

CRESTED BUTTE FIRE PROTECTION DISTRICT
BOARD OF DIRECTORS REGULAR MEETING
Station 2 - 751 Gothic Road, Mt. Crested Butte, CO 81225
Tuesday May 9, 2023 5:15 PM

- 5:15 CALL REGULAR MEETING TO ORDER
1. Introduction of Guests
 - a. John Chmil – Lyons, Gaddis & Kahn PC
 - b. Todd Goulding – Goulding Development Advisors
 - c. Dominic Mauriello – Mauriello Planning Group
 2. Review / Changes to Agenda
- 5:20 OATH OF OFFICE
1. Directors Jack Dietrich, Tina Kempin & Eric Tunkey
- 5:25 CONSENT AGENDA
1. Approval of minutes April 11, 2023 regular meeting
 2. Approval of monthly financial reports
- 5:30 EMS & FIRE CHIEF REPORT
1. Operations and Staffing Report
- 5:40 PUBLIC COMMENT
- 5:45 CHIEF EXECUTIVE OFFICER REPORT / NEW BUSINESS
1. Fire Prevention Report
 2. Calendar Discussion – June Meeting Change & Strategic Planning
 3. 65 Paradise Road Master Lease with Town of Mt. Crested Butte
 4. Lazy K (Gunnison) Lottery Update
 5. 2024 Property Tax Legislation & Ballot Measures
- 6:00 UNSCHEDULED BUSINESS AND BOARD MEMBER COMMENTS
- 6:10 OLD / UNFINISHED BUSINESS
1. 2023 Election Results
 2. Emergency Service Campus Update – Goulding / Mauriello
 - a. Entitlement & Design Updates
- 6:20 EXECUTIVE SESSION
1. Pursuant to Section 24-6-402(4)(e), C.R.S., Determining positions relative to matters that may be subject to negotiations; developing strategy for negotiations; and instructing negotiators and Section 24-6-402(4)(b) to receive legal advise related to the new District facilities and potential utility services to those facilities.
- 6:45 ADJOURNMENT

Online Meeting Information

<https://zoom.us/j/9703495333?pwd=ZUINRFBCL253UzlxSGNhQ0laS29TQ09>
One Tap Mobile +16699009128,,9703495333# US (San Jose)
+1 312 626 6799 US (Chicago) - Meeting ID: 970 349 5333
Password: 5333

CRESTED BUTTE FIRE PROTECTION DISTRICT
MINUTES OF REGULAR MEETING
Mt. Crested Butte Fire Station 2
Tuesday, April 14, 2023
Approved _____

Attendance

Board Members Present: Jack Dietrich Ken Lodovico, Tina Kempin, Eric Tunkey
Board Members Excused: Chris McCann
Guests: John Chmil- Lyons Gaddis Attorneys
Staff, Volunteers and Public: Sean Caffrey, Robert Weisbaum, Annie Tunkey, Ric Ems, Beth Shaner

Changes to Agenda

Meeting called to order at 5:19 pm by Board Vice Chairman Ken Lodovico.
There were no changes to the agenda.

Consent Agenda

Approval of minutes March 2023 Regular Meeting
Approval of Monthly Financial Reports
Motion to approve the consent agenda by Dietrich, seconded by Kempin. Motion passes unanimously.

EMS & Fire Chief Report

Chief Weisbaum presented his written report highlighting March 2023 as the busiest call month in recorded history. Additionally, Chief Weisbaum is pleased with the leadership development resulting from the James Rowan Grow your Captains mentorship. The volunteer recruitment event occurred on March 28th and there are two interested candidates; one who has expressed interest in joining and taking the EMT class and one wildland firefighter who is interested in volunteering and taking the EMT class in the fall. In hiring, the CBFPD welcomed Engineer, Tyler Brown as a new part-time member. The position for Engineer officially closed on March 31st and Weisbaum received one application from a fully qualified candidate. As such, the interview panel determined the candidate should be engaged in the hiring process with each Captain conducting an informal interview with the candidate and a scheduled ride-along, which will occur later this month. Additionally, the interview panel will conduct mock interviews with the FF/EMT candidates for potential hiring in 2024. Chief Weisbaum reports that many members achieved certifications last month, congratulations! Finally, a Quint Committee will be formed to steer the specifications of the new truck; Weisbaum hopes to be able to provide the Board with the collected research by the end of the year. Board member, Kempin asks Chief Weisbaum if he is satisfied with the volunteer recruitment strategy. Weisbaum reports that, nationally, volunteer recruitment is becoming more difficult and Crested Butte is seeing that trend, with many interested people realizing that they do not have the time commitment to volunteer.

