested Butte Land Use Plan.

B. Dry Wells

1. Specifically designed for the flow required.
2. Native soil must consist of sandy gravel having a permeability in the range of 0.01 feet per minute
3. Seasonal high groundwater level must be at least 24-inches below the ground surface
4. Refer to dry well diameter schedule for allowable volumes pumped per hour
5. Dry well shall be cylindrical in shape and constructed with CMP, concrete pipe, plastic pipe, or precast manhole (with open bottom)
6. Dry well must be at least 4 feet into the ground with the top even with or up to 2-inches above the ground surface and graded so that the surface water does not flow into the dry well
7. The inlet to the dry well should be set at a depth of at least 12-inches above the seasonal high groundwater level but not shallower than 12 inches below the ground surface

8. Dry Well Diameter Schedule:

Dry Well Diameter Schedule	
<i>Total Sump Volume or Max. Volume Pumped During 1 Hour Period (Gallons)</i>	<i>Dry Well Pipe Diameter</i>
15	24"
20	30"
30	36"
40	48"

C. Stormwater Permit and Plan

1. For construction disturbing an area of one acre or more, a stormwater permit and plan must be obtained as required by the State of Colorado.

D. Sanitary Sewer System

1. General
 - a. All new construction of sanitary sewer mains, man holes, and lift stations must be designed by a Professional Engineer licensed in the State of Colorado and shall meet all Colorado state design and construction regulations.
 - b. Professional Engineer is responsible for all state compliance and associated fees with regards to new construction and/or repair and replacement of existing infrastructure. This includes, but is not limited to, site applications and/or amendments to existing site applications.
 - c. The Professional Engineer must provide the following information,
 - (a) Calculations relevant to the design flows at initial build and final build out. Including, but not limited to, peaking factors, per capita daily flows, commercial capacity allowances and inflow and infiltration allowances.
 - (b) Data that demonstrates the new construction design life.
 - d. Construction Drawings shall include pertinent project-specific notes to clarify or bring attention to construction requirements that effect the Town's sanitary sewer systems and those who work on these systems.

- e. The following shall be provided to the Town for review and approval as applicable and/or for record purposes.
 - (a) One hard copy and one electronic copy of shop drawings
 - (b) One hard copy and one electronic copy of complete "as built" drawings, upon completion of the construction work.
 - (i) Sanitary sewer service "as-builts" shall include measurements of the distance between the new service tap and the upstream and downstream manholes, route of sewer service, location of clean outs, etc.

2. Lift Stations

- a. Design calculations, signed by a Professional Engineer, must be submitted to the Town for review and shall contain the following computations: capacity at peak flow, system head, cycle time, buoyancy calculations, and storage volumes.
- b. Lift Stations shall be sized based upon the anticipated upstream flow that will be realized in a 20 year period of development. The amount of development in a basin is judgmental and will be determined by the Town.
- c. O&M Manual
 - (a) One hard copy and one electronic copy of the O & M manual. O & M manual must include,
 - (i) Detailed preventative maintenance schedules and procedures
 - (ii) Generator information if applicable
 - (iii) Electrical wiring diagram which depicts all breakers, relays, controls, switches, alarm system, etc.

3. Gravity Sanitary Sewer Mains
 - a. The design shall include a manhole at any sanitary sewer main change in direction or grade or at a maximum of 500 feet from adjacent manholes.
4. Sanitary Sewer Service Laterals
 - a. Single family and multi-family dwellings, containing 2 to 4 units, will generally require a sewer service for each dwelling. This will be considered by the Town on a case by case basis.

IV. RESPONSIBILITY OF THE TOWN

A. Authority of the Engineer or Town Representative

1. The Engineer/Town Representative shall have the authority on behalf of the Town to ascertain that all design and construction of facilities is equal to or better than the minimum requirements set forth in these specifications.
2. The Engineer/Town Representative shall have the additional authority to assign an inspector to check any and all work, including materials to be incorporated in the work, excavation, bedding, backfill, and all construction methods and practices.

B. Authority of the Inspector

1. Inspectors are assigned to assist the Contractor in complying with these specifications. They have the authority to reject defective materials, or inferior materials and defective workmanship until such time as the Contractor shall correct the situation in question, subject to final decision by the Engineer.

V. RESPONSIBILITY OF THE CONTRACTOR

A. Notice Before Beginning Work

1. The Contractor shall notify the Town Engineer/Town Representative at least five (5) working days before beginning any construction.
2. If for any reason work should stop on a project during any stage of construction for a period of more than twenty-four (24) hours, it is the responsibility of the Contractor to notify the Town Engineer/Town Representative at least twenty-four (24) hours prior to any resumption of work on the project.

3. If the Contractor intends to work extended shifts, double shifts, or hours other than the normal workday of Town personnel, he shall notify the Town Engineer/Town Representative at least twenty-four (24) hours prior to such extension, except in the event of an emergency. Failure to provide notification may provide sufficient cause for suspension of the project.

B. Traffic Control

1. The Contractor shall be required to provide adequate construction signing, flagmen, barricades, etc., to warn vehicular and pedestrian traffic of work in progress and divert traffic as may be required during the course of construction.
2. All signing shall conform to the Manual of Uniform Traffic Control Devices (MUTCD) and shall be subject to the approval of the Town Representative.
3. When specifically authorized by the Town Representative, portions of the streets shall be allowed to be closed to traffic for construction. However, the Contractor shall make every attempt to keep the time of closure of such streets to a minimum.
4. It shall be the responsibility of the Contractor to notify the Fire Department, Marshal's Office and Ambulance Service twenty-four (24) hours prior to the closure of any street.
5. For all work within State of Colorado highway rights-of-way the Contractor shall submit a traffic control plan to the CDOT Traffic Engineer for review.

C. Rejected Materials

1. All materials installed shall be free of manufacturer defects. Any defective or damaged materials found in the construction or on the construction site shall be marked and removed from the site. In the event the Contractor fails to remove rejected materials from the construction site within a reasonable length of time, the Engineer/Town Representative may arrange for such removal at the expense of the Contractor.

D. Familiarity of Specification

1. It shall be the responsibility of the contractor to read and fully comply with all the provisions of these specifications and all laws and regulations that apply to local and state agencies.

E. Maintenance of Site

1. The cleanup and restoration of grounds shall be a continuous process from the beginning of construction to final completion of the work. The Contractor shall keep the work site free from the accumulation of debris and waste material caused by the work.
2. Immediately after the construction activity or major portion thereof is complete, the area shall be cleaned and restored to the original grade and condition. All fences shall be replaced to the same elevation and alignment and restored to a condition equal to or better than that at the beginning of construction.

F. Public Relations and Notifications

1. The Contractor shall carry on the work in such manner as to cause as little inconvenience as possible to the public, particularly to occupants of property along the project, as is consistent with good workmanship. He shall notify occupants at least twenty-four (24) hours in advance of proposed work that may block entrances or otherwise cause undue difficulty to occupants of property affected and shall restore such entrances to usable condition as soon as possible. The Contractor, Subcontractors and employees shall at all times be courteous to the public while engaged upon this work.
2. The Contractor shall notify all business managers and residents affected by the interruption of utilities and other services caused by the work. Such notice shall be given at least twenty-four (24) hours prior to the interruption of service. Notice shall be given for the interruption of domestic water, irrigation water, sewer, trash pickup, mail delivery, and changes in access to property.
3. Notifications may be verbal or in written form if the business manager or resident cannot be located. The Contractor is responsible for posting notice cards for interruption of domestic water service only.
4. Where trees, hedges, shrubs, or other ornamental plantings or structures within the construction limits are not designated to be protected or saved, the Contractor shall notify the owner of the property fronting the plantings or structures in question, not less than ten (10) calendar days prior to their removal.
 - a. The Contractor shall bid the project based on assuming responsibility for all removals.

- b. This notification shall include allowing the property owner an option to transplant the plantings or relocate structures fronting his property onto his property instead of having the Contractor remove them.
 - c. This notification requirement is intended as a positive public relations action.
5. All notifications described and required in this section are considered as incidental to the Work and will not be measured or paid for separately.

G. Utilities: Service, Locating, Protecting, and Relocating

1. For all construction projects where Town utilities are made available for the Contractor's use, the Town may require the Contractor to pay for Town utility service used (potable water, sewer, etc.).
2. The Contractor is responsible for calling in all underground utility locates prior to construction.
3. It is the responsibility of the Contractor to provide for the protection of all structures and utilities including pipes, fences, or similar items.
4. In the event of a break in an existing water main, gas main, sewer or underground cable, the Contractor shall immediately notify the responsible official of the organization operating the utility interrupted and shall lend all possible assistance in restoring services.
5. The Contractor shall be responsible for damage to any Town utility system resulting from construction operations. Any repair performed by the Contractor shall be inspected by the Town prior to backfilling.
6. The Contractor shall bear the entire expense of repairing or replacing any utilities or structures disturbed or damaged during construction.
7. Unless otherwise specified in the Contract Documents, all utility relocations will be the responsibility of the utility companies; the Contractor shall be responsible for coordinating the relocation work with the Utility Companies and shall bear any reasonable and customary cost associated with the work.

H. Safety and Protection

1. The Contractor shall be responsible for initiating, maintaining and supervising all safety precautions and programs in connection with

the work. He shall take all necessary precautions for the safety of, and shall provide the necessary protection to prevent damage, injury or loss to:

- a. All employees on the Work and other persons who may be affected thereby;
 - b. All work and all materials or equipment to be incorporated therein in storage on or off site;
 - c. Other property at the site or adjacent thereto, including trees, shrubs, lawns, walks, pavement, roadways, structures, and utilities not designated for removal, relocation or replacement in the course of construction.
2. The Contractor shall comply with all applicable laws, ordinances, rules, regulations, and orders of any public body having jurisdiction for the safety of persons or property or to protect them from damage, injury, or loss.
 3. The Contractor shall erect and maintain, as required by the conditions and progress of the work, all necessary safeguards for safety and protection.

I. Cost of Testing

1. The contractor shall bear all costs of testing unless otherwise specified or agreed to in writing by the Town.

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TOWN OF CRESTED BUTTE
GENERAL EARTHWORK SPECIFICATIONS

SECTION 200

I. SCOPE

The purpose of this General Earthwork Specification is to set forth the criteria to be used for all construction within the rights-of-way and in any other areas of jurisdiction or ownership of the Town of Crested Butte. Work shall include, but not be limited to, surface removals, excavation, dewatering, trench embankment, bedding, and backfill for all utilities, structures, and roads.

II. MATERIALS

A. Fill Material

1. On-Site: All on-site material suitable for structural backfill shall be soil or soil-rock mixture which is free from frozen material, organic matter, and other deleterious substances. It shall contain no rocks over eight (8) inches in greatest dimension. It shall have less than twenty percent (20%) by weight passing the No. 200 sieve and a liquid limit not greater than 35.
2. Pit Run (imported): Shall be well-graded eight (8) inch minus material. It shall have less than twenty percent (20%) by weight passing the No. 200 sieve and a liquid limit not greater than 35.
3. Other Materials: Other materials may be selected by the Contractor subject to the approval of the Engineer/Town Representative.
4. Granular Bedding Material: Granular bedding material shall be a well-graded, gravelly material meeting the requirements of *ASTM D448*, as follows:

<u>Sieve Size</u>	<u>Total Passing (Max % By Weight)</u>
1/2 "	100 %
3/8 "	80 %
No. 4	10 %
No. 200	5 %

5. Subbase, Course Aggregate: CDOT Class 2 Aggregate Base Course.
6. Base, Course Aggregate: CDOT Class 6 Aggregate Base Course.

7. Select Backfill Material may be either CDOT Class 6 Aggregate Base Course or Granular Bedding Material.
8. Sand Specifications: Refer to GCEA requirements for conduit installation.
9. Flow-Fill: Per CDOT standards, most recent edition.

B. Concrete – Sidewalks

1. SP-5 Section 601.02 – Classification (Concrete):
 - a. Mix design for concrete shall conform to Concrete Class D as specified in Table 601-1
 - b. The Town reserves the right to modify the concrete mix design after review of the final mix design submitted by the Contractor if an acceptable alternate mix can meet the following general concrete mix design criteria:
 - (a) Compressive Strength: 4,000 psi minimum at 28 days
 - (i) Minimum No. of Passing Cylinders: 90%
 - (ii) Minimum Acceptable Cylinder Strength: 3,800 psi
 - (b) Cement Content: minimum six (6) bags per cubic yard
 - (c) Maximum permissible water-cement ratio for 4,000 psi strength, air entrained, absolute ratio by weight 0.45
 - (d) Slump: maximum four (4) inch
 - (e) Air Content: 6% +/- 1% for all concrete

C. Embankments

1. All fill material shall be free from roots, organic material, trash, and frozen material.
2. Rocks, broken concrete, or other solid materials more than six (6) inches in greatest dimension shall not be placed in embankment areas less than one (1) foot deep as measured from the subgrade.

3. Materials up to one hundred fifty (150) pounds in weight may be placed at the base of fills over three (3) feet deep as measured from the subgrade.

III. INSTALLATION

A. Removal of Water

1. When required by the Town, a construction dewatering permit, as required by the State of Colorado, shall be obtained by the Contractor.
2. Dewatering of ground water on excavation
 - a. Water shall be disposed of in a suitable manner without damage to adjacent property and without being a menace to public health and convenience.
 - b. Shall be done in a manner so as not to allow pollutants or silt to collect on Town rights-of-way, stream courses, or storm sewers.
3. Dewatering onto the Town rights-of-way or storm sewers must be pre-approved.
4. Trenches shall be kept free of water during pipe laying operations by draining, pumping, or other approved methods.
 - a. The water level shall be maintained below the trench bottom throughout the placement of bedding, pipe laying, joining, and backfilling operations.
 - b. The dewatering shall be carried out so that it does not destroy or weaken the strength of the soil under or alongside the trench.
 - c. Under no circumstances shall trench water be discharged into sanitary sewers.
 - d. Construction dewatering into the Town's sanitary sewer system is not permitted. Discharge of hydro-test water, dechlorinated water from pipe line disinfection or flush water from storm drain cleaning is not permitted into the Town's wastewater collection system.

5. The method of disposal of trench water shall be approved by the Engineer/Town Representative.

B. Clearing, Grubbing, and Stripping

1. Clearing

- a. Excavation and grading for street improvements and paving projects shall include removal of trash, rubbish, and low-lying vegetation in the construction area. All vegetation and objects designated to remain shall be protected from injury or defacement.

2. Grubbing

- a. All vegetation such as trees, stumps, hedges, shrubs, brush, heavy sod, heavy growth of grass, decayed vegetable matter, rubbish, and other unsuitable material within the area of excavation or upon which embankment is to be placed shall be stripped or otherwise removed to a minimum depth of three (3) inches.
 - (a) All such materials shall be wasted or spread outside the construction area or disposed of as directed by the Engineer/Town Representative.
 - (b) In no case shall such objectionable material be allowed in or under embankment. Except in areas to be excavated, stump holes, and other holes from which obstructions are removed, shall be backfilled with suitable material and compacted in accordance with these specifications.

3. Stripping

- a. Stripping shall consist of removing unsuitable overburden material before removal of other materials for use in the roadway. All areas to be graded and all embankments or fill areas under paved slabs shall be stripped.

4. Noxious Weed Management

- a. Contractors shall conform to the standards described by the *Town of Crested Butte Noxious Weed Management Plan*, as required by the *Colorado Noxious Weed Act of 2008*.

C. Excavation

1. After all clearing, grubbing, and stripping has been completed, excavation of every description and of whatever materials encountered within the grading limits of the project shall be performed. All suitable excavated materials shall be transported to and placed in embankments or fills within the limits of the work.
2. Variation from the subgrade plane shall not be more than one (1) inch of soil.
3. Excavation operations shall be conducted so that material outside of the limits of slopes will not be disturbed, but all cuts shall be made to subgrade a minimum of one (1) foot outside the proposed edge of paving slab or curb.
4. The Contractor shall not excavate beyond the dimensions and elevations established and material shall not be removed prior to the staking.
5. If excavation to the finished graded section encounters a subgrade or slopes of spongy material, vegetable matter, or trash pockets, the Engineer/Town Representative may require the Contractor to remove the unsuitable materials and backfill to the finished graded section with suitable material.
 - a. The Engineer/Town Representative may designate as unsuitable those soils or materials that are in his judgement detrimental to the finished roadway. All unsuitable materials shall be disposed of outside the construction area.
6. Where the excavation is carried beyond or below the lines and grades staked or shown on the plans, the Contractor shall, at his own expense, refill and compact all such excavated space with suitable granular material.

D. Roadway Excavation and Grading

1. This work shall consist of excavation, disposal, shaping, or compaction of all material encountered within the limits of the roadway in close conformity with the lines, grades, and typical cross sections shown on the plans or as directed by the Engineer/Town Representative.
2. The excavation and embankments for roadway and ditches shall be finished to reasonably smooth and uniform surfaces.

3. Unauthorized Pavement Removal: Unless authorized by the Engineer/Town Representative, all removed pavement and excavations made beyond the lines and grades shown on the approved Construction Drawings or described in the Construction Specifications shall be replaced at the Contractor's expense.

E. Shouldering and Miscellaneous Work

1. The Contractor shall deposit sufficient suitable earth between curb and sidewalks or property lines so that when smoothed and consolidated in final deposition, it will provide a uniform smooth slope from top of curb to the adjacent sidewalk or property line. In case excavation is necessary to accomplish the above purpose, the Contractor shall make such necessary excavation, and shall leave the area so filled or excavated free from all trash and debris.
2. The Contractor shall set all manholes, water boxes, or other service boxes, to the proper finished grade of the pavement or of the fill back of the curb. This work will be considered as part of the grading.

F. Embankments

1. Embankment construction shall consist of constructing roadway embankments, including preparation of the areas upon which they are to be placed; the construction of dikes; the placing and compacting of approved material within project areas where unsuitable material has been removed; and the placing and compacting of embankment material in holes, pits, and other depressions within the project area. Only approved materials shall be used in the construction of embankments and backfills as specified in *Part II – Materials*, above.
2. Free running water shall be drained from the material before the material is placed.
3. When an embankment is to be placed and compacted on hillsides, when new embankment is to be compacted against existing embankments, or when embankment is built one-half width at a time, the slopes that are steeper than 4:1 when measured longitudinally or at right angles to the roadway shall be continuously benched over those areas where it is required as the work is brought up in layers.
 - a. Benching shall be well-keyed and, where practical, a minimum of eight (8) feet wide. Each horizontal cut shall begin at the

intersection of the original ground and the vertical sides of the previous cuts.

- b. Material thus cut out shall be recompacted along with the new embankment material at the Contractor's expense.
4. Embankment material shall be placed in horizontal layers not to exceed eight (8) inches in loose depth and compacted prior to placing each following layer.
5. When pipe is to be installed in areas requiring fills or embankments, the embankment or fill shall be completed a minimum of one (1) foot above the top of pipe to be installed, prior to trenching and installation of the pipe.
6. The Contractor shall add moisture to, or dry by aeration, each layer as may be necessary to meet the requirements for compaction.
7. Moisture content range (material dependent)
 - a. Not more than 3% above optimum moisture content
 - b. Not less than 5% below optimum moisture content
8. Under roadways and extending one (1) foot beyond proposed curb line as measured perpendicular from the centerline, embankments shall be compacted for the entire depth of the fill.
9. Compaction Requirements
 - a. Top three (3) feet: Minimum of ninety five percent (95%) maximum density as defined by *ASTM D698 / AASHTO T-99*.
 - b. Excluding top three (3) feet: Not less than ninety percent (90%) maximum density

G. Trench Excavation

1. Surface Removal and Topsoil Preservation
 - a. The Contractor shall remove surface materials and obstructions only to the widths necessary for excavation of the trench. All fences, landscaping, and structures not designated for removal shall be protected or, if moved, restored to their original condition after construction is complete. Removal of concrete curbs, gutters, sidewalks, and driveways shall be along existing joints or neatly cut lines.

- b. Where excavation is required under paved areas, the pavement shall be cut in such a manner as to affect a smooth, straight-cut edge, and as a vertical face, six (6) inches minimum beyond the trench wall.
 - c. Clean topsoil suitable for final grading shall be stripped, stockpiled separately in approved location, and restored to the surface after the trench is backfilled.
 - (a) Where excavation is in a lawn-covered area, the sod shall be cut, removed, and replaced after trench filling so as to promote regrowth. Where sod is disturbed, the Contractor shall re-sod with like grass at his own expense.
2. Stockpiling Excavated Material
- a. Excavated material shall be piled in locations that will not endanger the work, create traffic hazards, or obstruct sidewalks and driveways.
 - b. Fire hydrants, valve boxes, manholes, and other utility access points shall be left unobstructed until the work is complete. Gutters and other water courses shall not be obstructed unless other provisions are made for runoff and street drainage.
 - c. All surplus material and excavated material unsuitable for backfilling shall be removed from the site and disposed of in areas secured by the Contractor.
3. Trenching
- a. Trenches shall be excavated to the width necessary to permit the pipe to be laid and jointed properly and backfill materials placed and compacted as required.
 - b. Where conduit is to be installed outside of existing pavement and pipes have an inside diameter of thirty-three (33) inches or less, the trench shall be excavated at pipe level a minimum of sixteen (16) inches wider than the outside diameter of the pipe so that a clear space of not less than eight (8) inches is provided on each side of the pipe.
 - c. For pipes having an inside diameter of thirty-six (36) inches or greater, the trench shall be excavated at pipe level a

minimum of twenty-four (24) inches wider than the outside diameter of the pipe so that a clear space of not less than twelve (12) inches is provided on each side of the pipe.