Public Comments

There were no public comments.

Old Business

In old business, CEO Caffrey reports the 2023 election mail ballots should arrive in PO boxes this week. To achieve adequate employee housing many avenues are being explored. Caffrey reports that the Prospect lot is still being discussed with the Muller's and Larkspur lot deed restrictions are still in negotiation with the County. Additionally, the CBFPD has expressed interested in 2-3 units at Mineral Point (new Town of Crested Butte affordable housing) and have expressed interest in business units at Lazy K or a possible master lease in the Paintbrush Apartments. The Emergency Services Campus update includes alternate floor plans for the Station 1

headquarters building where the training room is moved upstairs. Amanda Lo, with TCA, conveyed to Caffrey that the new floor plan adds an additional 1800 sqft to the station and a 3rd stairwell to meet egress guidelines for having a public space upstairs; additionally, there is a gap between apparatus bay and the rest of the station. Board members reviewed the plans and provided comments. Both board members Tunkey and Dietrich are concerned about the additional cost associated with the extra square footage. In his absence, Kempin reminds the board that Chairman McCann was primarily concerned about the use of stairs when responding to a call from the second floor. Board members would like to wait to vote until after McCann can voice his opinion; however, the board members prefer the version with the training room downstairs (option A). Finally, Caffrey reports that the district is still on track for May 18th county commission meeting to discuss the land use application.

New Business

CEO Caffrey provided his written report in the packet. There were no questions from the board members.

Fire Marshal Ems presented his written report stating that overall there have been more plan reviews this year-to-date than last year at this time. Ems reports that the implementation of the First Due software is progressing and he provided the board members with the wildfire informational packet created for our fire district. Ems continues to work with both the county and builders to address the changes and challenges the adopted WUI codes have created in the county. The County WUI codes demand water requirements that are more restrictive than the CBFPD code and there has been some push back from residents around the county water requirements.

The district's attorney, John Chmil joined the board meeting for the discussion of the water/sewer negotiations with the Town of Crested Butte. CEO Caffrey presented an estimate of what the cost of obtaining water and sewer from the Town of Crested Butte could potentially be vs. installation of a private septic and water well. Board members discussed the pros and cons of town supplied infrastructure and ongoing costs. In terms of recommendations to the design team, Goulding and Caffrey suggest continuing to engage the Town of Crested Butte in negotiations but also develop plans to have independent water and sewer. Board members discussed the correspondence with the Town of Crested Butte and feel there has been forward progress in negotiations. Additionally, the board approves of the letter Chairman McCann drafted to the Crested Butte Town Council with minor changes, as does, John Chmil. Motion to approve the letter written to the Crested Butte Town Council with revisions by Dietrich, seconded by Tunkey. Motion passes unanimously. Finally, CEO Caffrey suggest a strategic planning board retreat for the fall. Board members suggest avoiding September 22-26 and October 9-14.

Unscheduled Business and Board Member Comments

In unscheduled business Caffrey mentions a save the date for Sunday, September 10, 2023 for a 50th Anniversary open house at Station 1.

Motion to adjourn at 7:15 pm by Kempin, seconded by Dietrich. Motion passes unanimously.