- (a) Wherever it is necessary to exceed these limits, approval of the Engineer/Town Representative shall be obtained and provisions made for the additional load imposed on the pipe.
- (b) When sheeting is used, the widths indicated above shall be measured to the inside dimension between the sheeting.

4. Bracing and Sheeting of Trenches

- a. All trenches shall be properly braced, sheeted, or otherwise supported to provide safe working conditions and protection of the Work, workers, and adjacent property. Bracing and sheeting shall conform to the recommendations in the *Occupational Safety and Health Administration (OSHA) Standards for Construction*.
- b. A sand box or trench shield may be used in lieu of sheeting and bracing as permitted by OSHA. All trench support materials shall be removed in a manner that will prevent caving of the sides and movement or other damage to the pipe.

5. Trenches with Sloping Sides

- a. In traveled streets, alleys, or narrow easements, only vertical trenches with proper bracing will be allowed.
- b. Where working conditions and right-of-way width permit (as determined by the Engineer/Town Representative), trenches may be excavated with sloping sides in accordance with OSHA requirements. Sloping sides will not be allowed when it requires excavation beyond the limits shown on the approved Construction Drawings.
- c. Where trenches with sloping sides are permitted, the slopes shall not extend below a point twelve (12) inches above the top of pipe. The trench shall be excavated with the vertical sides below this point with widths not exceeding those specified on *Drawing No. 1 – Standard Trench Detail*.

6. Over-Excavating for Rock

- a. When bedrock, boulders, or loose/stony soil are encountered in the trench bottom so that there is the possibility of pipe being subjected to "point" contacts, the trench shall be over-excavated a minimum of six (6) inches. The over-excavated material shall be replaced with Engineer/Town Representative-approved material and compacted.
- b. If blasting is required for rock excavation, all work with explosives shall conform to Federal and State Laws, and OSHA rules and regulations. Any damage caused by blasting shall be repaired by the Contractor at his expense.

7. Unstable Trench Bottom

- a. Where the excavation is found to consist of organic matter, or any other material that the Engineer/Town Representative determines to be unsuitable for supporting the pipe, the trench shall be excavated to an additional depth as directed by the Engineer/Town Representative and replaced with an approved granular stabilization material.
- b. Suitable materials will be determined by the Town/Town Representative shall determine suitability of materials to be used.

8. Trench Bedding

- a. All trenches shall be excavated to at least four (4) inches below the pipe grade and backfilled to grade with approved granular bedding material.
- b. The bedding material shall be hand-shaped and graded until the trench bottom is uniform and free from rocks, bumps, and depressions.
- c. A coupling or bell hole shall be dug at each pipe joint with sufficient length, width, and depth to permit assembly of the joint and provide a minimum clearance of two (2) inches between the coupling and the trench bottom.
- d. If, in the opinion of the Engineer/Town Representative, the pipe is subjected to unusual loading, Class A – Concrete Arch bedding may be required.

- (a) The Contractor shall provide an analysis of the load conditions and the bedding required if directed by the Engineer/Town Representative. Refer to *Drawing No. 3 – Pipe Embedment Detail*.

9. Backfilling Pipes and Structures

- a. During initial backfilling, the Contractor shall take all necessary precautions to prevent movement or distortion of the pipe or structure being backfilled.
- b. Pipe bedding material shall be placed and compacted in even lifts on both sides of the conduit to six (6) inches above the top of the pipe.
- c. Above the bedding material, earth backfill material shall be placed full-width in uniform layers not more than twelve (12) inches thick.
- d. Each layer shall be compacted to the required density with approved mechanical or hand tamping equipment.
- e. Unless otherwise specified or approved by the Engineer/Town Representative, all backfill material shall be placed with moisture-density control in accordance with *Drawing No. 1 – Standard Trench Detail*.
 - (a) Moisture content range
 - (i) Two percent above (+2%) the optimum moisture content
 - (ii) Four percent below (-4%) the optimum moisture
- f. Jetting or water soaking trenches to achieve compaction of the backfill will not be permitted except when:
 - (a) Soil sample tests show that the backfill and excavated trench materials consist of gravel or other granular material having less than fifteen percent (15%) by weight passing on No. 200 sieve.
 - (b) The Engineer/Town Representative has given written approval prior to water soaking.

I. Sidewalks

1. The Town utilizes Standard Specifications for Roadway and Concrete Construction which are based upon *CDOT Standard Specifications for Road and Bridge Construction, 2011*, or latest revision.

J. Storm Water

1. All pollution control devices and best management practices (BMPs) shall be provided and placed so that all potential pollutants will be contained.
2. All access points must be controlled to minimize the tracking of debris on to Town right of away.

IV. INSPECTION AND TESTING

A. Embankments

1. In-Place Density: One test for every six-thousand (6,000) square feet per lift

B. Trenches

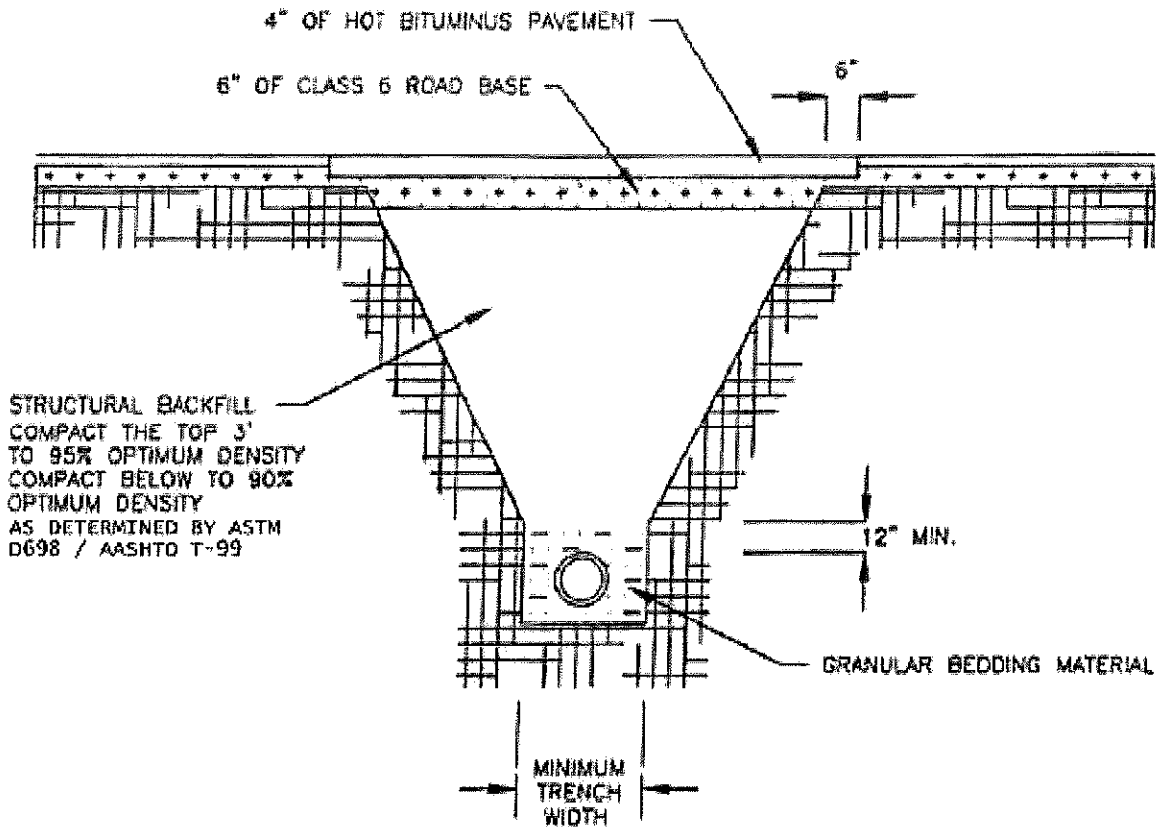
1. For every four-hundred (400) lineal feet of trench and each branch or section of trench less than four-hundred (400) feet in length, at least one compaction test shall be performed for each two (2) foot vertical lift of backfill material placed.
2. The first test shall be taken approximately two (2) feet above the top of pipe, and the last test shall be at the pavement subgrade or six (6) inches below the ground surface in unpaved areas.
3. Compaction tests shall be taken at random locations along the trench and wherever poor compaction is suspected. If any portion of the backfill placed fails to meet the minimum density specified, the area shall be defined by additional tests as necessary and the material in the designated area shall be removed and replaced to the required density at the Contractor's expense.

C. Acceptance

1. All compaction testing shall be performed by an independent soil testing laboratory acceptable to the Town.

2. It shall be the Contractor's responsibility to make necessary excavations in order to accommodate compaction tests or retests at all locations designated.
3. A summary report of all compaction tests shall be submitted to the office of the Engineer/Town Representative. The test results are required as a basis of acceptance of facilities by the Town.

DRAWING NO. 1: STANDARD TRENCH DETAIL



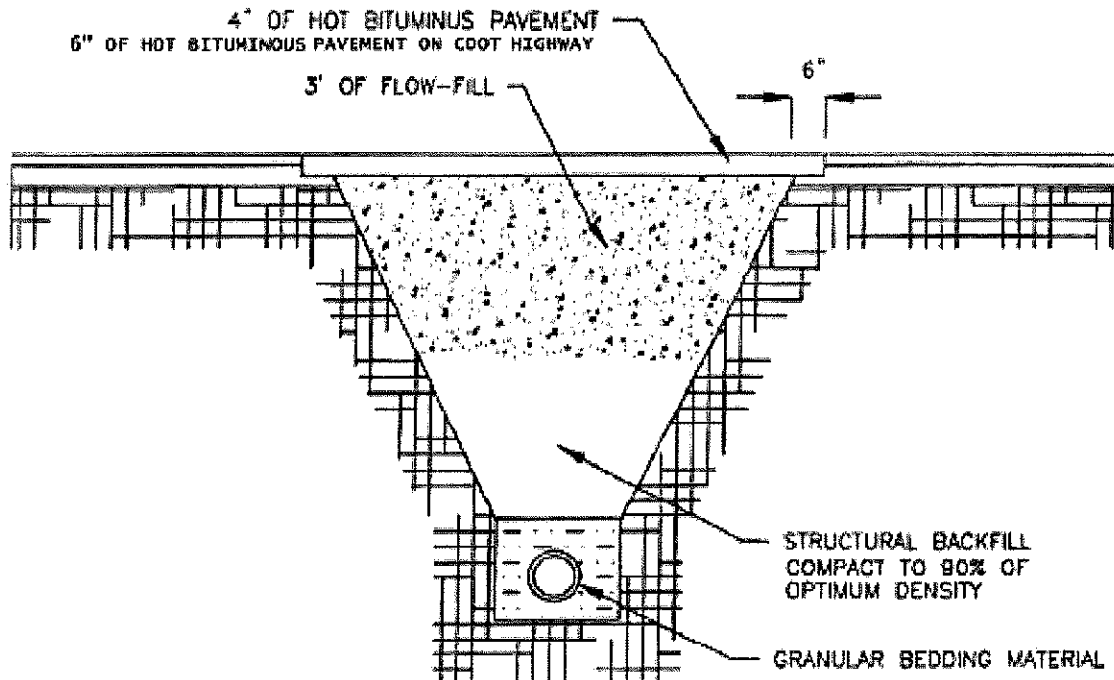
TRENCH WIDTH NOTES:

1. INSIDE DIAMETER PIPE < 33" ALLOW 8" MIN. EACH SIDE OF PIPE
2. INSIDE DIAMETER PIPE > 36" ALLOW 12" MIN. EACH SIDE OF PIPE
3. TRENCH WIDTHS SHALL NOT BE WIDENED BEYOND THESE LIMITS BELOW 12" OVER THE TOP OF THE PIPE.

PAVEMENT PATCHING NOTES:

1. EXISTING PAVEMENT TO BE CUT STRAIGHT 6" FROM THE EDGE OF THE TRENCH
2. IF THE ADJACENT PAVEMENT IS DISTURBED IT SHALL BE RECUT TO A NEAT LINE AND REPLACED.
3. MINIMUM PATCH THICKNESS IS 4" OR MATCHING EXISTING WHICHEVER IS GREATER.
4. MINIMUM PATCH THICKNESS ON CDOT HIGHWAY IS 6"
5. PATCHING SHALL BE COMPLETED WITHIN 48 HOURS OF COMPLETION OF BACKFILL
6. IF HOT BITUMINOUS PAVEMENT IS NOT AVAILABLE COLD PATCH SHALL BE USED, COLD PATCH SHALL BE REPLACED WITH HOT BITUMINOUS PAVEMENT AS SOON AS IT IS AVAILABLE.

DRAWING NO. 2: FLOW-FILL BACKFILL DETAIL



SEE STANDARD TRENCH DRAWING FOR TRENCH WIDTH AND PAVEMENT PATCHING REQUIREMENTS.

EXCEPT:

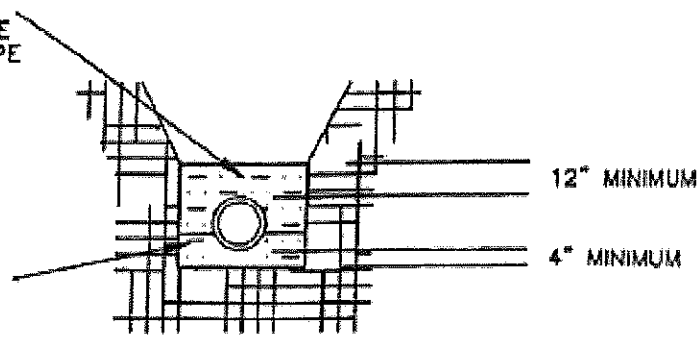
IF HOT BITUMINOUS PAVEMENT IS NOT AVAILABLE THE TRENCH MAY BE FILLED LEVEL TO THE ADJACENT PAVEMENT WITH FLOW-FILL. THE TOP 4" SHALL BE REPLACED WITH HOT BITUMINOUS PAVEMENT AS SOON AS IT IS AVAILABLE.

COMPACTION TESTING NOT REQUIRED ON FLOW-FILL.

DRAWING NO. 3: PIPE EMBEDMENT DETAIL

GRANULAR BEDDING MATERIAL
COMPACT BY SLICING OR
VIBRATORY COMPACTOR ABOVE
THE SPRING LINE OF THE PIPE

GRANULAR BEDDING MATERIAL
COMPACT BY SLICING WITH
A SHOVEL BELOW THE
SPRING LINE OF THE PIPE



CLASS B EMBEDMENT DRAWING

GRANULAR BEDDING MATERIAL SHALL BE PLACED IN 6" MAX. LIFTS

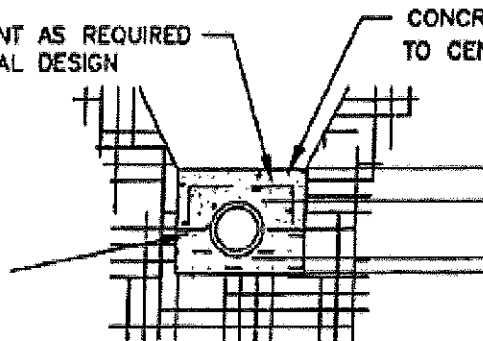
REINFORCEMENT AS REQUIRED
BY STRUCTURAL DESIGN

CONCRETE ARCH ENCASMENT
TO CENTER LINE OF PIPE

GRANULAR BEDDING MATERIAL
COMPACT BY SLICING WITH
A SHOVEL BELOW THE
SPRING LINE OF THE PIPE

6" MIN. OR AS REQUIRED
BY STRUCTURAL DESIGN

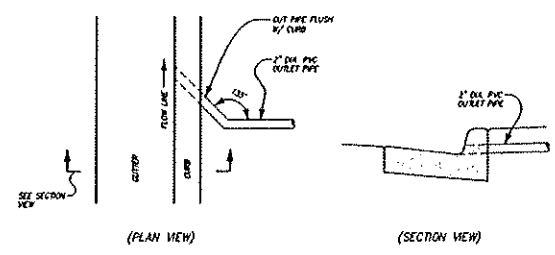
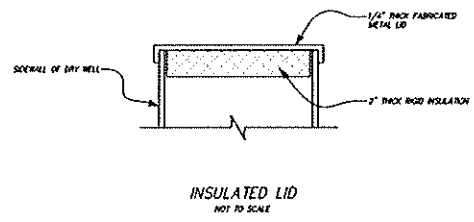
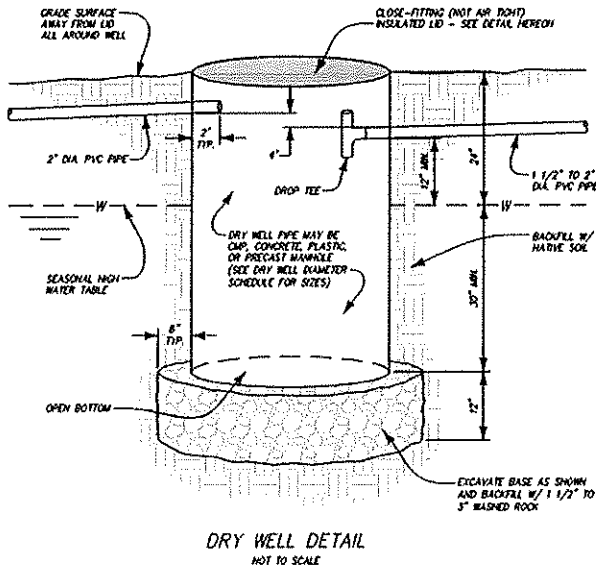
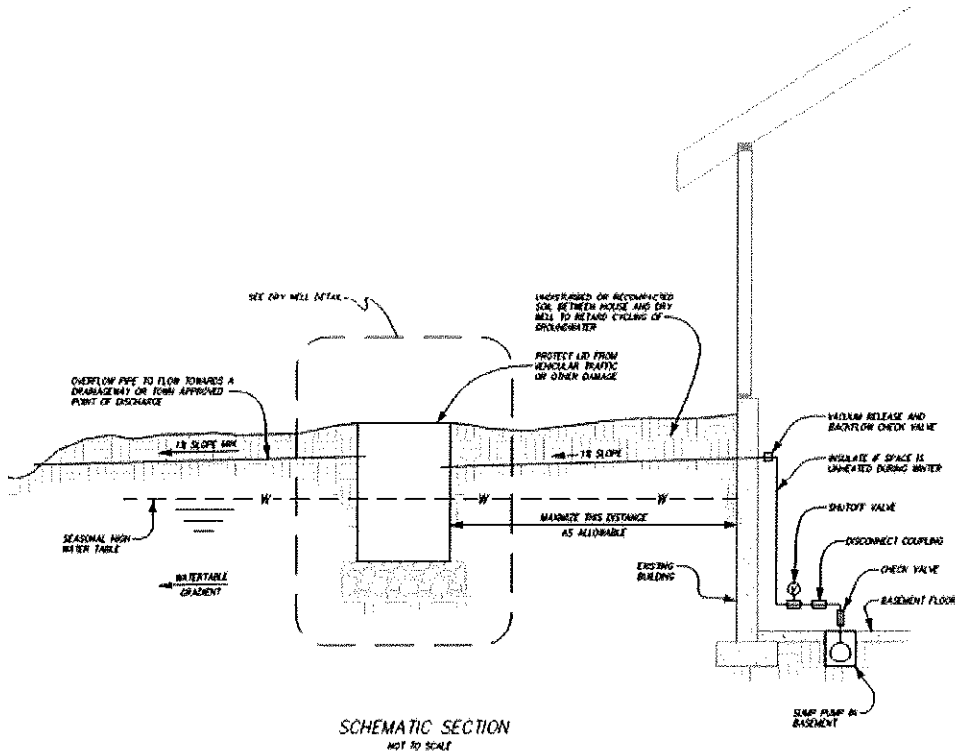
4" MINIMUM



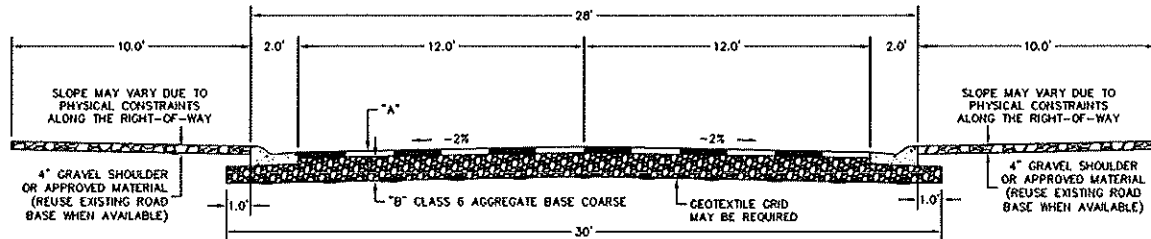
CLASS A EMBEDMENT DRAWING
CONCRETE ARCH ENCASMENT

DRAWING NO. 5: DRY WELL DETAIL

Note: Drawing is an example. Dry well shall be designed for specified flow and approved by the Town.