Crested Butte Fire Protection District

Budget vs. Actuals: CBFPD 2023 Approved - FY23 P&L

January - December 2023

	TOTAL			
	ACTUAL	BUDGET	OVER BUDGET	% OF BUDGET
Income				
4000 Property Tax - General Fund	1,665,848.00	3,364,776.00	-1,698,928.00	49.51 %
4020 Specific Ownership Tax	44,096.22	130,000.00	-85,903.78	33.92 %
4040 Intergovernmental Revenue		25,000.00	-25,000.00	
4100 Ambulance/ EMS Service Fees	119,496.53	300,000.00	-180,503.47	39.83 %
4200 Plan Review Fees	129,060.00	125,000.00	4,060.00	103.25 %
4240 Rental Income	33,075.00	69,500.00	-36,425.00	47.59 %
4300 Impact Fees	11,186.23	25,000.00	-13,813.77	44.74 %
4400 Interest Income	37,460.83	25,000.00	12,460.83	149.84 %
4500 Grant Proceeds		150,000.00	-150,000.00	
4600 Contributions / Donations	1,000.00		1,000.00	
4710 Sale of Assets	6,300.00	2,000.00	4,300.00	315.00 %
4720 Vendor Refunds	13,560.00		13,560.00	
Unapplied Cash Payment Income	-3,104.00		-3,104.00	
Total Income	\$2,057,978.81	\$4,216,276.00	\$ -2,158,297.19	48.81 %
GROSS PROFIT	\$2,057,978.81	\$4,216,276.00	\$ -2,158,297.19	48.81 %
Expenses				
5010 (A) Wages - Administration	54,286.11	176,000.00	-121,713.89	30.84 %
5020 (A) Wages - Fire Prevention	91,859.10	303,208.00	-211,348.90	30.30 %
5030 (A) Part-Time / Temp Salaries		4,800.00	-4,800.00	
5060 (A) Payroll Processing Fees	2,369.80	6,000.00	-3,630.20	39.50 %
5130 (A) Medicare Tax	1,740.52	7,018.00	-5,277.48	24.80 %
5140 (A) Social Security Tax	1,730.52	6,112.00	-4,381.48	28.31 %
5150 (A) FPPA Pension - ER	10,900.53	41,338.00	-30,437.47	26.37 %
5160 (A) FAMLII Premium - ER	585.80	2,178.00	-1,592.20	26.90 %
5200 (A) Health Benefits	29,827.20	95,193.00	-65,365.80	31.33 %
5210 (A) EAP Program Fees	330.50	3,500.00	-3,169.50	9.44 %
5260 (A) Workers Compensation Insurance	40,664.00	45,000.00	-4,336.00	90.36 %
5270 (A) Ski Pass Benefit		6,000.00	-6,000.00	
5290 (A) Health Reimbursement	46,397.71	92,700.00	-46,302.29	50.05 %
5300 (A) Advertising	1,583.19	5,000.00	-3,416.81	31.66 %
5320 (A) Accounting and Audit Fees	4,105.45	8,000.00	-3,894.55	51.32 %
5330 (E) Ambulance Billing Fees	6,009.98	18,000.00	-11,990.02	33.39 %
5340 (A) Bank Charges	531.98	2,500.00	-1,968.02	21.28 %
5341 QB Credit Card/ACH Fees	560.72		560.72	
Total 5340 (A) Bank Charges	1,092.70	2,500.00	-1,407.30	43.71 %
5360 (A) Board Expenses	340.80	11,000.00	-10,659.20	3.10 %
5365 (A) Board Stipends	2,400.00	7,000.00	-4,600.00	34.29 %
5370 (A) Debt Service - Lease Purchase	7,125.53	13,979.00	-6,853.47	50.97 %
5380 (A) Down Payment Assistance		1,500.00	-1,500.00	
5400 (A) Dues & Subscriptions	3,539.90	8,000.00	-4,460.10	44.25 %
5420 (A) Education & Training	2,457.08	18,000.00	-15,542.92	13.65 %