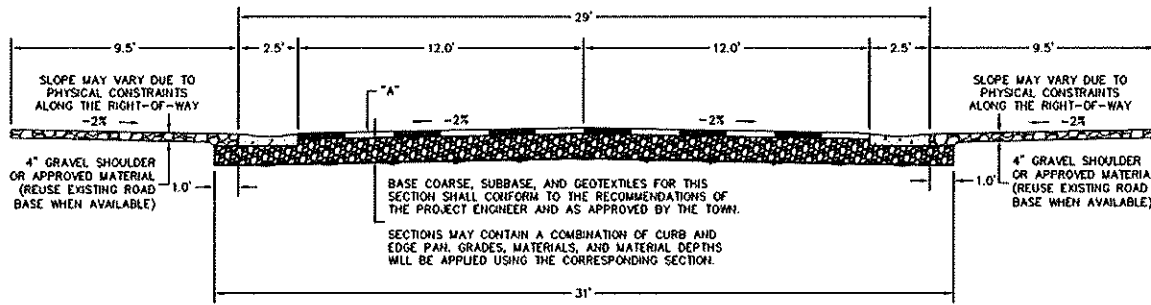


DRAWING NO. 6: STREET STANDARDS (PAGE 1)



TYPICAL ROADWAY - RS2

SCALE 1"=4'

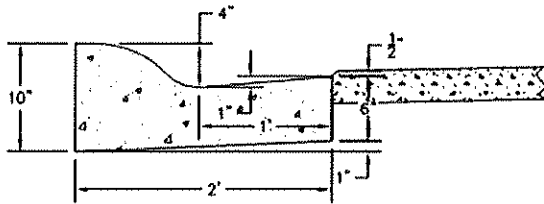


TYPICAL ROADWAY - WITH EDGE PAN

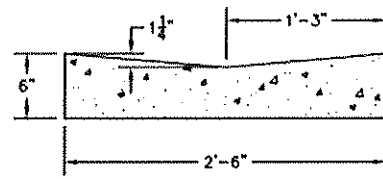
SCALE 1"=4'

ASPHALT WIDTH	24 FEET	ASPHALT SHALL BE A MINIMUM OF 1/2
MINIMUM ASPHALT THICKNESS	3 INCHES	INCH ABOVE THE LIP OF THE GUTTER OF
MINIMUM BASE	6 INCHES	A CATCH CURB AND GUTTER AND PANS.
MINIMUM STRUCTURAL NUMBER	2.1	
ROADWAY CROWN	2.0 %	ASPHALT SHALL BE EVEN WITH THE LIP OF
MAXIMUM GRADE	6.0 %	THE GUTTER OF A SPILL CURB AND
MINIMUM GRADE	0.6 %	GUTTER.
CURB RETURN RADIUS (BACK OF CURB)	15 FEET	

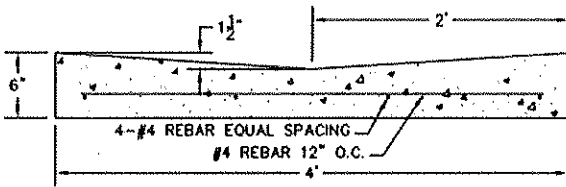
DRAWING NO. 7: STREET STANDARDS (PAGE 2)



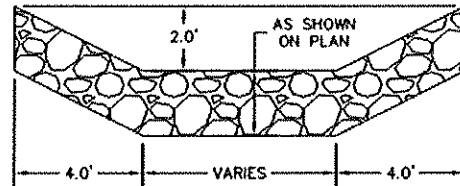
TYPICAL CURB AND GUTTER



TYPICAL EDGEPAN



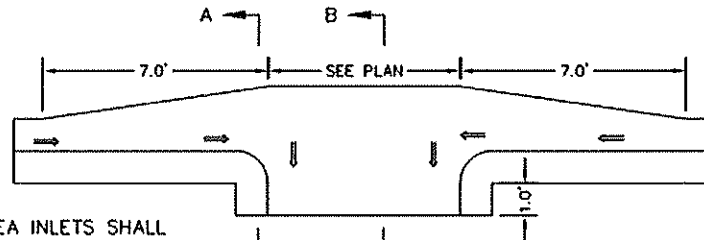
TYPICAL CROSSPAN



ANGULAR - 12" AVERAGE DIAMETER
ROUNDED - 15" AVERAGE DIAMETER

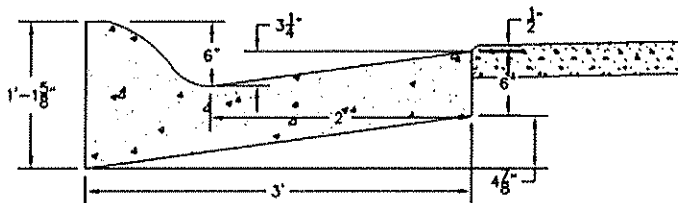
TYPICAL RIP-RAP

NOTE: #4 REBAR SHALL BE PLACED AT 12" O.C. E.W. IN CURB RETURN PANS.

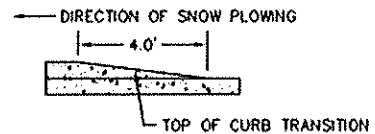


CURB OPENING

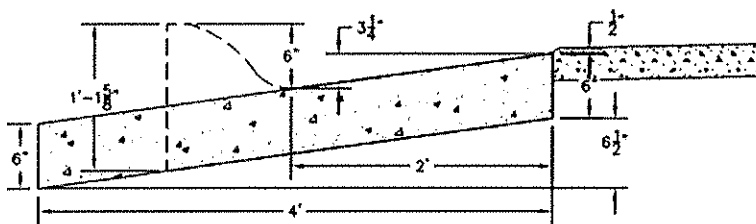
NOTE: CURB AND AREA INLETS SHALL CONFORM TO C.D.O.T. STANDARDS OR AS APPROVED BY THE TOWN.



SECTION A-A



TYPICAL CURB TRANSITION



SECTION B-B

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TOWN OF CRESTED BUTTE
WATER DISTRIBUTION SYSTEM SPECIFICATIONS
SECTION 300

I. SCOPE

- A. The purpose of this Water Distribution System Specification is to set forth the criteria to be used for in the construction of water mains and service lines for approval and acceptance by the Town of Crested Butte.
- B. All excavation and backfilling shall be performed in accordance with *Section 200 – General Earthwork Specifications*.

II. MATERIALS:

A. Pipe Larger than Two (2) Inches

- 1. All water mains shall be a minimum of eight (8) inches in diameter unless approved by the Town.
- 2. Polyvinyl Chloride (PVC) Pipe
 - a. PVC C900, DR 18 unless otherwise approved by the Town.
- 3. Ductile Iron Pipe (DIP)
 - a. DIP for water mains shall conform to *AWWA C151*, Class 52. DIP shall be cement-lined in accordance with *AWWA C104*.

B. Pipe Two (2) Inches and Smaller (Services)

- 1. Service lines shall be constructed with high-density polyethylene (HDPE) pipe or copper pipe and conform to *AWWA C901*, or other if approved by the Town. Refer to *Item N – Service Lines* for further detail.

C. Joints

- 1. DIP joints shall be mechanical, push-on, or restrained push-on joints conforming to *AWWA C111*.
- 2. Joints used for PVC pipe shall be mechanical, push-on, or restrained push-on joints conforming to *ASTM D3139*.

- a. Push-on joints shall conform to *ASTM F477*.
 - b. Restrained push-on joints shall conform to *ASTM A536*.
 - c. Mechanical joint restraints shall conform to *AWWA C110*.
 - (a) EBAA Iron "MEGALUG"
3. Two (2) inch and smaller shall be compression type

D. Gaskets

1. Gaskets shall be of neoprene or other synthetic rubber material.

E. Restrained Push-On Joints

1. American "Lok-Fast" or "Lok-Ring"
2. CLOW "Super-Lock"
3. US Pipe "Lok-Tyton" or "Lok-Tyte"
4. Griffin "Snap-Lock"
5. Pacific States "Thrust-Lock"

F. Restrained Glands

1. EBAA Iron Model No. 1100 series

G. Fittings

1. Fittings shall be ductile-iron conforming to *AWWA C152*, Class 350, and mechanical joints conforming to *AWWA C111* with appropriate gaskets for the connected pipe.
2. Smaller than two (2) inch shall be compression type.

H. Bonding Straps

1. Bonding straps shall be deoxidized copper conforming to *ASTM-B 152-58* D.H.P., a minimum of 1-1/4 inch wide by 1/8 inch thick and of sufficient length to attach to each pipe.
2. Bonding may be accomplished using Cad Weld method for DIP with a minimum wire requirement of No. 4 BSD Copper.

I. Tracer Wire

1. Provide tracer wire for all PVC and HDPE pipe
2. All tracer wire shall be 12 AWG solid copper wire coated with 45 mil Type HMW - PE blue insulation compliant with *ASTM D1351* specifically designed for direct burial in corrosive soil or water
3. UL listed

J. Tracer Wire Test Stations

1. Four (4) inch with locking lid
2. Manufacturers:
 - a. CP Test Services
 - b. Glenn Series "Glenn-4"
 - c. Or accepted substitution

K. Valves and Valve Boxes

1. General
 - a. Valve boxes shall be provided for each valve.
 - b. All valves shall open counter clockwise (open left).
 - c. All valves shall be equipped with a non-rising stem and standard two (2) inch square wrench nut.
 - d. Stems shall provide "o" ring dirt seal and pressure seal packing.
 - e. Valve boxes shall be 2 or 3 piece, buffalo-type, with extension as required.
 - f. Valves twelve (12) inches and larger shall be provided with a bonnet.
 - g. Shafts shall be not less than six (6) inches in diameter and will be capped with a standard flush-type lid weighing not less than ten (10) pounds and marked "WATER".

2. Gate Valves
 - a. Gate valves shall be in accordance with *AWWA C509*, equal to the class of pipe being used, with mechanical joint ends.
3. Butterfly Valves
 - a. Butterfly valves shall be Town approved and shall conform to *AWWA C504*.

L. Fire Hydrants

1. Fire hydrants shall be in accordance with *AWWA C502*.
2. Guardian Model K81A as manufactured by ITT Kennedy Valve.
3. Adjustable grade device (as required by Town): Gradelok or equivalent.

M. Encasements & Thrust Blocks

1. Concrete used for encasements or thrust blocks shall have a minimum compressive strength of two-thousand five-hundred (2,500) psi in twenty-eight (28) days.

N. Service Lines

1. Service lines shall be a minimum of one (1) inch in diameter.
2. All service lines shall be installed with insulated pipe foam from the water main to the water meter.
3. All HDPE pipe shall have coated, solid locating wire attached and accessible at the ground surface.
4. All service lines shall have curb valves placed at property line. Below grade and accessible.

O. Corporation Stops

1. Size: one (1) inch to two (2) inch
2. Style: ball-style
3. Rating: three-hundred (300) psi
4. Materials shall be approved by the Town prior to installation

P. Curb Valves/Stops

1. All curb valves/stops shall be one (1) inch to two (2) inch ball-style curb valves/stops. Materials shall be approved by the Town prior to installation.

Q. Curb Boxes

1. Materials shall be approved by the Town prior to installation.

R. Service Saddles

1. Materials shall be approved by the Town prior to installation.

III. INSTALLATION

A. Depth

1. Pipe shall be installed a minimum of seven (7) feet from top of pipe to proposed grade, whichever is lower.

B. General

1. No pipe shall be laid when, in the opinion of the Town or their representative, trench conditions are unsuitable.
2. All pipe and fittings shall be carefully lowered into the trench by means of a hoist, ropes, or other suitable tools or equipment in such a manner as to prevent damage to the materials, protective coatings, and linings.
3. Under no circumstances shall water main materials be dropped or dumped into the trench.
4. All pipe and fittings shall be carefully examined for cracks or other defects immediately before installation in final position.
5. Every precaution shall be taken to prevent foreign material from entering the pipe while it is being installed.
6. During laying operations, no debris, tools, clothing, or other material shall be placed in the pipe.
7. At times when pipe laying is not in progress, the open ends of the pipe shall be closed by a watertight plug or other means approved by the Town. If water is in the trench, the plug shall remain in place until the trench is pumped completely dry.

8. As each length of pipe is placed in the trench, the spigot end shall be centered in the bell and the pipe forced on and brought to correct line and grade.
9. Where pipe is laid on a grade of ten percent (10%) or greater, the laying shall start at the bottom and shall proceed upward with the bell ends of the pipe up grade.
10. The cutting of pipe for inserting valves, fittings, or closure pieces shall be done in a neat and workmanlike manner without damage to the pipe and so as to leave a smooth end at right angles to the axis of the pipe.
11. Wedging or blocking of the bell or pipe is not permitted for achieving slope before backfilling.

C. Bonding Strap

1. For ductile iron pipe installation, a bonding strap shall be installed across each joint to provide metal to metal continuity. Bonding straps shall be attached at each end by means of magnesium weld or other approved method.

D. Valves

1. Valves shall have the interior cleaned of all foreign matter before installation.
2. Valves shall be inspected in the open and closed positions to ensure that all parts are in working condition.
3. Valves shall be set and joined to pipe/fittings in the manner specified for cleaning, laying, and joining pipe and fittings.

E. Valve Boxes

1. Valve boxes shall be centered and plumb over the wrench nut of the valve with the box cover flush with the level of the finished grade for paved surfaces and slightly below grade for dirt installation. Or at such level as may be directed by the Town.
2. Upon completion of backfill around the valve box, a standard 4 x 4 timber shall be placed vertically next to each valve box, the exposed portion of which shall be at least four (4) feet above finished grade for new construction, where applicable.

F. Fire Hydrants

1. Fire hydrants shall be installed to finished grade elevation. An appropriately sized class 150 valve shall be required with each hydrant, and both shall be installed at the location designated by the Town.
2. Hydrant drainage
 - a. Pervious soil – Provided at the base of the hydrant by placing coarse gravel or crushed stone from the bottom of the trench to at least six (6) inches above the water openings (weep holes) in the hydrant and to a distance of one (1) foot around the elbow.
 - b. Clay or other impervious soils – Provided by a drainage pit two (2) feet in diameter and three (3) feet deep excavated below the hydrant and filled compactly with coarse gravel or crushed stone under and around the elbow of the hydrant and to a level of six (6) inches above the water openings (weep holes).

G. Thrust Protection

1. All plugs, tees, valves, bends, and hydrants or a change in direction of ten (10) degrees or more shall be mechanically restrained to provide 100% thrust protection.
2. Restrained Joint Pipe
 - a. Pipe shall be restrained in each direction from a plug, tee, bend, hydrant, or change of ten (10) degrees or more as shown on *Drawing No. 9 – Restrained Pipe Detail*, unless a design is provided by a Registered Professional Engineer and approved by the Town,
3. Thrust Blocks
 - a. Concrete thrust blocks shall be placed between the solid ground of the trench wall and the fitting.
 - b. The backing shall be so placed that the pipe and fitting joints will be accessible for repair.
 - c. Plastic "cloth" shall be placed between fitting and concrete. Unless a design is provided by a Registered Professional

Engineer and approved by the Town, thrust blocks shall be as shown on *Drawing No. 8 – Thrust Block Detail*.

H. Encasements

1. Prior to placing the concrete for cradles or encasements, temporary supports consisting of concrete blocks or bricks shall be used to support the pipe in place.
2. Not more than two (2) supports shall be used for each pipe length, one adjacent to the shoulder of the bell and the other near the spigot end.
3. No encasements shall be poured until the Town has inspected and approved the pipe and supports to be encased.

I. Water Taps and Services

1. Water taps and services shall be a minimum of seven (7) feet from top of pipe to proposed finished grade.
2. A bonding strap shall be installed on all DIP.
3. Installation of service lines and taps on the water main shall be installed to the property line at the time of water main construction.
4. Install curb valve at the property line with tracer wire accessible at the curb valve location.
5. For all service taps, follow manufacturer recommendations for minimum water main size for direct tapping.
6. Water taps larger than one (1) inch on existing cast iron and ductile iron pipe shall be installed using tees. Saddles will not be acceptable unless approved by the Town.
7. Each two (2) inch and smaller service line that is machine tapped shall be connected to the water main through a brass ball-style corporation stop. The main shall be tapped at twenty-two (22) degrees from the horizontal centerline of the pipe, and the stop must be turned so that the T-handle will be on the side.
8. All copper water service lines shall be installed with a frost loop. See *Drawing No. 12 – Service Connections Detail*.

9. Any water service line installation that crosses an irrigation ditch requires the installation of culvert pipe in the irrigation ditch. Installation and materials shall be approved by the Town.

J. Relationships Between Water System Piping and Sanitary Sewer System Piping

1. "Lines" shall mean all water or sewer mains.
2. When water and sewer lines are within ten (10) feet horizontally of each other and the sewer line is above or less than eighteen (18) inches below the water line, the portion of the sewer line within that area shall
 - a. Be construction of approved waterline pipe and joints (PVC C900);
 - OR
 - b. Be constructed of SDR 35 PVC sewer pipe with all joints and pipe within ten (10) feet of the water line encased in concrete that is a minimum of six (6) inches thick centered on the crossing pipe.
3. In all cases, suitable backfill or other structural protection shall be provided to preclude the settling or failure of both pipes.
4. Crossings of sewer and water lines shall not be at an angle less than forty-five (45) degrees, unless approved by the Town.
5. See *Drawing No. 11 – Sanitary Sewer – Water Pipe Crossing Detail*.

IV. INSPECTION AND TESTING

The Contractor shall furnish all labor, equipment, tools, water, and other incidental items required to conduct the tests. Test results are not considered valid without the presence of the Engineer/Town Representative throughout the test.

A. Water Main Pressure Testing

1. Water mains shall be tested for pressure and leakage in accordance with *AWWA C600* and as specified herein.
2. No pressure testing shall be performed until all thrust blocks have been placed and cured, and the pipeline backfilled adequately to prevent any movement or lifting of the pipe. Pavement or other

permanent structures shall not be placed until all testing are satisfactorily completed.

3. Test Pressure

- a. The test pressure for all pipes shall be fifty percent (50%) more than the maximum operating pressure, as determined by the Town, at the lowest elevation of the test section, but shall be a minimum of one-hundred fifty (150) psi at any elevation in the test section.

4. Filling

- a. The pipeline shall be filled with potable water at least twenty-four (24) hours before being subjected to the hydrostatic pressure test. Each section of pipeline shall be filled slowly and all air expelled by means of taps at points of highest elevation.

5. Leakage

- a. The specified test pressure shall be applied by means of a pump connected to the pipe in a manner satisfactory to the Town. The leakage test shall be performed for a minimum of two (2) hours. No pipe installation will be accepted if the leakage for the section of line being tested is more than the rate calculated using a standard formula.

$$L = \frac{ND\sqrt{P}}{7,400}$$

where:

- L = testing allowance, gallons per hour
- N = number of joints in the tested line
- D = nominal pipe diameter, inches
- P = average test pressure, psi

Table 2620-1 Hydrostatic Testing Allowance per 1000 ft. of Pipeline (gph)

Avg. Test Pressure (psi)	Nominal Pipe Diameter (in.)												
	3	4	6	8	10	12	14	16	18	20	24	30	36
450	0.48	0.64	0.96	1.27	1.59	1.91	2.23	2.55	2.87	3.19	3.82	4.78	5.73
400	0.45	0.60	0.90	1.20	1.50	1.80	2.10	2.40	2.70	3.00	3.60	4.50	5.41
350	0.42	0.56	0.84	1.12	1.40	1.69	1.97	2.25	2.53	2.81	3.37	4.21	5.06
300	0.39	0.52	0.78	1.04	1.30	1.56	1.82	2.08	2.34	2.60	3.12	3.90	4.68
275	0.37	0.50	0.75	1.00	1.24	1.49	1.74	1.99	2.24	2.49	2.99	3.73	4.48
250	0.36	0.47	0.71	0.95	1.19	1.42	1.66	1.90	2.14	2.37	2.85	3.56	4.27
225	0.34	0.45	0.68	0.90	1.13	1.35	1.58	1.80	2.03	2.25	2.70	3.38	4.05
200	0.32	0.42	0.64	0.85	1.06	1.27	1.49	1.70	1.91	2.12	2.55	3.19	3.82
175	0.30	0.40	0.60	0.79	0.99	1.19	1.39	1.59	1.79	1.99	2.38	2.98	3.58
150	0.28	0.37	0.55	0.74	0.92	1.10	1.29	1.47	1.66	1.84	2.21	2.76	3.31
125	0.25	0.34	0.50	0.67	0.84	1.01	1.18	1.34	1.51	1.68	2.01	2.52	3.02
100	0.23	0.30	0.45	0.60	0.75	0.90	1.05	1.20	1.35	1.50	1.80	2.25	2.70

6. Leakage is defined as the quantity of water to be supplied to the section of pipeline being tested, which is necessary to maintain the specified leakage test pressure after the pipe has been filled with water and the air expelled.

B. Water Main Disinfection

1. After completion of pressure testing and prior to being placed into service, all new water mains and repaired portions or extensions of existing mains shall be chlorinated by the Contractor in accordance with *AWWA C651*.
2. Disinfection can be completed simultaneously with pressure test if approved by the Town.
3. Valves shall be manipulated so that the strong chlorine solution in the line being treated will not flow back into the line supplying the water. Check valves may be used if desired.
4. Preliminary Flushing
 - a. Sections of pipe to be disinfected shall first be flushed to remove any solids or contaminated material that may have entered the pipe.
 - b. If a hydrant was not installed at the end of the main, then a 2-1/2 inch tap shall be installed in order to flush the line.

- c. Preliminary flushing can be eliminated if approved by the Town.
- 5. Form of Applied Chlorine
 - a. Chlorine shall be applied by one of the methods described in *AWWA C651*, subject to approval by the Town.
 - b. Per *AWWA C651*, tablet chlorination is only acceptable if installed pipe is clean and free of debris and groundwater during installation.
 - c. If the "tablet method" is utilized, then flushing shall take place after chlorination.
- 6. Point of Application
 - a. The prepared point of application of the chlorinating agent is at the beginning of the pipeline extension or any isolated section of it, and through a corporation stop inserted in the pipe.
 - b. The water injector for delivering the chlorinated water into the pipe shall be supplied from a tap made on the pressure side of the gate valve controlling the flow into the pipeline extension.
 - c. Alternate points of application may be used when approved or directed by the Town.
- 7. Retention Period
 - a. Treated water shall be retained in the pipe for at least twenty-four (24) hours.
 - b. After the retention period, the chlorine residual at pipe extremities and at other representative points shall be at least twenty-five (25) mg/L.
- 8. Final Flushing, Neutralization, and Testing
 - a. All chlorinated water shall be neutralized to a chlorine residual of no greater than one (1.0) ppm before discharge as approved or directed by the Town.
 - b. Following chlorination, all treated water shall be thoroughly flushed from the newly laid pipe at its extremity until the

replacement water throughout its length shows upon testing a chlorine residual of less than one (1) mg/L.

C. Chlorinating Valves and Hydrants

1. In the process of chlorinating newly laid pipe, all valves and other appurtenances shall be operated while the pipeline is filled with the chlorinating agent and under normal operating pressure.
2. After final flushing, and before the water main is placed in service, bacteriologic tests shall be performed in accordance with *AWWA C651*.

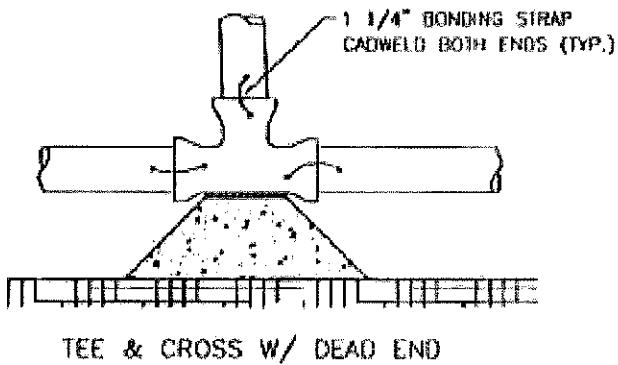
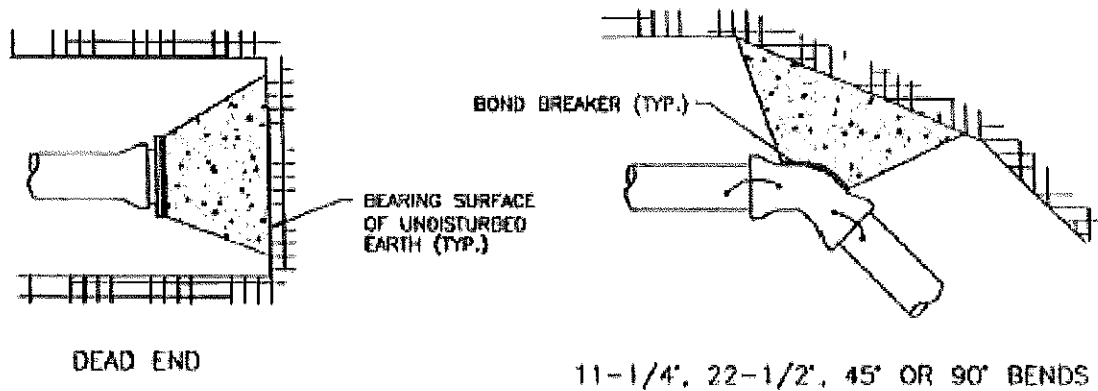
D. PVC Water Pipe Continuity Testing

1. Notify Town 24 hours in advance to schedule testing
2. Test tracer wire for continuity, in the presence of Owner and Engineer, after backfill is complete and before Substantial Completion
3. Continuity test to consist of locating the PVC water pipe with an electronic-type pipe locator
4. If test is negative for continuity, repair or replace as necessary to achieve continuity

E. Trench Backfill Compaction Testing

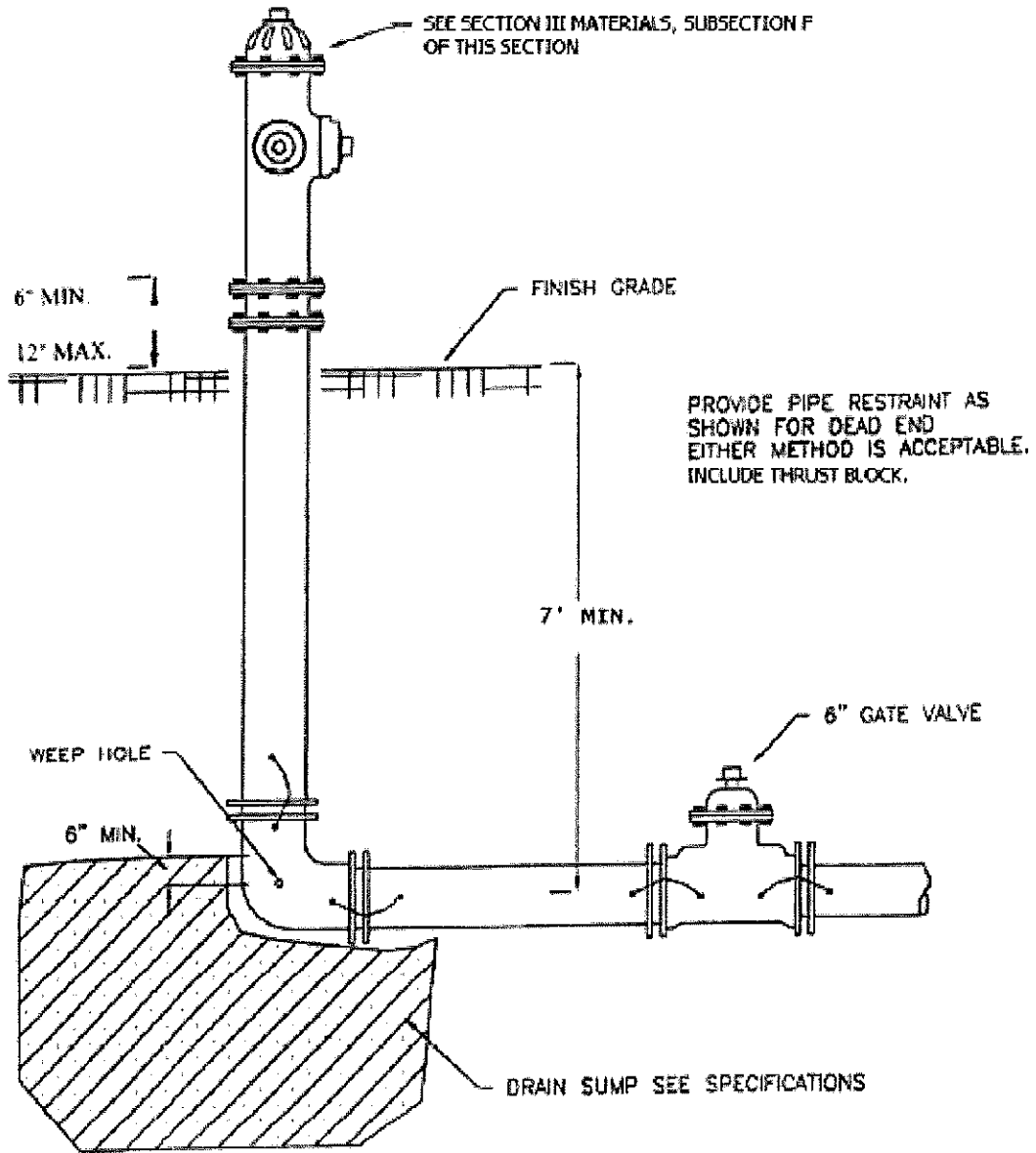
1. Testing shall be performed according to *Section 200 – General Earthwork Specifications, Part IV – Inspection and Testing*.

DRAWING NO. 8: THRUST BLOCK DETAIL

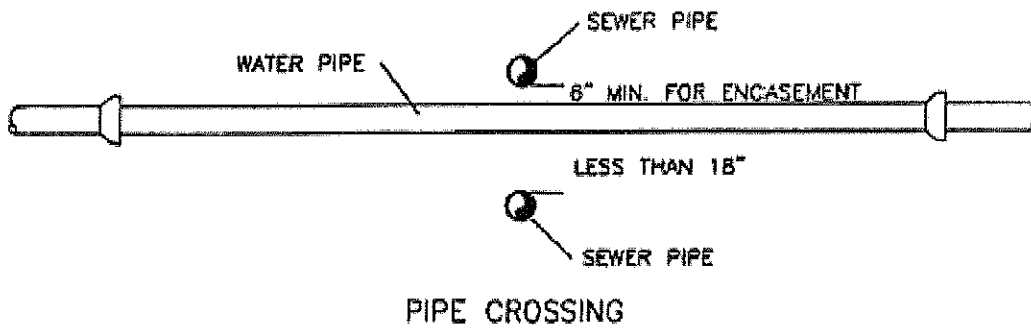
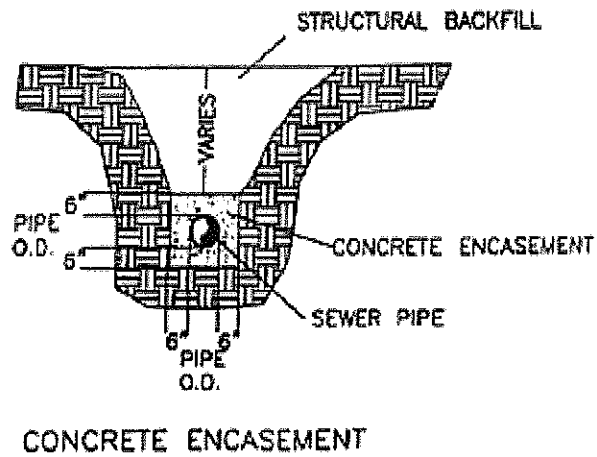


- NOTES:
1. ALL FITTINGS REQUIRING THRUST BLOCKS SHALL BE WRAPPED IN POLYETHYLENE BOND BREAKER MATERIAL.
 2. CONCRETE SHALL NOT BEAR ON BOLTS OF MECHANICAL JOINT FITTINGS.
 3. PIPE AND FITTINGS MAY BE EITHER MECHANICAL JOINT OR PUSH ON JOINT.

DRAWING NO. 10: STANDARD FIRE HYDRANT DETAIL

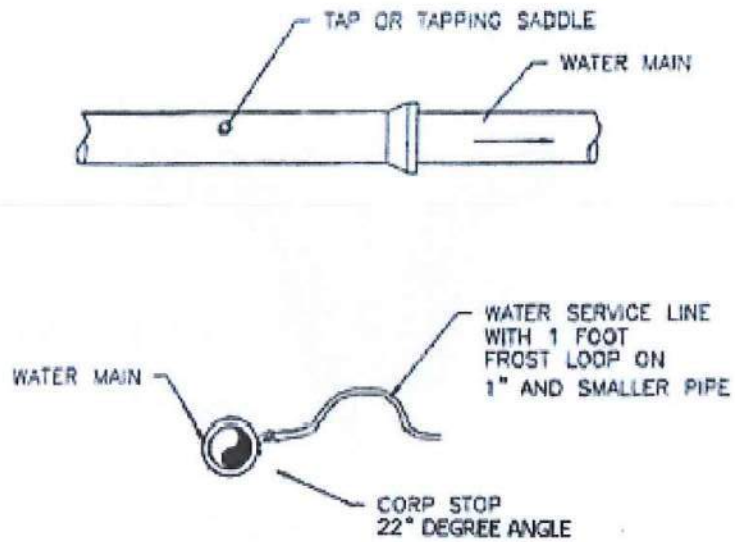


DRAWING NO. 11: SANITARY SEWER – WATER PIPE CROSSING DETAIL

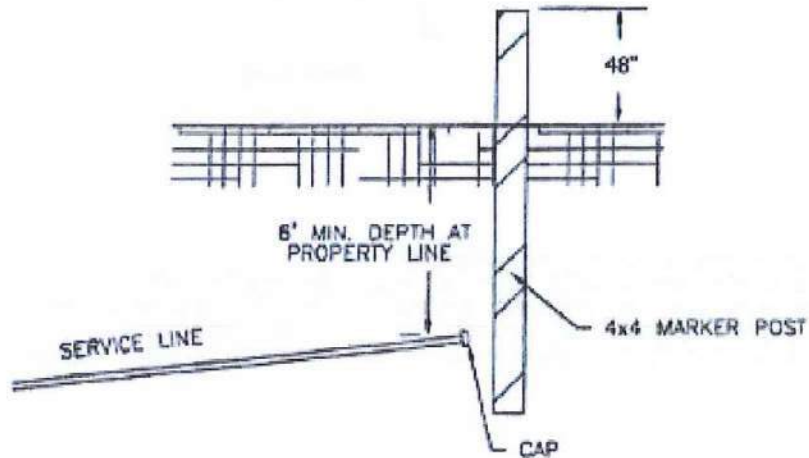


NOTE:
 IF THE SEWER PIPE IS ABOVE THE WATER PIPE
 OR IF THE SEWER PIPE IS LESS THAN 18" BELOW THE WATER PIPE
 THE SEWER PIPE MUST BE CONCRETE ENCASED TO PROTECT THE WATER PIPE.
 SEE SPECIFICATION SECTION 500 OR 600 FOR PROTECTION REQUIRED.
 PROTECTION MUST EXTEND A MINIMUM OF 10' EACH WAY FROM THE CROSSING.

DRAWING NO. 12: SERVICE CONNECTIONS DETAIL



DRAWING NO. 13: WATER SERVICE MARKER DETAIL



TOWN OF CRESTED BUTTE
SANITARY SEWER SYSTEM SPECIFICATIONS
SECTION 400

I. SCOPE

The purpose of the Sanitary Sewer System Specification is to set forth the criteria to be used in the construction of sanitary sewer mains, services, manholes, and lift stations for approval and acceptance by the Town of Crested Butte.

All requests for information on the Town's wastewater system shall be made via Wastewater System Division. The Town makes no representation that released documents and files (e.g. record drawings, maps, reports, studies, etc.), hard copy or otherwise, or the information they contain, are accurate, current, or complete.

II. MATERIALS

A. Gravity Sanitary Sewer Main

1. All sanitary sewer mains shall be constructed with SDR 35 PVC, C900 PVC, or other as approved by the Town.

B. Sanitary Sewer Pressure Main

1. Four (4) inch minimum inner diameter
2. Ductile iron with 316 stainless steel nuts and bolts unless otherwise approved by the Wastewater Division
 - a. Provide cathodic protection or polyethylene encasement.
3. High-Density Polyethylene (HDPE): may be permitted provided thermal expansion factors are considered. Approval from Town required for installation.
 - a. Provide tracer wire.

C. Fittings

1. PVC Sewer Pipe: Double-gasket push-on joints, for sanitary use
 - a. "Mission" (rubber) couplings are only to be used upon Town approval.

- b. Push on type plastic or PVC fittings without sanitary sewer sweeps shall not be permitted.
- 2. PVC C900
 - a. Inside diameter shall correspond with inside diameter of the C900 PVC pipe installed.
 - (a) "Lips" at improperly specified fitting can snag solids resulting in hydraulic flow constrictions.
- 3. No-hub cast iron pipe
 - a. Town approved cast iron or stainless steel fittings required

D. Manholes

- 1. Size: Four (4) foot diameter with two (2) foot cones
- 2. Manholes shall be pre-cast reinforced concrete. Cast-in-place reinforced manholes may be used upon approval from the Town.
- 3. Rubber boots shall be used on all manhole penetrations. Grouting the inside of the penetration shall also be performed.
- 4. Manholes shall have a protective inside coating.
- 5. Manholes shall be provided without rungs.
- 6. Over lapping joints and rub'r-nek gaskets, or similar product, shall be used at all barrel section joints.
- 7. Standard-sized frames and covers shall be specified as depicted in standard details on approved Construction Drawings.
- 8. Coatings
 - a. Interior: Tnemec or Sherwin Williams as specified below,
 - (a) Filler – Tnemec Series 218 as needed to fill voids and bugholes
 - (b) First coat – Tnemec Series 66HS, thinned 10%, @ 100 sfpg
 - (c) Second coat – Tnemec Series 66HS @ 160 sfpg

(d) Third coat – Tnemec Series 66HS @ 160 sfpg

OR

(e) Filler – Sherwin Williams Dura-Plate 2300 as needed to fill voids and bugholes

(f) First coat – Sherwin Williams Dura-Plate 235, thinned 10%, @ 100 sfpg

(g) Second coat – Sherwin Williams Dura-Plate 235 @ 160 sfpg

(h) Third coat – Sherwin Williams Dura-Plate 235 @ 160 sfpg

b. Exterior (as required by Town)

(a) Bituminous Dampproofing Exterior Coating

c. Manufacturers:

(a) Tnemec

(b) Sherwin Williams

(c) Or approved equal

E. Service Lines and Connections

1. Four (4) inch minimum inner diameter unless otherwise approved by the Town
2. SDR 35 PVC, C900 PVC, or SCH 40 PVC
3. Service taps into sewer mains shall use a factory tee or wye, gasket saddle wye or gasket fitting in conjunction with a repair sleeve coupling. If a new sewer main is installed with pre-taps, a factory tee or wye is recommended.
4. A saddle wye must be gasketed with all stainless steel clamps.

F. Lift Stations

1. 3-phase, 480V, 4-wire, if available

2. Backup power supply required. This can be in the form of external connections and a transfer switch to accommodate a portable generator.
3. Davit crane: Thern Commander 5PT10G with Pedestal Base.
4. Wet Well Internal Coating: protective coating consistent with *Item D.8 – Coatings*, above, or as approved by the Town.
5. Materials and Equipment Within Wet Well
 - a. Mechanical and Electrical: Explosion Proof.
 - b. Hardware: Stainless Steel
6. Horizontal Well Coverings: Open fully (minimum 90 degrees), and equipped with a device to prevent accidental closure.
7. Provide a concrete pad around the wet well hatch with a minimum diameter of ten (10) feet.
8. Emergency Bypass Hose Connection Assembly
 - a. Connection assembly to the pressure main exiting the lift station to allow a station lift bypass with a portable pump
 - b. The hose connection assembly shall be equipped with a plug valve in the closed position and a four (4) inch coupling type cam-lock connectors (female) with a protective cam-lock (male).
9. Isolation valves: Plug type.
10. Pumps: Submersible wastewater pumps. Pump type shall be approved by Town.
 - a. Minimum four (4) inch suction and discharge
 - b. Quantity: Two (2) Installed; One (1) Shelf Spare
 - c. Grinder Pumps shall not be permitted.
 - d. Removable without entering the wet well.
 - e. Each pump shall have an hour meter installed at the control panel.

11. Any special tools required for such work as operation, calibration, adjustment, or service maintenance must be provided to the Town and listed in the O & M manual.
12. Electrical Control System
 - a. Control system brand, type, and configuration shall be approved by the Town.
 - b. Control circuitry must be configured so that failure of any single component does not disable both pumps.
 - c. Control boxes must be designed to operate in -40 to 100 degree F ambient temperature and meet NEMA standards.
 - d. Provide a convenience receptacle on its own circuit located near the electrical control system.
 - e. Wet well must be equipped with an ultrasonic level sensor with a float back up. Type of sensor must be approved by Town.
 - f. Lift station alarms
 - (a) Red alarm light (visible from the nearest road) and audible alarm (audible from 100 feet) to indicate a high level situation.
 - (b) Red or yellow light visible from the nearest road indicating pump motor seal failure and overheat conditions
 - (c) Alarm dial out capability with a twenty-four (24) hour back up. The dialer must call out when the high level alarm signals and/ or in the event of a power failure.

G. Air Release/ Vacuum Relief Valves

1. Designed specifically for sewage applications
2. All interior mechanical components shall be fabricated of stainless steel. Valves with plastic components are not acceptable.
3. Air release/vacuum relief valves are required on all force mains and shall be equipped with fittings to allow for back flushing

H. Pressure Cleanouts

1. Constructed with viton-gasket stainless steel pressure blank covers, or approved equal.

III. INSTALLATION

A. General

1. The Contractor shall be responsible for providing and maintaining temporary power as necessary to maintain normal system operations.
2. Spills
 - a. The Contractor is responsible for any costs associated with sewage spills resulting from construction operations, which may include, but are not limited to, clean-up, regulatory fines, and/or penalties that may be imposed by environmental regulatory agencies (EPA and/or CDPHE).
 - b. The Contractor shall reimburse the Town for any emergency response effort that may be required by Government forces to mitigate the adverse effects of any sewage overflow or spill resulting from the Contractor's operations.
3. For any new concrete surface that will be exposed to sewage flow, the Contractor shall maintain sewage bypass/diversion operations for the duration of the specified cure time for the concrete.
4. Connection strategies to existing asbestos cement sanitary sewer mains require Town approval
5. Abandoning
 - a. Prior to the abandonment of any sanitary sewer main, the Contractor shall fill the pipe with flowable fill.
 - b. Manholes to be abandoned shall have its cone section removed and disposed of, pipe penetrations plugged with class "c" concrete and the remaining riser structure backfilled and compacted to finished grade.