	TOTAL			
	ACTUAL	BUDGET	OVER BUDGET	% OF BUDGET
5440 (A) Elections	16,604.26	25,000.00	-8,395.74	66.42 %
5460 (A) Fire Prevention & Life Safety	3,894.06	15,000.00	-11,105.94	25.96 %
5500 (A) Insurance - General	35,174.00	35,000.00	174.00	100.50 %
5520 (A) IT Services & Subscriptions	19,735.40	40,000.00	-20,264.60	49.34 %
5540 (A) Legal & Professional	5,898.68	45,000.00	-39,101.32	13.11 %
5550 (A) Meals & Incentives	1,496.59	23,500.00	-22,003.41	6.37 %
5600 (A) Office Supplies & Equipment	4,974.84	18,000.00	-13,025.16	27.64 %
5620 (A) Postage & Shipping	267.92	3,000.00	-2,732.08	8.93 %
5640 (A) Rent	1,710.80	39,000.00	-37,289.20	4.39 %
5640.1 410 Cascadilla Unit A	12,000.00		12,000.00	
Total 5640 (A) Rent	13,710.80	39,000.00	-25,289.20	35.16 %
5660 (A) Repairs - Buildings	3,571.49	40,000.00	-36,428.51	8.93 %
5670 (A) - Repairs - Rental Units	650.00	5,000.00	-4,350.00	13.00 %
5700 (A) Snow Removal	12,432.51	10,000.00	2,432.51	124.33 %
5720 (A) Telecom - Fixed	773.96	9,000.00	-8,226.04	8.60 %
5760 (A) Travel	6,415.57	20,000.00	-13,584.43	32.08 %
5780 (A) Treasurer's Fee - GF	49,990.43	102,001.00	-52,010.57	49.01 %
5810 (A) Utilities - Rental Units	2,147.13	3,000.00	-852.87	71.57 %
5820 (A) Utilities	21,212.24	45,000.00	-23,787.76	47.14 %
5850 (A) Volunteer Pension Contribution	75,000.00	75,000.00	0.00	100.00 %
5900 (A) Miscellaneous-1		2,000.00	-2,000.00	
6010 (O) Wages - Ops FT	461,318.27	1,487,218.00	-1,025,899.73	31.02 %
6020 (O) Wages - Ops PT	33,389.96	165,000.00	-131,610.04	20.24 %
6060 (O) Unscheduled Overtime	16,620.48	79,011.00	-62,390.52	21.04 %
6070 (O) Training Pay		7,500.00	-7,500.00	
6080 (O) Special Event Pay		1,500.00	-1,500.00	
6090 (O) Volunteer Stipends	6,600.00	50,000.00	-43,400.00	13.20 %
6130 (O) Medicare Tax	6,874.31	25,828.00	-18,953.69	26.62 %
6140 (O) Social Security Tax	2,617.47	13,330.00	-10,712.53	19.64 %
6150 (O) FPPA Pension - ER	53,064.39	178,411.00	-125,346.61	29.74 %
6160 (O) FAMLII Premium - ER	2,047.59	8,016.00	-5,968.41	25.54 %
6200 (O) Health Benefits	78,872.40	290,707.00	-211,834.60	27.13 %
6270 (O) Ski Pass Benefit		45,000.00	-45,000.00	
6360 (O) Dispatch Fees	49,178.87	51,000.00	-1,821.13	96.43 %
6420 (O) Education & Training	11,743.25	50,000.00	-38,256.75	23.49 %
6440 (E) EMS Supplies	10,093.83	35,000.00	-24,906.17	28.84 %
6450 (F) Firefighting Supplies	668.68	15,000.00	-14,331.32	4.46 %
6460 (O) Fuel	12,220.73	45,000.00	-32,779.27	27.16 %
6480 (O) Hazardous Waste Disposal		1,600.00	-1,600.00	
6550 (O) Meals - Training	5,720.82	16,800.00	-11,079.18	34.05 %
6580 (E) Medical Direction	4,107.20	10,000.00	-5,892.80	41.07 %
6600 (O) Protective Equipment	11,983.74	30,000.00	-18,016.26	39.95 %
6620 (O) Radio & Computer Equipment	12,428.94	20,000.00	-7,571.06	62.14 %
6640 (O) Repairs - Equipment	131.23	6,000.00	-5,868.77	2.19 %
6660 (O) Repairs - Vehicles	4,502.55	40,000.00	-35,497.45	11.26 %
6670 (O) Responder Incentives	2,068.86	10,000.00	-7,931.14	20.69 %
6675 (O) Station Supplies	3,129.29	7,500.00	-4,370.71	41.72 %
6680 (E) Service Contracts	19,776.22	12,700.00	7,076.22	155.72 %
6720 (O) Telecom - Mobile	3,951.80	14,000.00	-10,048.20	28.23 %

	TOTAL			
	ACTUAL	BUDGET	OVER BUDGET	% OF BUDGET
6730 (O) Tools & Hardware	421.82	2,000.00	-1,578.18	21.09 %
6750 (O) Training Equipment & Supplies	6,961.93	8,000.00	-1,038.07	87.02 %
6760 (O) Travel	6,665.65	20,000.00	-13,334.35	33.33 %
6800 (O) Uniforms	23,857.57	22,500.00	1,357.57	106.03 %
6820 (O) Wellness & Physicals	1,529.80	10,000.00	-8,470.20	15.30 %
6900 (O) Miscellaneous		2,000.00	-2,000.00	
Total Expenses	\$1,435,843.95	\$4,217,148.00	\$ -2,781,304.05	34.05 %
NET OPERATING INCOME	\$622,134.86	\$ -872.00	\$623,006.86	-71,345.74 %
Other Expenses				
8010 Capital Expenditures		472,500.00	-472,500.00	
Total Other Expenses	\$0.00	\$472,500.00	\$ -472,500.00	0.00%
NET OTHER INCOME	\$0.00	\$ -472,500.00	\$472,500.00	0.00 %
NET INCOME	\$622,134.86	\$ -473,372.00	\$1,095,506.86	-131.43 %