B. Bypass Pumping

1. To the maximum extent practical sewage flow shall not be interrupted.

2. The Contractor is responsible for diverting sewage as necessary for performance of work.
3. The Town shall not perform sewage diversion operations on behalf of the Contractor. The Contractor shall supply all labor and equipment necessary to completely perform the work.
 - a. This may include, but is not limited to, bypass pumps, tank trucks, temporary piping/hoses, etc.

C. Sanitary Sewer Mains

1. General
 - a. The Contractor is required to properly protect and cover PVC pipe staged at the job site from ultraviolet radiation.
 - b. Install sanitary sewer mains in the Town right-of-way.
 - c. Structures (including but not limited to buildings, backflow preventers, transformer pads, mechanical equipment, and anchor walls) shall not be built over new or existing sewer lines.
 - d. As a general rule-of-thumb, consider a 1:1 depth to width sewer line excavation clearance. For structures that can transmit live loads to the foundation (e.g. flag poles, utility poles), a structural or soils engineer should establish the appropriate horizontal setback distance, but in no instance, shall any structure be located closer than three (3) feet from any sewer line.
 - e. Minimum pipe cover shall be six (6) feet.
 - f. All sewer lines must be identified with metallic buried warning and identification tape.
 - g. Separation for potable water mains shall be per *Section 300 – Water Distribution System Specifications, Part III – Installation, Item J – Relationships Between Water System Piping and Sanitary Sewer System Piping*, and *Drawing No. 11 – Sanitary Sewer – Water Pipe Crossing Detail*.
 - h. Trees shall not be planted closer than twenty (20) feet, and shrubs/hedges not closer than five (5) feet from a new or existing sewer line. Also, in the event that excavation for

future repairs to the underground utility lines become necessary, the Town shall not fund for removal, relocation, disposal, or replacement of any affected planting.

- i. Wedging or blocking of the bell or pipe is not permitted for achieving slope before backfilling.
 - j. Pipe shall be laid upgrade from structure to structure, with bell end upgrade unless otherwise directed or permitted by the Engineer.
2. Pressure Mains
- a. Appropriate air release provisions shall be installed at all high points in the pressure main where air can accumulate.
 - b. If isolation valves are installed in a pressure main, install pressure cleanouts immediately downstream of the isolation valve.
 - c. The blank cover for the valve shall be installed such that the cleanout flange face is parallel to the finished grade, twelve (12) inches below grade, and within a manhole structure.
 - d. Sewer force main shall be marked with detectable warning tape to identify the pipe as a sewer force main to prevent accidental water service taps.

D. Manholes

1. Location
 - a. Install outside of drainageways, including but not limited to, valley pans, curb and gutter lines, sump depressions, or drainage swales where rainfall or snow melt runoff can accumulate.
 - b. Manholes and valve structures shall be located in roadway areas or in serviceable vehicle corridors.
 - c. Install so as to ensure that maintenance vehicles are not forced to drive over grassed lawns or landscaped areas.
 - d. Adequate clearance between the edge of a building (wall and roof line) and other structures shall be provided to enable repair of the lines by use of heavy equipment.

2. A manhole is required at the commencement of a sewer main.
3. A stub out in a manhole may be required if deemed necessary by the Town for future expansion.
4. Drop manholes are to be avoided to the maximum extent practical.
 - a. Only inside drop manholes will be permitted.
5. Changes in direction of flow through the manhole shall be made with a smooth, curved channel having as large a radius as possible.
 - a. The change in size of channels shall be made gradually and evenly and shall be formed directly in the concrete.
 - b. The floor of the manhole outside of the channel shall be finished to a smooth surface and shall slope to the channel.
 - c. The minimum thickness of the base shall not be less than eight (8) inches under the invert of the manhole channel.
6. No sanitary sewer services shall be tied directly into any manhole structure, unless authorized by the Wastewater Division.
7. Connections to manholes
 - a. Influent pipe connections to manholes shall be made at the properly channelized invert of the manhole, whether it is a direct connection or a drop connection.
 - b. "Waterfall" type connections are not permitted.
 - c. All pipe penetrations shall be made perpendicular to the circumference of the manhole. Angled deflections at existing flow channels are not be permitted.
 - d. Pipe penetrations into manholes shall not extend more than one inch past the manhole wall.
 - e. Connection to existing manholes where there is no existing pipe stubbed out shall be made in such a manner that the finished work will conform to the maximum extent practical to the essential requirements specified for new manholes.
 - (a) The Contractor shall core an opening in the existing manhole to insert the pipe.

- (b) A rubber gasket and grout shall be used to seal the penetration.
 - (c) Existing concrete foundation bench shall be shaped to the cross-section of the new pipe in order to form a smooth continuous invert.
 - (d) Cement grout shall be used as necessary to smoothly finish the new invert.
8. Manhole frames shall be firmly (structurally) affixed to the top of manhole cone and grouted around the ring of the frame.
 9. All manhole frames and covers shall be adjusted to new finished grade.

E. Service Lines and Connections

1. Approval from the Wastewater Division is required before tapping any sanitary sewer main.
 - a. The Contractor shall provide the Town with at least three (3) days notice prior to tapping any sanitary sewer main.
 - b. This includes approval of the date and time of the tap.
 - c. No sewer main shall be tapped without a representative from the Town present.
2. Minimum pipe cover for sewer services is five (5) feet.
3. Service connections shall be made in the top quarter of the main.
4. Contractor shall identify the material of the main and have the proper saddle.
5. Holes for saddle connections shall be made by mechanical hole cutters and shall be the full diameter of the service line.
 - a. Holes shall be de-burred and carefully beveled to provide a smooth hole shaped to conform to the fitting.
6. For all building sewers, including housing units, a sanitary cleanout shall be installed within five (5) feet from the building line.
 - a. Additional building sewer cleanouts shall be installed at intervals not to exceed one-hundred (100) feet in straight

runs and at each horizontal change in direction in a sanitary sewer service.

F. Lift Stations

1. Check valves, isolation valves, and emergency bypass attachments must be installed in a valve box outside of the wet well.
2. The lift station must be accessible to maintenance vehicles.
3. The area within twenty (20) feet diameter of the lift station must maintain the same grade as the wet well hatch. The area within 20 feet diameter of the lift station as well as along the access way to the lift station must have twenty (20) feet of vertical clearance.
4. Service Connections to Lift Stations
 - a. No sewer services may be connected to the lift station wet well without prior authorization from the Wastewater Division.
 - b. No services may be connected to the influent line of the lift station until final approval is obtained.
5. Contractor shall post laminated copy of electrical wiring diagram which depicts all breakers, relays, controls, switches, alarm system, etc. at the lift station

IV. INSPECTION AND TESTING

A. General

1. Testing shall not occur unless a representative from the Town or its agent is present.
2. All pressure and leakage testing shall be performed by the contractor under direct control of the Engineer or an approved representative.
3. The final testing and approval shall only occur after backfilling and compaction. The Contractor may request that a preliminary test be performed prior to backfilling.
4. A visual inspection by the Town is required before any sewer line or manhole is covered.
5. The Town may require secondary testing if further construction if performed on the line or adjacent lines that is judged to have weakened the integrity of the tested line.

6. In the event that service taps are pre-tapped, all testing and inspection shall be performed after the last pre-tap has been made.
7. Notification
 - a. Provide Town staff with a minimum of three (3) working days for final acceptance inspection of the new sanitary sewer main construction and sanitary sewer service tap and construction.

B. Backfill and Compaction Testing

1. Trench backfill compaction testing shall be performed according to *Section 200 – General Earthwork Specifications*.

C. Gravity Sanitary Sewer Main Pressure Testing – Air

1. On all sanitary sewer mains, the Contractor shall conduct pressure testing using low-pressure air testing.
2. Contractor shall provide all labor, equipment, and any additional items necessary to perform the air test.
3. For sanitary sewer mains installed above the ground water table, the following procedure shall be followed:
 - a. Plugging
 - (a) Isolate section of sanitary sewer main to test using inflatable stoppers or other suitable test plugs.
 - (b) Plug and cap ends of all branches, laterals, wyes, tees (including factory tees), etc., that are included in the test section.
 - (c) Securely brace all plugs or caps to prevent blow-out.
 - (d) One of the end plug caps shall include an inlet tap to connect portable air source.
 - b. Connect air hose to the inlet tap.
 - c. Add air solely to the test section until pressure reaches four (4) psig
 - d. Allow pressure to stabilize such that a pressure between four (4) psig and three point five (3.5) psig is maintained for at least two (2) minutes.

- e. Disconnect air supply and decrease the pressure to three point five (3.5) psig before starting test.
- f. Use the Time-Pressure Drop Method to determine if the segment of pipe is "acceptable".
- a. Minimum specified time required for a one (1.0) psig pressure drop based on size and length of pipe is included in the following table:

Pipe Diameter (inches)	Specification Time for Length Shown (Minutes : Seconds)							
	100ft	150ft	200ft	250ft	300ft	350ft	400ft	450ft
8	7:34	7:34	7:34	7:34	7:36	8:52	10:08	11:24
10	9:26	9:26	9:26	9:53	11:52	13:51	15:49	17:48
12	11:20	11:20	11:24	14:15	17:05	19:56	22:47	25:38
15	14:10	14:10	17:48	22:15	26:42	31:09	35:35	40:04
18	17:00	19:13	25:38	32:03	38:27	44:52	51:16	57:41
21	19:50	26:10	34:54	43:37	52:21	61:00	69:48	87:31

D. Pressurized Sanitary Sewer Main Pressure Testing (Force Mains)

- 1. Test all sanitary sewer force mains in accordance with the Hydrostatic Testing Requirements of *AWWA C600*.
 - a. All force mains shall be given a hydrostatic test of at least one point five (1.5) times the shutoff head of the connected pumps or one-hundred fifty (150) psi, whichever is greater.
 - b. Labor, equipment, and supplies required for the test shall be furnished by the Contractor.
 - (a) The test pressure shall not exceed the rated pressure of the valves in the pipeline.
 - c. Loss of water pressure during test shall not exceed five (5) psi in a two (2) hour period.
 - d. Where practicable, test between line valves or plugs in lengths of not more than one-thousand five-hundred (1,500) feet.
 - e. Procedure
 - (a) Slowly fill pipe with water; the specified test pressure shall be applied by means of a pump connected to the pipe.

- (b) The pump, pipe connection, pressure gauges, and all necessary apparatus except the gauges, shall be provided by the Contractor.
 - (c) Prior to applying the specified test pressure, all air shall be expelled from the pipe.
 - (i) If permanent air vents are not located at all high points, the Contractor shall install corporation cocks at such points so the air can be expelled as the line is filled with water.
 - (d) After all the air is expelled, the corporation cocks shall be closed and the test pressure applied.
- f. Minimum test duration is two (2) hours.
 - g. Where leaks are visible at exposed joints and/or evident on the surface where joints are covered, the Contractor shall repair the joints, retighten the bolts, relay the pipe, or replace the pipe until the leak is eliminated, regardless of total leakage as shown by the hydrostatic test.
 - h. Polyethylene encasement damaged from repairs must also be properly repaired or replaced to the satisfaction of the Town.
 - i. All pipe, fittings, and other materials found to be defective under test shall be removed and replaced at the Contractor's expense.
 - j. Lines that fail to meet test requirements shall be repaired and retested, as necessary, until test requirements are met.
 - k. The Contractor shall not operate any valves on existing water mains. This shall be done by the Town.
 - l. No pipe installation will be accepted if the leakage is greater than that determined by the formula and table included in *Section 300 – Water Distribution System Specifications, Part VI – Inspection and Testing, Item A.5 – Leakage*.

E. Manhole Water Exfiltration Testing

- 1. All new manholes shall be hydraulically tested. Labor, equipment, and supplies required for the test shall be furnished by the Contractor.

2. Manholes shall be tested after installation with all connections in place.
 - a. Lift holes, if any, shall be plugged with an approved, non-shrinkable grout prior to testing.
 - b. Drop connections (if approved) shall be installed prior to testing.
 - c. The water exfiltration test shall include testing of the seal between the cast iron frame and the concrete cone, slab, or grade rings.
 - d. The manholes shall be backfilled and finished to design grade prior to testing.
 - e. If a coating or lining is to be applied to the interior of the manhole, the water exfiltration test shall not be performed until the coating or lining has cured according to the manufacturer's recommendations.

3. Procedure
 - a. The maximum leakage allowance for all manholes shall be 0.025 gallons per foot diameter per foot of depth, and maintained for at least one (1) hour.
 - b. The inlet and outlet of the manhole being tested shall be sealed with watertight plugs or bulkheads, and the manhole shall be filled with water until the elevation of the water is above the interface of the concrete and the casting.
 - c. The test level shall be clearly marked in the manhole.
 - d. The manhole shall be filled and maintained full of water for a period of at least twenty-four (24) hours prior to the start of the test.
 - e. If the water level in the manhole drops during this twenty-four (24) hour period, the level shall be raised to the test level mark prior to start of the test.
 - f. All vent holes in the lid shall be plugged and the lid shall be installed prior to start of the test.

- g. The test shall last a minimum of one (1) hour. Once the test begins, the manhole lid shall only be removed in the presence of the Town or Town's representative.
 - h. Exfiltration shall be determined by measuring the amount of water required to raise the water level back to the marked level at the end of the test period.
 - i. The manhole shall be considered to pass the water exfiltration test if the measured exfiltration is less than or equal to the allowable leakage specified in *Item E.3.a – Procedure*, above.
- 4. If a manhole fails the water exfiltration test, the manhole shall be repaired with a non- shrinkable grout or other material approved by the Town. The water exfiltration test shall then be repeated until a satisfactory test is obtained.
 - 5. All observed leaks shall be corrected even if exfiltration is within the allowable limits.
 - 6. All temporary plugs shall be removed after each test.

F. Deflection Testing

- 1. All new sanitary sewer lines shall be deflection tested.
- 2. Maximum deflection for pipe joints shall be limited to eighty percent (80%) of the deflection recommended by the manufacturer.

G. Televising

- 1. On contracts that involve the construction of new sanitary sewer mains (manhole-to-manhole), the replacement of sanitary sewer main pipe with new sewer pipe (manhole-to-manhole), or for projects where subsequent heavy grade compaction is performed after the laying of sanitary sewer mains, the Contractor shall provide a digital video inspection of the interior of the constructed sewer main.
- 2. The video shall include a progressive video recording of the main section using standard pipeline video equipment.
- 3. The equipment used to video-document the interior of the main shall either be equipped with an inclinometer indicator that portrays the slope of the main on the video recording, or the video shall be recorded with partial flow in the main (or with a fully wetted invert)

such that an assessment can be made of the trueness of grade (workmanship).

4. The video shall clearly depict all pipe joint sections and service taps along the entire length of pipe in a continuous recording sequence with included linear distance measurements to each service.
5. An inspection report shall be provided to the Wastewater Division with digital videos (CD or USB format) for review and approval. Report shall include:
 - a. Length of pipe between manholes
 - b. Pipe material and diameter
 - c. Slope of pipe
 - d. Distance from starting manhole to service laterals
6. The Town shall have fourteen (14) working days after receiving the video inspection and report to review and approve.

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**CRESTED BUTTE FIRE PROTECTION DISTRICT
NEW EMERGENCY SERVICES CAMPUS**

CR 317 and Slate River, Gunnison County, CO (North Crested Butte)

Schematic Design Package 01 – Central Administration, Fire, and Emergency Services (HQ)

APPENDIX D

**CRESTED BUTTE FIRE PROTECTION DISTRICT
NEW EMERGENCY SERVICES CAMPUS**

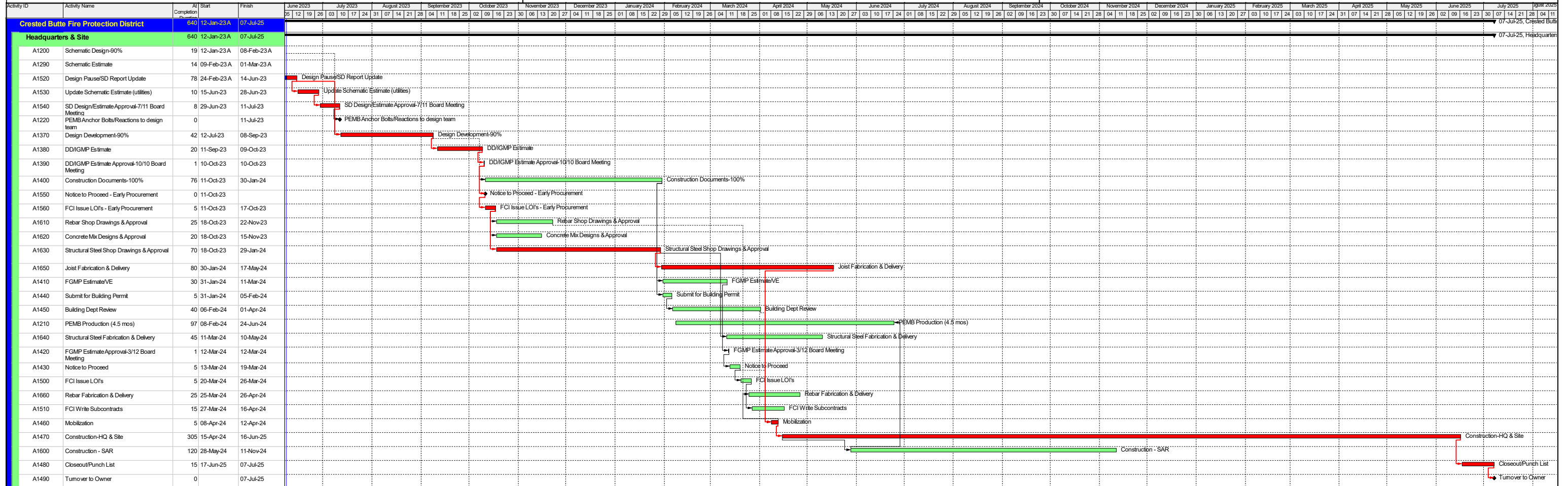
CR 317 and Slate River, Gunnison County, CO (North Crested Butte)

Schematic Design Package 01 – Central Administration, Fire, and Emergency Services (HQ)

REVISION LOG

Revision 1

6/14/2023



█ Actual Work
 █ Critical Remaining Work
 ▶ Summary
█ Remaining Work
 ◆ Milestone

RETURN TO:
GVRHA
202 E. Georgia Avenue
Gunnison, CO 81230

LARKSPUR LOTS EM2 and EM3 GUNNISON COUNTY MASTER DEED RESTRICTION

THIS ~~LARKSPUR LOTS EM2 and EM3 GUNNISON COUNTY MASTER DEED RESTRICTION~~ (“Restriction” or “Restrictions”) is entered into this ____ day of _____, 202_+ by the Crested Butte Fire Protection District (the “Grantor”), and each the Gunnison Valley Regional Housing Authority of Gunnison, Colorado, and Gunnison County (~~the~~ together referred to as “Beneficiaries” and individually “Beneficiary”) which are duly organized under and by virtue of the laws of the State of Colorado. The ~~Grantor~~Owner and Beneficiaries are sometimes referred to herein collectively as the “Parties” and individually as “Party.”- This Restriction replaces and supersedes in its entirety any other previous deed restriction regarding occupancy and resale encumbering the Property, defined below.

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1. Property Subject to Deed Restriction. The following real property (the “Property”) is hereby made subject to these Affordable Housing Restrictions (“Restrictions”):
LOTS EM2 and EM3, LARKSPUR SUBDIVISION as identified on the plat titled “PLAT OF LARKSPUR LOCATED WITHIN THE E1/2NE1/4 SECTION 12 T14S,R86W, 6TH PRINCIPAL MERIDIAN, COUNTY OF GUNNISON, STATE OF COLORADO dated August 21, 2006, bearing reception # 568254

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Commonly known as 30 Nicky Ct and 12 Nicky Ct, Crested Butte, CO 81224

WHEREAS, the Beneficiaries, acting as the original declarant, intend to create a valid and enforceable covenant running with the land that assures that all of the Property hereby existing or to be developed on the Property will be used solely by individuals who are either Qualified Owners or Qualified Occupants (as such terms are hereinafter defined), subject to limited exceptions provided for herein; and

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WHEREAS, both the Grantor and the Beneficiaries recognize the public need for attainable and affordable housing for the workforce and working families of Gunnison County, particularly within the Gunnison Valley; and

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WHEREAS, under this Restriction the Grantor and Beneficiaries intend, declare, and covenant that the regulatory and restrictive covenants set forth herein governing the use of the Property described and provided for herein shall be and are hereby made covenants running with the land and are intended to be and shall be binding upon the Beneficiaries and Grantor, and all subsequent owners of such Property for the stated term of this Restriction, unless and until this Restriction is released and terminated in the manner hereafter described.

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2. Definitions

i. AREA MEDIAN INCOME (AMI) means the median income for Gunnison County

adjusted for household size, as established and defined in the most recent annual schedule published by the U.S. Department of Housing and Urban Development (HUD).

ii. CAPITAL IMPROVEMENT means any fixture erected as a permanent improvement to the Property excluding repair, replacement, maintenance costs, and sweat equity.

iii. COUNTY shall mean the Board of County Commissioners of Gunnison County, Colorado.

iv. GUIDELINES mean the most current Gunnison Valley Regional Housing Authority Housing Guidelines or Gunnison County Housing Guidelines if the Gunnison Valley Regional Housing Authority ceases to exist or is replaced by some other entity, in effect at the time of closing on a sale or transfer of the Property or at the commencement date of a lease or other occupation agreement, or its successor document, as amended from time to time and attached hereto as Exhibit A.

v. FIRST MORTGAGE means a deed of trust or mortgage that is recorded senior to any other deeds of trust or liens against the Property to secure a loan used to purchase the Property by a Mortgagee.

vi. HOUSEHOLD means one or more persons who intend to live together on the Property as a single housekeeping Property.

vii. HOUSING AUTHORITY means the Gunnison Valley Regional Housing Authority. Unless expressly stated otherwise in this Deed Restriction, "Housing Authority" shall refer to the Gunnison Valley Regional Housing Authority, except that if the Gunnison Valley Regional Housing Authority ceases to exist or is replaced by some other entity, "Housing Authority" shall refer to the County.

viii. MAXIMUM RESALE PRICE means the maximum Purchase Price that shall be paid by any purchaser of the Property, other than the initial purchaser who acquires the Property from the Beneficiaries that is determined in accordance with the provisions of Section 6.iii of this Restriction. The Maximum Resale Price is not a guaranteed price, but merely the highest price an Owner may obtain for the sale of the Property.

ix. MORTGAGEE means any bank, savings and loan association, or any other institutional lender that is licensed to engage in the business of providing purchase money mortgage financing for residential real property and that is the beneficiary of a deed of trust or mortgage encumbering the Property.

x. NON-QUALIFIED OWNER or NON-QUALIFIED TRANSFEREE means an Owner that is not a Qualified Owner.

xi. NET WORTH means the estimated sum of the assets of the Qualified Owner or Qualified Occupant. The term *Asset* refers to liquid assets such as cash in savings, checking or other forms of bank accounts and stocks, bonds or other instruments that can readily be converted to cash. The most recent Assessed Value as provided by the applicable Assessor's Office will be used to determine the value of real estate holdings, regardless of set-offs by

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encumbrances, costs of sale or holding, or percent of ownership interest. Assets in a qualified retirement plan and other non-liquid assets such as personal belongings or intangible assets will not be included in the asset limitations for each income category.

xii. OWNER means the Grantor and any subsequent buyer, heir, devisee, transferee, grantee, owner or holder of title to the Property, or any portion of the Property.

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xiii. PUBLIC ENTITY means local government or special district organized for the sole purpose of serving the public. Special districts which limit service to a Home Owner's Association or Property Owner's Association shall be excluded.

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xiv. PURCHASE PRICE means all consideration paid by the purchaser to the seller for the Property.

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xv. QUALIFIED OWNER means (1) the Grantor; (2) either or both Beneficiaries, or (23) a natural person who meets the following requirements at the time that he/she takes ~~initial~~ ownership interest or transfer of interest in the Property as qualified by the Beneficiaries:

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a. Is employed by or is an active volunteer member of Grantor the Crested Butte Fire Protection District or other Public Entity working a minimum of 30 hours per week on an annual basis as documented with the United States Internal Revenue Service, within Gunnison County, or has a qualified employment contract with an employer in Gunnison County that has been accepted by the Beneficiaries; and

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b. Except as provided for in Section 4.i.b. and 4.1.c., does not own any interest in other improved residential property(s). A purchaser who owns residential real estate must convey all interest in said residential property(s) prior to taking initial ownership or transfer of interest of the Property; and

Commented [MH1]: Decline change – concern about whether District sells interest – also against county policy to allow minimal employees; non-starter and BAFO

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c. A qualified household shall not have a net worth that exceeds four (4) times the income based on the AMI applicable to actual household size of a prospective purchaser, such AMI set by HUD annually and adjusted for household size; and:

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d. Shall occupy the Property as his/her sole and exclusive primary residence at all times during the ownership of the Property.

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OR

a. Has maintained his/her primary and sole residence in Gunnison County, Colorado for six (6) consecutive months immediately preceding taking initial ownership or transfer of interest in the Property or has a qualified employment contract with an employer in Gunnison County that has been accepted by the Beneficiaries; and

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b. Has earned his/her primary (80% or more) source of income working a minimum of 30 hours per week on an annual basis, as documented with the United States Internal Revenue Service, within Gunnison County, or has a qualified employment contract with an employer in Gunnison County that has been accepted by the Beneficiaries; and

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- c. Except as provided for in Section 4.i.b. and 4.1.c., does not own any interest in other improved residential property(s). A purchaser who owns residential real estate must convey all interest in said residential property(s) prior to taking initial ownership or transfer of interest of the Property; and
- d. A qualified household shall not have a net worth that exceeds four (4) times the income based on the AMI applicable to actual household size of a prospective purchaser, such AMI set by HUD annually and adjusted for household size.
- e. Income restrictions are applicable at the time of qualification, when taking an initial ownership interest in the Property, and shall be verified by the Beneficiaries. Income guidelines are based on the Area Median Income (AMI) set by HUD annually and adjusted for household size. At the time of initial ownership or transfer of interest the combined household income shall not exceed 150% of AMI; and
- f. Shall occupy the Property as his/her sole and exclusive primary residence at all times during the ownership of the Property.

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~~xv-xvi.~~ **QUALIFIED OCCUPANT** means a person who meets the following requirements at the time he or she takes initial occupancy of the Property as qualified by the Beneficiaries:

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- a. Is employed by or is an active volunteer member of Grantor the Crested Butte Fire Protection District or other Public Entity working a minimum of 30 hours per week on an annual basis as documented with the United States Internal Revenue Service, within Gunnison County, or has a qualified employment contract with an employer in Gunnison County that has been accepted by the Beneficiaries; and

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- b. Except as provided for in Section 4.i.b. and 4.1.c., does not own any interest in other improved residential property(s). A purchaser who owns residential real estate must convey all interest in said residential property(s) prior to taking initial ownership or transfer of interest of the Property; and

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- c. A qualified household shall not have a net worth that exceeds four (4) times the income based on the AMI applicable to actual household size of a prospective purchaser, such AMI set by HUD annually and adjusted for household size; and-

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OR

- d. Shall occupy the Property as his/her sole and exclusive primary residence at all times.

- a. Has maintained primary and sole residence in Gunnison County, Colorado for three consecutive months immediately preceding taking initial occupancy of the Property or has a qualified employment contract with an employer in Gunnison County that has been accepted by the Housing Authority; and

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- b. Has earned his/her primary (80% or more) source of income working a minimum of 30 hours per week on an annual basis, as documented with the United States Internal Revenue Service, within Gunnison County, or has a qualified employment contract with an employer in Gunnison County that has been accepted by the Beneficiaries;

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and

- c. Except as provided for in Section 4.i.a. and 4.i.c., does not own any interest in other improved residential property(s). An occupant who owns residential real estate must convey all interest in said residential property(s) prior to taking initial occupancy of the Property; and
- d. A qualified household shall not have a net worth that exceeds two (2) times the income based on the AMI applicable to actual household size of a prospective occupant, such AMI set by HUD annually and adjusted for household size; and
- e. Income restrictions are only applicable at the time of taking initial occupancy and shall be verified by the Beneficiaries. Income restrictions are based on the Area Median Income (AMI) set by HUD annually and adjusted for household size. At the time of initial occupancy, the combined household income shall not exceed 150% of AMI; and
- f. Shall occupy the Property as his/her sole and exclusive primary residence.

~~xvi~~^{xvii}. TRANSFER means an act of a Party, or of the law, by which the title to a Property is wholly or partially transferred to another; including but not limited to the sale, assignment voluntary, involuntary or by operation of law (whether by deed, contract of sale, gift, devise, bequest, trustee's sale, deed in lieu of foreclosure, or otherwise) of any interest in the Property, including but not limited to a fee simple interest, a joint tenancy interest, a tenancy in common, a life estate, a leasehold interest or any interest evidenced by a land contract by which possession of the Property is transferred and Owner retains title, except that, this definition does not include any transfer of an interest by the Beneficiaries.

If reviewed and approved in writing by the Beneficiaries prior to occurrence the following transfer(s) are exceptions to the definition, provided that the new Owner, other than an estate, shall use the Property as his/her principal residence:

- a. A transfer resulting from the death of an Owner where the transfer is to the spouse or domestic partner who is also a Qualified Owner.
- b. A transfer resulting from a decree of dissolution of marriage or legal separation or from a settlement incidental to such a decree by which a transfer is made to a spouse who is also a Qualified Owner.

3. Restriction Runs with the Land and Interests.

- a. This Restriction shall constitute covenants running with title to the Property as a burden thereon, for benefit of, and enforceable by, each of the Beneficiaries, and their successors and assigns, and this Restriction shall bind the Beneficiaries and all subsequent Owners and occupants of the Property. Each Owner and Qualified Occupant, upon earlier of acceptance of a deed or lease to the Property or executing this Restriction, shall be personally obligated hereunder for the full and complete performance and observance of all covenants, conditions, and restrictions contained

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herein during the Owner's period of ownership or Qualified Occupant's tenancy, as may be appropriate. Each and every Transfer or lease of the Property, for all purposes, shall be deemed to include and incorporate by this reference, the covenants contained in this Restriction, even without reference to this Restriction in any document of conveyance.

- b. Neither Beneficiary may sell, transfer or assign their interest in the Restriction without the express written permission of the other. If one of the Beneficiaries ceases to exist, that Beneficiary's interest in the Restriction shall be deemed to be assigned to the remaining Beneficiary. In the event of a dispute between the Beneficiaries regarding interpretation, enforcement or otherwise of this Restriction or any portion of it, the position of Gunnison County shall prevail.

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4. Ownership, Use, Occupancy and Rentals.

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i. Ownership.

- a. Qualified Owner(s). The ownership of the Property is hereby, and shall henceforth be, limited exclusively to Qualified Owner(s) which shall include the parties described and approved as set forth in Section 4.ii. In the event that the Property is occupied without compliance with this Restriction, the Beneficiaries shall have the remedies set forth herein, including but not limited to the rights under Section 8 herein.

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- b. Employee Housing. Upon the written consent of the Beneficiaries, which consent may be recorded, a non-qualifying natural person or entity that owns or operates a business located in and serving the county may purchase the Property, provided, however, that by taking title to the Property, such Owner shall be deemed to agree to the rental restrictions set forth herein, and further that any Owner who does not meet the definitions of both a Qualified Owner and Qualified Occupant shall rent the Property to a natural person(s) who does meet the definitions of a Qualified Occupant, and shall not occupy or use the Property for such Owner's own use or leave the Property vacant except as otherwise provided herein.

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- c. Rental Projects. Upon the written consent of the Beneficiaries, which consent may be recorded, a non-qualifying natural person or entity may own the Property for the purpose of operating a rental project. However, by taking title to the Property, such Owner shall be deemed to agree to the rental restrictions set forth herein, and further that any Owner who does not meet the definitions of both a Qualified Owner and Qualified Occupant shall rent the Property to a natural person(s) who does meet the definitions of a Qualified Occupant, and shall not occupy or use the property for such Owner's own use or leave the Property vacant except as otherwise provide herein.

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- ii. Use and Occupancy. Except as provided for in Section 4.i.b and 4.i.c here in, the use and occupancy of the Property is hereby, and shall henceforth be, limited exclusively to Qualified Owner(s) or Qualified Occupant(s), his or her spouse and child(ren) and other immediate family members.

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iii. Rental of Property.

- a. Qualified Owner(s). An owner may not, except with prior written approval of the Beneficiaries' conditions of approval, rent the Property to a Qualified Occupant(s) for ~~no~~ less than six (6) months ~~and no~~ more than one (1) year and occurring not more than once every five (5) years. All rentals must comply with the current Guidelines. The foregoing notwithstanding, Grantor may rent the Property to a Qualified Occupant that is an employee or volunteer of Grantor for any period of time.
- b. Employee Housing. A non-qualifying natural person or entity that owns the Property, pursuant to Section 4.i.b, may rent the Property for any period of time. All renters must be Qualified Occupants. Any occupancy of the Property pursuant to sections 4.i.b and 4.iii.b shall not exceed two persons per bedroom, unless the Beneficiaries approve otherwise.
- c. Rental Projects A non-qualifying natural person or entity that owns the Property, pursuant to Section 4.i.c, may rent the Property for any period of time. All renters must be Qualified Occupants. Any occupancy of the Property pursuant to Sections 4.i.c and 4.iii.c shall not exceed two persons per bedroom, unless the Beneficiaries approve otherwise.
- iv. Roommates. The requirements of this Restriction shall not preclude the Owner from sharing occupancy of the Property with non-owners on a rental basis provided that the non-owner(s) is also a Qualified Occupant. Owner continues to occupy the Property as his/her sole and primary residence and meets the obligations contained in this Restriction, including the definition of Qualified Owner or Qualified Occupant. Short-term rentals/roommates are strictly prohibited.
- v. No Indemnification or Waiver of Immunity. Nothing herein shall be construed to require either of the Beneficiaries to protect or indemnify the Owner against any losses attributable to a rental including, but not limited to, non-payment of rent or damages to the Property; nor to require either of the Beneficiaries to obtain a Qualified Occupant for the Owner in the event that none is found by the Owner. In addition, nothing herein shall be construed as a waiver by ~~anyeither~~ of the Parties' Beneficiaries' governmental immunity provided by the Colorado Governmental Immunity Act or other applicable law.
- vi. Initial Finance and Refinance Restriction.
 - a. At the time of the purchase of the Property the original principal amount of any indebtedness secured by a First Mortgage shall not exceed an amount equal to one hundred percent (100%) of the Purchase Price paid for the Property by that Owner, subject to the Guidelines.
 - b. An Owner may refinance a First Mortgage that encumbers the Property with the consent of the Beneficiaries; provided, however, that the original principal amount of any refinanced indebtedness secured by a First Mortgage shall not exceed an amount equal to ninety-seven percent (97%) of the then current Maximum Resale Price limit.

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vii. Ownership Interest in Other Residential Property. Except with respect to a Non-Qualified Owner permitted to purchase a Property as set forth in Section 4 or Grantor, if at any time the Owner also owns any interest alone or in conjunction with others in any other developed residential property in or out of the County, the Owner shall immediately list such other property interest for sale and sell his or her interest in such property. In the event said other property has not been sold by the Owner within one hundred twenty (120) days of its listing required hereunder, then the Owner shall immediately list his or her Property for sale pursuant to Section 8.v. of this Restriction. In the case of an Owner whose business is the construction and sale of residential properties or the purchase and resale of such properties, the properties that constitute inventory in such Owner's business shall not constitute "other developed residential property" as that term is used in this Section 4.vii. provided that the Owner is not occupying any of the inventoried properties for residential or commercial purposes.

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viii. Compliance. Any Owner of the Property is required to comply with annual certifications to the Beneficiaries that they are in compliance with the requirements of this Restriction. The Housing Authority acknowledges and recognizes that the income and net worth of a Qualified Owner or Qualified Occupant may increase over time, however, such increases over the maximum income and net worth requirements at initial purchase or occupancy shall not constitute a default of this Restriction.

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5. Initial Purchase Price. Upon completion of construction of the Property, the Property ~~shall~~ may be sold to a Qualified Owner, ~~except as provided for in Section 4.i. of this Restriction,~~ at an affordable Purchase Price as determined by the Guidelines or rented to a Qualified Occupant.

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6. Transfer of Property.

i. Resale. No Transfer of the Property shall occur subsequent to the original purchase from the County or the Beneficiaries, except upon full compliance with the procedures set forth in this Section 6. In the event the Property is sold and/or conveyed without compliance with this Restriction, such sale and/or transfer shall be wholly null and void and shall confer no title whatsoever upon the purported buyer.

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ii. Notice of Intent. The Property shall not be sold or transferred without prior submission by the Qualified Owner to the Housing Authority of a written Notice of Intent to Sell or Transfer Affordable Housing Unit as set forth in Exhibit C attached hereto.

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iii. Maximum Resale Price.

a. The initial purchase price of the Property shall be the basis for calculating the Maximum Resale Price in accordance with this Restriction and the Guidelines in effect at the time of listing the Property for sale.

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b. The Maximum Resale Price of the Property shall be limited to be no more than the following calculation:

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The Maximum Resale Price may not exceed the sum of: (i) the Purchase Price paid by the Owner for the Property, plus: (ii) an increase of two percent (2%) of such Purchase Price per year (prorated at the rate of 1/12 for each whole month, but not compounded annually) from the date of the Owner's purchase of the Property to the date of the Owner's Notice of Intent to Sell the Property; plus (iii) an amount equal to any special improvement district assessments, if applicable and not transferable, paid by the seller during the seller's ownership of the Property; (iv) the cost of Permitted Capital Improvements made to the Property by the Owner as set forth in Exhibit D attached hereto.

- c. Permitted Capital Improvements. The amount for Permitted Capital Improvements shall not exceed ten per cent (10%) of the original purchase price for an initial ten (10) year period. For every ten (10) year period from the earlier of the date of the original purchase of the Property or the execution of this Restriction, another ten (10) per cent of the purchase price may be added to the value of the Property for Capital Improvements. In calculating such amount, only those Permitted Capital Improvements identified in Exhibit C hereto shall qualify for inclusion. Seller's contributed labor or "sweat equity" shall not be part of the cost of an eligible improvement.
- d. Pursuant to the Guidelines, each Owner shall be responsible for ensuring that at the Transfer of his or her Property, the same is clean, the appliances are in working order, and that there are no health or safety violations regarding the Property. Prior to the sale of the Property the Beneficiaries are authorized to take necessary actions and incur necessary expenses for bringing the Property into saleable condition. Such actions and expenses include, but are not limited to, cleaning the Property and making necessary repairs to or replacements of appliances and/or Property fixtures, such as windows, doors, cabinets, countertops, carpets, flooring and lighting fixtures, and/or correcting any health or safety violations on the Property. Expenses incurred by the Beneficiaries to bring the Property into a saleable condition shall be itemized and documented by the Housing Authority and deducted from the Owner's proceeds at closing of the Transfer of the Property.
- e. No Owner shall permit any prospective purchaser to assume any or all of the Owner's closing costs. No Owner shall accept anything of value from a prospective purchaser except for the Maximum Resale Price before, during or after closing of the Transfer of the Property.
- f. Nothing in this Restriction represents or guarantees that the Property will be re-sold at an amount equal to the Maximum Resale Price. Depending upon conditions affecting the real estate market, the Property may be re-sold for less than the Maximum Resale Price.

iv. Grantor Right to Acquire Ownership – Right of First Refusal. The initial Owner, after Grantor, and each subsequent Owner shall not transfer the Property, or any part thereof,

without first offering the same to the Grantor. The Grantor shall have a right of first refusal to purchase the property as follows:

- a. If an Owner receives any offer to purchase or tenders any offer of sale for the Property for any amount less than or equal to the Maximum Resale Price, the Grantor shall have the absolute right of the first refusal to purchase the Property at the offered sales price.
- b. Grantor shall have the option to exercise its right of first refusal by executing a written and binding commitment to purchase the Property within twenty-on (21) days after Grantor receives written Notice of Intent to Sell or Transfer Affordable Housing Unit by Owner. The commitment to buy shall set a closing date within a reasonable period of time.
- c. Grantor shall have the right to inspect the Property prior to exercising its right of first refusal. If the Property is damaged there shall be a decrease in the sales price of the Property equal to the amounts necessary to bring the Property into saleable condition as reasonably determined by the Grantor, including but without limitation cleaning, painting, replacing worn carpeting and draperies; making necessary structural, mechanical, electrical and plumbing repairs; and repairing or replacing built-in appliances and fixtures.
- d. In the event Grantor fails to execute a written and binding commitment to purchase the Property within said twenty-one (21) day period, this right of first refusal shall expire.
- e. If the Owner does not sell or otherwise transfer the Property, the terms and conditions of this right of first refusal shall again apply to any subsequent sale or transfer of the Property.
- f. This right of first refusal shall be in full force and effect from the earlier of the date of initial sale of the Property, or any part thereof, by Grantor to the initial Owner or the execution of this Restriction and continues in perpetuity. Any sale or attempted transfer of the Property, or any part thereof, effected without first giving Grantor the right of first refusal described above shall be wholly null and void and shall confer no title whatsoever upon the purported buyer.

iv.v. Beneficiaries Right to Acquire Ownership - Right of ~~Second~~First Refusal. The initial Owner and each subsequent Owner shall not transfer the Property, or any part thereof, without first offering same to each of the Beneficiaries for purchase. Each of the Beneficiaries shall have a right of ~~second~~first refusal to purchase the Property as follows:

- a. If an Owner receives any offer to purchase or tenders any offer of sale for the Property for any amount less than or equal to the Maximum Resale Price and Grantor does not exercise its right of first refusal pursuant to 6.iv, each of the

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Beneficiaries shall have the absolute right of the ~~second~~first refusal to purchase the Property at the offered sales price. This right of ~~second~~first refusal will first be granted to the County, using the form attached here to as Exhibit E, and then the Gunnison Valley Regional Housing Authority, using the form attached hereto as Exhibit F, only if the County does not exercise its right of ~~second~~first refusal.

- b. Each of the Beneficiaries shall have the option to exercise its right of ~~second~~first refusal, with the County prevailing as detailed in 6.~~v~~.a., by executing a written and binding commitment to purchase the Property within twenty-on (21) days after each of the Beneficiaries receives written Notice of Intent to Sell or Transfer Affordable Housing Unit by Owner and confirmation that Grantor has not exercised its right of first refusal. The commitment to buy shall set a closing date within a reasonable period of time.
- c. Each of the Beneficiaries shall have the right to inspect the Property prior to exercising its right of ~~second~~first refusal. If the Property is damaged there shall be a decrease in the sales price of the Property equal to the amounts necessary to bring the Property into saleable condition as reasonably determined by the Beneficiaries, including but without limitation cleaning, painting, replacing worn carpeting and draperies; making necessary structural, mechanical, electrical and plumbing repairs; and repairing or replacing built-in appliances and fixtures.
- d. In the event neither of the Beneficiaries executes a written and binding commitment to purchase the Property within said twenty-one (21) day period, this right of ~~second~~first refusal shall expire.
- e. If the Owner does not sell or otherwise transfer the Property, the terms and conditions of this right of ~~second~~first refusal shall again apply to any subsequent sale or transfer of the Property.
- f. This right of ~~second~~first refusal shall be in full force and effect from the earlier of the date of initial sale of the Property, or any part thereof, to the initial Owner or the execution of this Restriction and continues in perpetuity. Any sale or attempted transfer of the Property, or any part thereof, effected without first giving both of the Beneficiaries the right of ~~second~~first refusal described above shall be wholly null and void and shall confer no title whatsoever upon the purported buyer.

~~v~~.vi. Beneficiaries Made Whole. No transfer of the Property shall occur unless and until each and every encumbrance, debt or liability owed by the Owner to the Beneficiaries is fully satisfied.

7. Foreclosure

- i. It shall be a breach of these Restrictions for an Owner to default in the payments or other obligations due or to be performed under a promissory note secured by deed of trust or

[lease purchase agreement](#) encumbering the Property. The Owner hereby agrees to notify the Beneficiaries, in writing, of any notification Owner receives from a lender, or its assigns, of past due payments or default in payment or other obligations due or to be performed under a promissory note secured by a deed of trust [or lease purchase agreement](#), as described herein, within five (5) calendar days of Owner's notification from lender, or its assigns, of said default or past due payments

- ii. Upon receipt of notice as provided herein, the Beneficiaries shall have the right, in its sole discretion, to solely or jointly cure the default or any portion thereof, thereby becoming the Curing Party. In such event, the Owner shall be personally liable to the Curing Party for past due payments made by the Curing Party, together with interest thereon at the rate specified in the promissory note secured by the deed of trust [or lease purchase agreement](#), plus one (1) per cent, and all actual expenses of the Curing Party incurred in curing the default. In the event the Owner does not repay the Curing Party within sixty (60) days of notice that the Curing Party has cured the Owner's default, the Owner agrees that the Curing Party shall be entitled to a lien against the Property to secure payment of such amounts. Such a lien may be evidenced by a notice of lien setting the amounts due and rate of interest accruing thereon, and such notice of lien may be recorded in the real property records of Gunnison County, Colorado, until such lien is paid and discharged. The Curing Party shall have the additional right to bring an action to foreclose on the Property for the payment of the lien set forth in this section 7.ii.
- iii. In the event of a foreclosure on a promissory note secured by a first deed of trust [or a lease purchase agreement](#) on the Property, or any [portion of the](#) Property, and the issuance of a public trustee's deed by the holder of such note and deed of trust ("Holder"), or the acceptance by Holder of such note and deed of trust or a deed in lieu of foreclosure of the Property, and Holder's subsequent recordation of the same in the Office of the Gunnison County Clerk and Recorder, the Beneficiaries may acquire the Property by exercising that certain "Option to Purchase," the copies of which is attached hereto as Exhibits E and F. In the event that the Option is not exercised by either of the Beneficiaries, this Deed Restriction shall be released and shall be of no further force or effect.

8. Default/Breach

- i. In the event either of the Beneficiaries has reasonable cause to believe an Owner is violating the provisions of these Restrictions, that entity, through its authorized representatives, may inspect the Property between the hours of 8:00 a.m. and 5:00 p.m. Monday through Friday, after providing the Owner with no less than 24 hours written notice.
- ii. The respective Beneficiary shall send a notice of violation to the Owner, with a copy to the other Beneficiary, detailing the nature of the violation and allowing the Owner fifteen (15) days to determine the merits of the allegations, or to correct the violation. In the event the Owner disagrees with the allegation of violation of these Restrictions, the Owner may request, in writing, a hearing before the Gunnison Valley Regional Housing Authority Grievance and Appeals Committee or some similar body convened by the County if the

Gunnison Valley Regional Housing Authority Grievance and Appeals Committee ceases to exist or is replaced. If the Owner does not request a hearing and the violation is not cured within the fifteen-day period, the Owner shall be considered in violation of these Restrictions.

- iii. Whenever these Restrictions provide for a hearing before the Gunnison Valley Regional Housing Authority Grievance and Appeals Committee, such hearing shall be scheduled by the Beneficiaries within twenty-one (21) days of the date of receipt of a written request for a hearing. At any such hearing, the Owner or other aggrieved party may be represented by counsel and may present evidence on the issues to be determined at the hearing. An electronic record of the hearing shall be made, and the decision of the Beneficiaries shall be a final decision, subject to judicial review.
- iv. There is hereby reserved to the Parties hereto any and all remedies provided by law for breach of these Restrictions or any of its terms. In the event the Parties resort to litigation with respect to any or all provisions of these Restrictions, the prevailing Party shall be awarded its damages, expenses and costs, including reasonable attorney's fees.
- v. In the event the Property is sold and/or conveyed without compliance with the terms of these Restrictions, such sale and/or conveyance shall be wholly null and void and shall confer no title whatsoever upon the purported buyer. Each and every conveyance of the Property, for all purposes, shall be deemed to include and incorporate by this reference the covenants herein contained, even without reference therein to these Restrictions.
- vi. In the event an owner fails to cure any breach of these Restrictions, each of the Beneficiaries may resort to any and all available legal or equitable actions, including but not limited to specific performance of these Restrictions, an injunction against future sale(s) in violation of these Restrictions, or eviction of noncomplying owners and/or occupants.
- vii. In the event of a breach of any of the terms or conditions contained herein by an Owner, his or her heirs, successors or assigns, the Owner's initial purchase price of the Property shall, upon the date of such breach as determined by either of the Beneficiaries, automatically cease to increase as set out in Section 6.iii. of this Restriction, and shall remain fixed until the date of cure of said breach or until the Owner repays the Curing Party.

10. General Provisions

- i. These Restrictions shall constitute covenants running with the Real Property as a burden thereon, for the benefit of, and shall be specifically enforceable by each of the Beneficiaries and/or its respective successors and assigns, as applicable. Enforcement by any appropriate legal action may include, but is not limited to specific performance injunction, reversion, or eviction of noncomplying owners and/or occupants.

documents, the Parties agree that the jurisdiction and venue for bringing such action shall be in the appropriate court in Gunnison County, Colorado.

- vii. Except as otherwise provided herein, the provisions and covenants contained herein shall inure to and be binding upon the heirs, successors, and assigns of the Parties.
- viii. Owners and subsequent owners agree that he or she shall be personally liable for their participation in any of the transactions contemplated herein and that he or she will execute such further documents and take such further actions as may be reasonably required to carry out the provisions and intent of these Restrictions or any agreement or document relating hereto or entered into in connection herewith.
- ix. Any modifications of these Restrictions shall be effective only when made by a duly executed instrument by the Beneficiaries and an Owner and recorded with the Clerk and Recorder of Gunnison County, Colorado. Notwithstanding the foregoing, the Parties agree that the Beneficiaries may amend these Restrictions where deemed necessary to effectuate the purpose and intent of these Restrictions, so long as both Beneficiaries agree to such amendments.

EXECUTED, this ____ day of _____, 20 ____.

GUNNISON VALLEY REGIONAL HOUSING AUTHORITY

By: _____
_____, Executive Director

State of Colorado)
) ss.
County of Gunnison)

The foregoing Gunnison Valley Regional Housing Authority Affordable Housing Deed Restriction for been acknowledged before me this ____ day of _____, 202~~3~~⁴ by _____, Executive Director of the Gunnison Valley Regional Housing Authority

Witness my hand and official seal.
My commission expires:

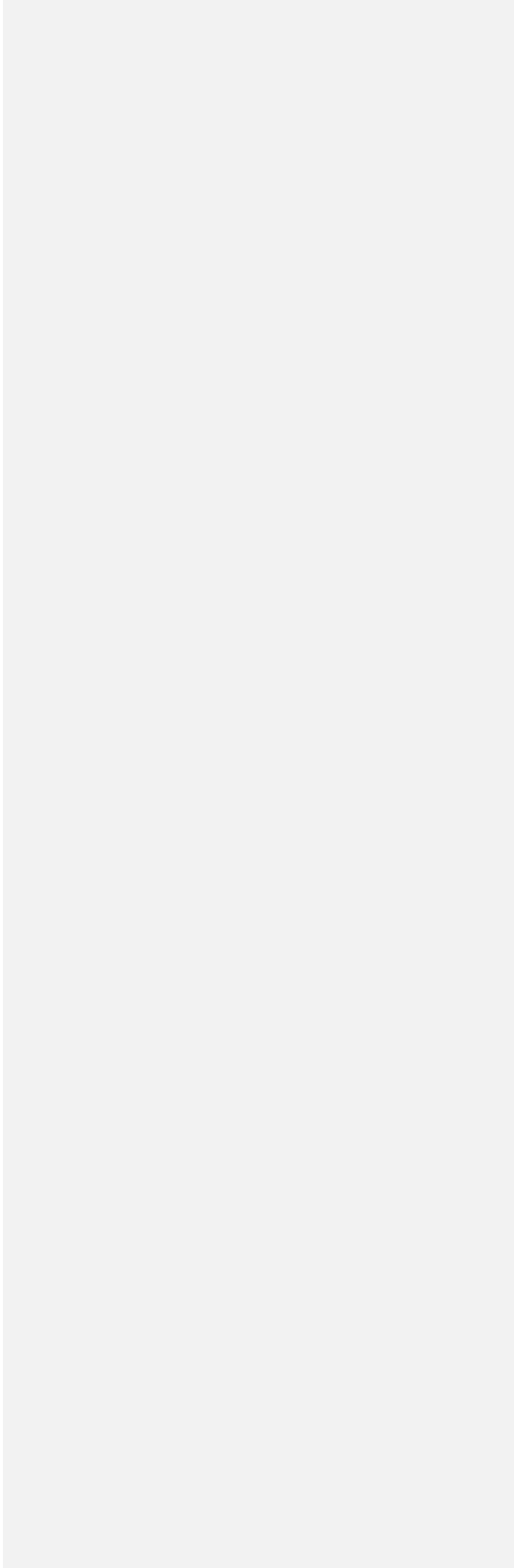
Notary Public

**BOARD OF COUNTY COMMISSIONERS
OF GUNNISON COUNTY, COLORADO**

By: _____
Matthew Birnie, County Manager

ATTEST:

Deputy County Clerk



DEVELOPMENT AND
PURCHASE AGREEMENT

Commented [MH1]: Do we need additional real estate terms? Sammy will investigate and add as he sees fit.

This DEVELOPMENT AND PURCHASE AGREEMENT (the “Agreement”), dated ___, 2023, is between the Board of County Commissioners of Gunnison County, Colorado (the “County”) and Crested Butte Fire Protection District, a special district and political subdivision of the State of Colorado (“Developer”). The County and the Developer may be referred to herein individually as a “Party,” or collectively as the “Parties.”

RECITALS

WHEREAS:

- A. The County owns the following real property (the “Property”): LOTS EM2 and EM3, LARKSPUR SUBDIVISION as identified on the plat titled “PLAT OF LARKSPUR LOCATED WITHIN THE E1/2NE1/4 SECTION 12 T14S,R86W, 6TH PRINCIPAL MERIDIAN, COUNTY OF GUNNISON, STATE OF COLORADO dated August 21, 2006, bearing reception # 568254.
- B. The County desires to have the Property developed to provide affordable housing for residents of Gunnison County (the “Project”).
- C. In the interest of furthering public policy, the Colorado General Assembly has declared at Colorado Revised Statutes § 29-26-101. Legislative Declaration: “(1) The general assembly hereby finds and declares that:
 - 1. It is in the public interest to maintain a diverse housing stock in order to preserve some diversity of housing opportunities for [Colorado’s] residents and people of low—and moderate—income.
 - 2. A housing shortage for persons of low—and moderate—income is detrimental to the public health, safety and welfare. In particular, the inability of such persons to reside near where they work negatively affects the balance between jobs and housing in many regions of the state and has serious detrimental transportation and environmental consequences.”
- D. The Colorado General Assembly has defined affordable housing to include rentals as follows: C.R.S. § 29-26-102, Definitions, “(1) Affordable housing dwelling unit” means a residential structure that is purchased or rented by and is occupied as a primary residence by one or more income eligible households, or a comparable definition as established by a local government.”
- E. The Gunnison County Land Use Resolution, ~~which does not control the development of the Property, but~~ which evidences the County’s policy with respect to affordable housing, defines “Essential Housing” as “housing for qualified households as determined by the Gunnison

Commented [MH2]: This language is unnecessary and potentially a misstatement of the law, given that 1) location and extent review applies only to zoning, and the LUR contains non-zoning regulations in addition to land use; 2) these are not “public buildings” such that they are exempt from the LUR.

County Housing Authority,” and in turn defines “qualified household” as a “household that earns less than 120 percent of the AMI as qualified by the Gunnison County Housing Authority.”

F. The Board has the legal authority to convey real property as follows: C.R.S. § 30-11-101, Powers of counties. (1) Each organized county within the state...shall be empowered...(c) To sell, convey, or exchange any real...property owned by the county and make such order respecting the same as may be deemed conducive to the interests of the inhabitants...” (d) To make all contracts and do all other acts in relation to the property and concerns necessary to the exercise of its corporate or administrative powers. Any such contract may by its terms exceed one year and shall be binding upon the parties thereto as to all of its rights, duties and obligations.

G. The Parties have negotiated this ~~Development~~ Agreement to meet their mutual needs and goals in providing affordable housing for individuals that live and work in the County.

NOW THEREFORE, in consideration of the mutual covenants and conditions contained herein, and for valuable consideration, the receipt and adequacy of which are hereby acknowledged, County and Developer agree as follows:

1. THE PROJECT.

a. The Project consists of the transfer of ownership of the Property to the Developer, and the development of a single-structure, two (2) residential unit complex on Lot EM2 of the Property and a single-structure, three (3) residential unit complex on Lot EM3 of the Property, by the Developer, in accordance with the following “Project Documents”:

- i. This Agreement; and
- ii. Deed Restriction, attached as Exhibit A.

b. Upon transfer of ownership of the Property to the Developer, the Property will be encumbered by the Deed Restriction, which will be recorded against title to the lots and each of the residential units, and will, among other restrictions, ~~will~~:

- i. Mandate that the units are available for households that include one or more employees or volunteers of Developer, or which meet the parameters as qualified owners or qualified occupants under the Deed Restriction.
- ii. Mandate that rental rates include utilities (water, wastewater, trash, electricity, heat), but do not include telephone, internet, or television.
- iii. Prohibit short term rentals, with minimum lease terms of three months.
- iv. Provide a process for the Gunnison Valley Housing Authority or County to verify household qualifications and compliance with the Deed Restriction.
- v. Provide protection of the Deed Restriction in case of sale of the Property.

2. PURCHASE AND SALE OF THE PROPERTY.

Development and Purchase Agreement

Page 21 of

Commented [MH3]: County had also asked in the January 2023 deal points document for a deed of trust to help secure the deed restriction obligation. This needs to be included along with a draft deed of trust.

- a. Within 14 days of the mutual execution of this Agreement, Developer shall obtain an updated commitment to issue a title insurance policy for the Property.
- b. The purchase price shall be \$200,000, payable by Developer to County in good funds at Closing.
- c. Title shall ~~be transferred~~ from County to Developer at Closing by special warranty deed, subject to the following permitted encumbrances: The Deed Restriction and matters shown on the Land Title Guarantee Company title commitment for Order No. _____ dated _____.
- d. Developer shall be responsible for the cost of the title insurance policy, any closing fee charged by the closing agent, and the cost of recording any documents to be recorded at Closing.
- e. The County shall not cause or allow additional exceptions to title to affect the Property prior to Closing without the Developer's prior written consent.

~~f. At any time at or after Closing, at Grantor's request made with reasonable advance notice, the County shall sign a subordination agreement that is the same or substantially similar to the Subordination Agreement attached as Exhibit B for recordation in the real property records of Gunnison County. If requested by Developer's lender, the County shall sign, in the alternative to the Subordination, such other subordination of the Deed Restriction as may be reasonably requested by such lender in order to subordinate the Deed Restriction to a second position deed of trust on the Property.~~

~~g. Except for the Second Deed of Trust contemplated by the Subordination Agreement, the Developer shall not cause or permit any lien to be recorded in a position senior to the Deed Restriction without the County's prior written consent.~~

Commented [MH4]: We don't see why a governmental special district would need this. Further, it is not part of the term sheet.

3. DEVELOPMENT OF THE PROJECT.

- a. Developer shall develop the Project, in accordance with the plans finalized and approvals obtained pursuant to the Project Documents, and in accordance with all applicable laws, regulations, and codes.
- b. Except for the obligations of the County expressly set forth herein, the management, conduct, and operation of the Project shall be at the expense and risk of the Developer, and the County shall have no obligations hereunder to facilitate or otherwise promote the completion of the Project.
- c. The Developer shall use good faith efforts to solicit and obtain bids from local business concerns which are located in, or owned in substantial part by persons residing within, Gunnison County (a "Local Business") for the completion of the Project by making available to local contractors all plans for the improvements, in the manner reasonably selected by the Developer, which may include, without limitation, publication of solicitations for bids in a newspaper of general circulation in Gunnison County. To the

extent the Developer reasonably determines it is feasible, contracts for work to be performed in connection with the construction of the improvements shall be awarded to Local Businesses, provided, however, the Developer shall not be required to award contracts to the lowest bidder, and may award contracts in accordance with the Developer's normal contracting and purchasing policies based upon criteria such as the experience, financial strength, and dependability of the contractors and subcontractors submitting bids.

d. In connection with the foregoing, Developer shall utilize Local Businesses for no less than 50% of the cost of completing the Project. Costs of completing the Project shall include planning and design costs in addition to actual construction costs. Materials purchased directly by Developer from a supplier with a physical presence in Gunnison County and materials purchased by a general contractor or sub-contractor that is a Local Business shall count towards achieving this requirement. The Developer may request a variance from the requirements of this paragraph, and consent shall not be unreasonably withheld by the County, if the Developer demonstrates that the Developer has used reasonable and good faith efforts to procure labor or materials from Local Businesses, but due to market conditions no Local Businesses are able to provide the labor or materials at a cost that allows the project to be completed in a timely and cost-effective manner.

4. INSPECTIONS.

a. The County has the right to inspect the Project upon reasonable notice to the Developer to ensure compliance with this Agreement and to ensure throughout construction that materials, installation and workmanship are of good quality as considered acceptable by industry standards. The inspections may include a review of all construction and other documents applicable to confirming compliance with this Agreement (other than the construction contract); site visits; problem identification and resolution; and provision of reports verifying compliance with this Agreement.

b. The County shall promptly notify Developer of any concerns that the County has regarding the Project.

~~5. PROJECT MODIFICATIONS.~~

~~a. The Parties recognize that it may be necessary or desirable to modify the details of the Project as set forth in the Project Documents. It is the intent of the Parties to develop the Project in a manner that is as consistent with the Project as described herein as is reasonably possible, with respect to site design, building design, unit size and mix, deed restrictions, and feasibility. However, changes may be required to effectuate the intent of this Agreement in light of code requirements or changed circumstances. Where changes or additional details beyond what is included in the Project as described herein are required, the Parties shall negotiate such changes and additional details in good faith in a manner that allows the Parties to realize, as close as possible, the reasonable expectations of both Developer and the County under the terms of this Agreement, that avoids unreasonable impediment to or delay in Developer's ability to complete the Project, and that avoids rendering the performance of the contract substantially and commercially unreasonable for either Party.~~

6. ~~LICENSE TO ENTER PROPERTY.~~

~~a. The County hereby grants to Developer a license for Developer and its employees, architects, engineers, consultants, sub-consultants, contractors and sub-contractors (collectively, the "Developer Parties") to enter upon the Property for purposes of performing its rights and obligations under this Agreement prior to the transfer of ownership of the Property to Developer in accordance with paragraph 2 above. Such license shall automatically terminate upon any termination of this Agreement. Developer accepts such license subject to all restrictions of record, and waives all claims resulting from such condition or restrictions. Developer, to the extent permitted by law, agrees to indemnify and hold the County harmless from any claims or causes of action that arise out of any damage caused by the Developer Parties to the Property during the term of the license.~~

Commented [MH5]: The County does not see these as necessary.

7.5. TERM; TERMINATION.

- a. The term of this Agreement shall commence on mutual execution of the Agreement and shall continue in full force and effect until terminated in accordance with paragraph 7.c below. Unless expressly and mutually agreed to by the Parties, termination of the Agreement shall have no effect on any provision of this Agreement that is expressly stated to survive termination.
- b. The following terms and conditions shall survive termination:
 - i. The terms of the County Deed Restriction and ~~Subordination Agreement~~ County Deed of Trust;
 - ii. Developer's obligation to indemnify and hold the County harmless from any claims or causes of action that arise out of any damage caused by the Developer Parties to the Property during the term of the license described in paragraph 6.a.
- c. This Agreement shall terminate upon the any of the following events:
 - i. The date of issuance of a Certificate of Occupancy for the entire Project; or
 - ii. The express mutual agreement of the Parties.

8.6. Breach; Cure; Default; Enforcement.

- a. Breach; Cure. If one party breaches any of the terms, obligations, covenants, representations or warranties under this Agreement, the non-breaching Party shall notify the breaching Party of such breach. The breaching party shall have 42 days after written notice from the non-breaching party to cure the breach, or if the breach by its nature cannot be cured within 42 days, the breaching party shall have 42 days to commence a cure and shall act diligently and in good faith to complete the cure in a timely manner.
- b. It will not be a breach of this Agreement if a Party is unable to perform its obligations under this Agreement if such inability is caused by acts or omissions of the

other Party or its officers, employees, agents, or contractors or is caused by a Force Majeure Event. A "Force Majeure Event" is an Act of God (e.g., fire, flood, inclement weather, epidemic, earthquake); war or act of terrorism; governmental acts, orders, or restrictions; or any other reason where failure to perform is beyond the reasonable control, and is not caused by the negligence, intentional conduct or misconduct of the Party or the Party's officers, employees, agents, or contractors; provided, however, an event of Force Majeure shall not relieve any Party of its obligation to make timely payments of any amounts due hereunder.

c. "Event of Default" means the occurrence of any one of the following events during the term of this Agreement:

- i. A breach that is not cured pursuant to paragraph 8.a above;
- ii. The dissolution, liquidation, or event of bankruptcy of Developer;
- iii. The voluntary or involuntary transfer of ownership of the Property by Developer to any third party without the County's prior written consent.

d. Waiver of breach of any of the provisions of this Agreement by either Party shall not constitute a continuing waiver of any subsequent breach by said Party of either the same or any other provision of this Agreement.

e. Remedies in Event of Default.

- i. The Parties agree that damages may not be an adequate remedy for an Event of Default under this Agreement. Therefore, the remedy of specific performance will be available to either party as well as any other remedy available at law or at equity.

9-7. GENERAL PROVISIONS.

a. Notice. All notices and demands required or allowed to be given hereunder shall be given in writing and delivered by U.S. certified mail, postage prepaid, and return receipt requested, by personal delivery, or by electronic mail, to the address provided below, or to such other address as a Party made provide in writing pursuant to this paragraph. Notices shall be considered given upon the earlier of (a) three business days after deposit in the United States mail, postage prepaid, certified or registered, return receipt requested; (b) personal delivery; or (c) transmission to the electronic mail address provided.

If to County:

Matthew Birnie
MBirnie@gunnisoncounty.org

with a copy to:
Matthew Hoyt
MHoyt@gunnisoncounty.org

If to Developer:

Sean Caffrey
scaffrey@cbfcpd.org

with a copy to:
Lyons Gaddis, PC
Attn: John Chmil
PO Box 978

John Cattles
JCattles@gunnisoncounty.org

Longmont, CO 80502

Cathie Pagano
CPagano@gunnisoncounty.org

- b. Nature of Relationship. This Agreement creates a contractual relationship. The parties do not intend for this Agreement to create a joint venture, fiduciary, partnership, or principal/agent relationship in any respect, either between the Parties or between one or both of them and any third party. Each party shall be solely responsible for its own acts and omissions in the performance of this Agreement.
- c. Amendment. This Agreement may be amended only by a written document duly authorized and executed by the Parties hereto.
- d. Effect of Invalidity. Nothing contained herein shall be construed as to require the commission of any act contrary to law, and wherever there is a conflict between any provision contained herein and any present or future law or regulation, the latter shall prevail, but the provisions of this Agreement affected shall be limited only to the extent necessary to bring it within the requirements of such law. If any portion of this Agreement is held invalid or unenforceable for any reason by a court of competent jurisdiction as to either Party or as to both Parties, the Parties will immediately negotiate valid alternative portion(s) that as nearly as possible give effect to any stricken portion(s).
- e. Assignability. Neither Party may assign its rights or delegate its duties hereunder without the prior written consent of the other, except that either Party may assign its rights or delegate its duties hereunder to an enterprise or other legal entity wholly owned and controlled by such Party without prior notice or consent of the other Party. Any assignment or transfer of this Agreement without the requisite prior written approval shall be void.
- f. Successors and Assigns. This Agreement and the rights and obligations created hereby shall be binding upon and inure to the benefit of the Parties and their respective heirs, successors and assigns in the event assignment is allowed.
- g. No Third-Party Beneficiaries. Enforcement of the terms and conditions of this Agreement, and all rights of action relating to such enforcement, shall be strictly reserved to the Parties hereto, and nothing contained in this Agreement shall give or allow any claim or right of action by any other person or entity. It is the express intention of the Parties hereto that any person or entity, other than the Parties to this Agreement, receiving services or benefits under this Agreement shall be deemed to be incidental beneficiaries only.
- h. Definitions and Interpretations. Except as otherwise provided herein, nouns, pronouns and variations thereof shall be deemed to refer to the singular or plural, and masculine or feminine, as the context may require. Any reference to a policy, procedure, law, regulation, rule or document shall mean such policy, procedure, law, regulation, rule or document as it may be amended from time to time. Headings and titles contained herein are intended for the convenience and reference of the Parties only and are not

intended to define, limit, or describe the scope of intent of any provision of this Agreement.

- i. **Governing Law; Venue.** This Agreement and its application shall be construed in accordance with the laws of the State of Colorado. Venue for the trial of any action arising out of any dispute hereunder shall be exclusively in the District Court, Gunnison County, Colorado.
- j. **Fees / Costs.** Should either Party hereto commence any action or proceeding in court to enforce any provision hereof or for damages by reason of an alleged breach of any provision of this Agreement or for declaratory relief, the prevailing Party shall be entitled to recover from the losing party or parties the costs of such action, including such amount as the court may adjudge to be reasonable attorney fees for services rendered to the prevailing party in such action.
- k. **Indemnification.** Developer, to the extent permitted by law, agrees to indemnify, defend and hold harmless County, its Commissioners, agents and employees of and from any and all liability, claims, liens, demands, actions and causes of action whatsoever (including reasonable attorney's and expert's fees and costs) arising out of or related to any loss, cost, damage or injury, including death, of any person or damage to property of any kind caused by the misconduct or negligent acts, errors or omissions of Developer or its employees, subcontractors or agents in connection with this Agreement.
- l. **No Waiver of Governmental Immunity.** Nothing in this Agreement is, or shall be construed to be, a waiver, in whole or part, by the County or Developer of governmental immunity provided by the Colorado Governmental Immunity Act or otherwise.
- m. **Joint Draft.** The Parties agree they drafted this Agreement jointly with each having the advice of legal counsel and an equal opportunity to contribute to its content. Therefore, this Agreement shall not be construed for or against a Party on the basis of authorship.
- n. **Other Interests.** Each Party may have other business interests and may engage in any other business, trade, professions, or employment whatsoever, on its own account, or partnership or joint venture with any other person, firm, or corporation, or any other capacity, including, without limitation, the ownership, financing, leasing, operation, management, syndication, brokerage, or development of any real property whether or not in the vicinity of the Property.
- o. **Time of the Essence.** Time is of the essence of this Agreement and of each provision hereof.
- p. **Additional Acts and Further Assurances.** The Parties agree to cooperate as required to carry out the intent of this Agreement. Each Party agrees to execute and deliver whatever additional documents and to perform such additional acts as may be necessary or appropriate to effectuate and perform all of the terms, provisions, and conditions of this Agreement and the transactions contemplated by this Agreement.
- q. **Authority.** The signatories below represent and affirm they are legally authorized

to bind their respective Parties by this Agreement.

r. Counterparts; Facsimile / Electronic Signatures. This Agreement may be executed in multiple counterparts, each of which shall constitute an original, and all of which together shall constitute one and the same document. The Parties will accept facsimile signatures or electronic signatures as original signatures.

IN WITNESS WHEREOF, the Parties have executed this Agreement the day and year first above written.

The Crested Butte Fire Protection District, a political subdivision of Colorado

By: _____ _____
Name: Chris McCann Date
Title: Chairman

The Board of County Commissioners of the County of Gunnison, Colorado

By: _____ _____
Name: Matthew Birnie Date
Title: County Manager



LAZY K APPLICATION PACKET INFORMATION

Phase 4

TIMELINE

- Applications are currently open
- June 24th, 2023 Open House 11am-2pm
- June 29th, 2023 Open House 4:30pm-6:30pm
- July 12th, 2023 **APPLICATIONS CLOSE AT 5PM**
- July 14th, 2023 Open House/ Block Party 2:30-6:30
- July 20th, 2023 Lottery at City Hall 5:30pm-6:30pm

ELIGIBLE BUYER INFORMATION

- **Ownership**- natural persons only for 80% AMI units (business can purchase 140% AMI unit)
- **Occupancy**- must be your primary residence at all times during your ownership unless you are a business. Businesses can rent to tenants approved through GVRHA.
- **Assets** -you cannot own any other improved residential real estate at the time of closing; liquid assets cannot exceed three (3) times your household-size AMI after closing on your new home.
- **Employment** - must be employed at minimum 30 hours/week on an annual basis for a business located in and serving Gunnison County, or, have a bona fide employment contract to begin such work prior to taking ownership. Eighty percent (80%) of the qualifying owner's income must come from this source and seventy-five (75%) of the total household income used to qualify must be earned within the county
- **Income** - for this 80% AMI households must be at or below 80% of Gunnison County's 2022 Area Median Income (AMI) as published by HUD and provided to the GVRHA to be eligible to purchase a home, for 140% AMI households must be at or below 140% of Gunnison County's 2022 Area Median Income (AMI).

1 person HH	80%AMI	\$52,500	Max Gross Income
	140%AMI	\$91,840	
2 person HH	80%AMI	\$60,000	Max Gross Income
	140%AMI	\$105,000	
3 Person HH	80%AMI	\$84,400	Max Gross Income
	140%AMI	\$118,160	

LOTTERY

- Lottery Entries
 - Households and businesses that can produce a Certificate of Eligibility provided through the GVRHA will be awarded one lottery ticket
- The selection process for 80% AMI units will be as follows.



- At the time of the Lottery, all entries awarded to each applicant household will be placed in one bin. An independent third-party individual will draw tickets from the bin one at a time.
 - First qualified applicant name is drawn from the lottery bin - this applicant will then select which specific home they want to put under contract
 - Second qualified applicant name is drawn from the lottery bin - this applicant will then select which specific home they want to put under contract
 - This process will continue until all available homes are selected
- Tickets for eligible applicants who are not drawn to select a home will be pulled and names added to a back-up list to be used if a selected buyer terminates their contract with the developer.
- You must be present or have representative present at lottery to win
- The selection process for 140% AMI unit will be as follows:
 - At the time of the Lottery, all entries awarded to each applicant household and business will be placed in one bin. An independent third-party will draw a ticket from the bin one at a time.
 - First qualified applicant name that is drawn will be awarded their first preference
 - Second qualified applicant name is drawn from the lottery bin - this applicant will then select which specific home they want to go under contract with
 - This process will continue until all available homes are selected
 - Tickets for eligible applicants who are not drawn to select a home will be pulled and names added to a back-up list to be used if a selected buyer terminates their contract with the developer.
 - You must be present or have representative present to win
- The process for securing a home and executing a contract is as follows:
 - Selected applicants will have 3 business days to execute a real estate purchase contract with the developer for the home they have selected. If they do not do so, the first back-up applicant will be given a 3-business day opportunity to execute a contract with the developer to purchase the home. If they fail to do so, the next back-up applicant will be notified.
 - Lottery winners must provide a \$1000 earnest money deposit to the title company at the time of executing the purchase contract which will be credited towards their purchase price at the time of closing.
- Closing and obtaining possession of your home will occur in accordance with your contract dates

OTHER RESTRICTIONS

- Resale - each home will be subject to an appreciation cap upon resale that is the sum of:
 - 2% of the initial purchase price, plus



GUNNISON VALLEY REGIONAL HOUSING AUTHORITY

- The value of any special improvement district assessments levied upon the property and paid, plus
 - The value of any capital improvements permitted to be made
-
- Rentals - owners of these homes may have roommates if at least one owner still always meets the terms of an eligible owner. Businesses can rent to approved employees with approval coming from the GVRHA.
 - **Short-term rentals** - are not allowed at any time for any reason or for any portion of a home
 - **Financing** - homes may not be purchased with financing that is for more than 100% of the purchase price
 - **Refinancing** - homes may not be refinanced with financing that exceeds 97% of the then-current maximum resale price as permitted by the deed restriction

REASONABLE ACCOMODATION

- Please contact GVRHA if reasonable accommodation is requested at (970) 641 7900

UNIT INFORMATION

- | | | | |
|----------|----------|------------|----------------|
| • Unit A | 140% AMI | \$ 408,900 | 3 bed/1.5 bath |
| • Unit B | 140% AMI | \$ 428,300 | 3 bed/1.5 bath |
| • Unit C | 80% AMI | \$ 228,300 | 2 bed/1 bath |
| • Unit D | 80% AMI | \$ 218,500 | 2 bed/1 bath |
| • Unit E | 80% AMI | \$ 214,000 | 2 bed/1 bath |
| • Unit F | 80% AMI | \$ 169,900 | 1 bed/1 bath |

CRESTED BUTTE FIRE PROTECTION DISTRICT
Chief Executive's Report

June 20th, 2023

1. Consent Agenda

- a) April 11th Regular Meeting Minutes
- b) Monthly Financial Reports

2. Chief Executive's Comments:

A lot has transpired since we last met on May 9th. On May 18th we received our location and extent approval from the County for our new headquarters campus which has been assigned an address of 300 County Road 317. A few days before that we received conditional approval from the Town of Crested Butte for a municipal sewer connection with conditions. On June 2nd, the Board of County Commissioners approved our new subdivision of the overall property and on June 14th the design team completed the updated schematic design documents. We also received word in early June that our Energy and Mineral Impact grant for \$196,000 was approved which will fund a completed SAR building with solar panels. An updated cost estimate is now being prepared by FCI.

As we near the halfway mark of the year our budgeted expenses are mostly as expected, however, we do anticipate some adjustments to rent and rental income for the 65 Paradise Road rental, and a significant bill for repairs to Engine 3. Tax receipts, ambulance fees, and plan review fees all appear to be on track at or slightly above expectations for the year. Payroll, our largest overall expense, is on target. We also recently welcomed John Bielak and Tara Sweitzer to our full-time team. We regret that we had to terminate Engineer Derek Davis. We are continuing to recruit for an open paramedic position. Furthermore, it is also worth noting that with the addition of Tara, all of our Firefighter / EMT positions are now filled by members who hold certifications as Advanced EMTs (AEMTs) which affords us additional flexibility for EMS operations. Our fire prevention team continues to be busy as you will see in their report. Local wildfire danger remains low, however, we have been working to make Brush 1 ready for deployment if needed.

Most of our action items this month are in the old business portion of the agenda. Our first item of business for the emergency services campus will be review and approval of the conditional sewer connection, As we have previously discussed, the sticking point with the Town of Crested Butte was their desire to require a trail across a portion of the property. As we discussed, this has nothing to do with sewer service, but reflects the Town's ongoing desire to extract as much from us, a local government partner, as possible. Based on the work of the design team, it appears we can pull off the trail as requested and our attorney, John Chmil, indicates an acceptable easement can likely be worked out. The other conditions do not appear to pose a barrier to construction and the proposed sewer tap fee is \$222,768 for both buildings. That fee reflects a 1.5 rate. I believe it would be appropriate for us to accept the sewer conditions with the caveat we pay only the regular 1.0 tap fee of \$148,512 since a number of the required conditions will have cost implications for us.

Regarding the conditional offer for water service, I do not recommend we pursue a municipal water connection for the terms offered. The proposal is essentially a forced purchase of 5 acres of our site that would have us accepting far less per acre than we have paid. Accepting such an offer would be a poor value to our taxpayers and will inhibit our future use of the site, especially portions west of the Slate River. By contrast, maintaining ownership of the land is likely to be advantageous over time. I also find the request for any conditions inappropriate, especially considering the importance of water for fire protection. All of that being the case, however, we may want to suggest we run a dry and unconnected pipe adjacent to the sewer line while we are doing site work anyway as there may be a desire to connect municipal water at some point in the future. Finally, assuming an additional water tap fee of \$180 – \$270K, we will likely save money utilizing an on-site well. Currently, we have directed our design team to plan for the on-site option.

CRESTED BUTTE FIRE PROTECTION DISTRICT
Chief Executive's Report

Related to on-site water service we anticipate the necessary water rights to be about \$70,000 in addition to the well-drilling expense. We will need to store water on the site for domestic and fire suppression use. Currently it is estimated we will need approximately 25,000 – 30,000 gallons of storage, a mid-size fire pump, and some level of domestic water treatment. The stored water will also be helpful for operational and training use as needed.

Todd will update us on additional project details, however, we have been working on the schedule to allow for a start of construction as soon as possible in the spring of 2024. Currently, we are making arrangement for some test drilling to see if a geothermal heating system will be viable and cost-effective on the site. In terms of an updated estimate, we are expecting FCI to have updated numbers to us in 2 -3 weeks to hopefully discuss and approve in July. Lastly on this topic, we have been seeing decent investment returns on the bond proceeds with the latest reinvestment at 5.8% for a 1-year term. Our current budget for hard construction of the Fire and SAR buildings is \$21.8M. We'll see what FCI says about pulling it off for that amount in the current market.

Progress is being made on the Larkspur lot purchase. The attorneys have been refining the required agreements and we hope to be in a position to execute those in July or August at the latest. The board packet contains the latest drafts for review.

Finally in old business, we have re-entered the lottery process for a 3-Bedroom Lazy K unit in Gunnison. This phase of the lottery will be held on July 20th and if we are selected for one of the units the price will be either \$409K or \$428K.

In new business this month we will be hearing from the Fire Marshal on current activities and I will be pleased to answer any additional questions on my report. I do not anticipate any unscheduled business.

3. Action Items

- a) Approve consent agenda
- b) Review and approve conditions for municipal sanitary sewer connection
- c) Discuss offer for conditional municipal water service
- d) Comment on Larkspur documents.
- e) Executive session on water and sewer negotiation items if needed



CRESTED BUTTE FIRE PROTECTION DISTRICT

306 MAROON AVENUE
P.O. BOX 1009
CRESTED BUTTE, CO 81224
(970) 349-5333 FAX: (970) 349-3420
WEBSITE: WWW.CBFPD.ORG

June 14, 2023

CBFPD Board of Directors (BOD)

RE: Fire Prevention Division work summary for May 2023

Dear Board of Directors,

Addressed are some of the larger projects in the plan development and review stages:

Major Projects: (planning, fire requirements & multiple meetings) ON GOING

Mount Crested Butte

- Prospect II-on going
- North Village-on going
- Honey Rock Ridge
- CB Ridge (old Nevada Ridge)

Crested Butte

- Academy Place Multifamily
- Mineral Point
- New Town WWTP
- Fire Campus
- 48 affordable housing units

County

- County Whetstone Housing (240 units)
- New subdivision at Cement Creek & Hwy, 135 (75 homes)
- changing commercial district in CBS to One-Way traffic
- Solar Farm on Hwy 135
- Clark commercial expansion-CBS

Plan Reviews/Letters: completed in April- (15 total)

Mount Crested Butte

- Prospect Drive
- Summit Road
- Gothic Road

Crested Butte

- Nordic Center
- Butte Ave.
- Elk Ave. x 3
- Maroon Ave.
- Bellevue Ave.
- 2nd Street

County

- Lower Highlands
- Laci Ranch
- Chestnut Lane
- Zeligman Street

Inspections & Meetings: 49

Mount Crested Butte

7

Crested Butte

27

County

15

Company Level Annual Life Safety Inspections: 2 performed in the month of May
Operations is still testing and inspecting the dry hydrants in our district

Fire Prevention Division summary: The kitchen hood cleanings have under way. We know of approximately 30 that have been completed but we have only received one report from the various restaurants. Fire Prevention has completed transfer all of occupancies/past fire inspections from our old software, Emergency Reporting to our district server. All the information transferred to the server has now also been transferred to the new First Due software program. A BIG thank you to Joe Wonnacott who put in 23 hours over one weekend to expedited the transfer of data to the server. The Fire Prevention Division currently **HAS 32** invoices out waiting for their plan review payment. Upon receipt of payment, we will start the process to perform their plan review.

Updates & Enforcement issues:

1. New kitchen hood systems have been installed, inspected and approved in the Elk Avenue Prime and the Wooden Nickel.
2. FYI, new hood plan submittals are forthcoming for the Bruhaus, the Princess, the Forest Queen (being lifted in order to excavate a new basement) and the Avalanche Bar & Grill.
3. The Dogwood elected not to replace their failing kitchen hood system. They elected to remove the hood system and will not be cooking any food until requirements are met to install a new hood system.
4. The Town of Crested Butte is in the process of designing and submitting plans for 48 affordable housing lots

Action request to the Board of Directors:

-none as of this packet submittal