Crested Butte Fire Protection District

Balance Sheet As of April 30, 2023

	TOTAL
ASSETS	
Current Assets	
Bank Accounts	
1000 Operating Checking	147,734.79
1010 BOTW Money Market	287,191.62
1100 COLORTRUST - General Fund	2,647,379.36
1120 COLORTRUST - Debt Proceeds	0.00
1130 CSIP Operating	504,907.75
1200 Triplex Lease Purchase	0.00
Total Bank Accounts	\$3,587,213.52
Accounts Receivable	
1210 Accounts Receivable- Rent/Fees	40,015.37
1211 Mill Levy Property Tax Receivable	1,698,928.00
1250 Property Tax Receivable	0.00
2220 Prepaid Rent Revenue	0.00
Total Accounts Receivable	\$1,738,943.37
Other Current Assets	
1000.3 Clearing Account	0.00
1150 Due from CBFPD Bond Fund	0.00
1255 Accounts Receivable - AUDIT	0.00
1260 Undeposited Funds	0.00
1300 Prepayments	57,321.41
Total Other Current Assets	\$57,321.41
Total Current Assets	\$5,383,478.30
Fixed Assets	
1500.1 306 Maroon Ave	
Depreciation	0.00
Original cost	0.00
Total 1500.1 306 Maroon Ave	0.00
1500.2 751 Gothic Road	
Depreciation	0.00
Original cost	0.00
Total 1500.2 751 Gothic Road	0.00

	TOTAL
1500.3 331 Teocalli Road	0.00
Depreciation	0.00
Original cost	0.00
Total 1500.3 331 Teocalli Road	0.00
1500.4 104 Avion Dr	
Depreciation	0.00
Original cost	0.00
Total 1500.4 104 Avion Dr	0.00
1500.5 819,821 & 823 Teocalli Ave.	0.00
1500.6 10 9th Street	0.00
1500.8 New Station 1 Campus	0.00
1510 Vehicles	
1510.3 2020 North Star Med 46	0.00
Original cost	0.00
Total 1510.3 2020 North Star Med 46	0.00
1510.4 2020 Kenworth Tender	0.00
Original cost	0.00
Total 1510.4 2020 Kenworth Tender	0.00
1510.5 2020 Chevrolet Blazer	0.00
Original cost	0.00
Total 1510.5 2020 Chevrolet Blazer	0.00
1510.6 2020 Light Rescue	0.00
Original cost	0.00
Total 1510.6 2020 Light Rescue	0.00
1510.7 2021 Chevrolet Suburban	0.00
Original cost	0.00
Total 1510.7 2021 Chevrolet Suburban	0.00
1510.8 2022 Type 6- Brush 1	0.00
Total 1510 Vehicles	0.00
1510.1 2019 Chevrolet Colorado D-1	0.00
1510.2 2019 Chevrolet Colorado D-2	0.00
1520 Capital Equipment	53,502.52
1520.2 Machinery & Equipment	0.00
Total 1520 Capital Equipment	53,502.52
1520.1 Machinery & Equipment	0.00
1540 Computer & Office Equipment	425.88
Total Fixed Assets	\$53,928.40
Other Assets	
1600 Bond Fund Reimbursables	0.00
Total Other Assets	\$0.00
TOTAL ASSETS	\$5,437,406.70

	TOTAL
LIABILITIES AND EQUITY	
Liabilities	
Current Liabilities	
Accounts Payable	
2000 Accounts Payable	0.00
Total Accounts Payable	\$0.00
Credit Cards	
1050.1 CBFPD Mastercard	10,793.33
Total Credit Cards	\$10,793.33
Other Current Liabilities	
2005 Accounts Payable- Audit	0.00
2140 Payroll Wages Payable	0.00
2150 Payroll Taxes Payable	0.00
2151 Federal Withholding Liability	0.00
2155 FICA / Medicare Payable	0.00
2160 State Withholding Liability	0.00
2170 FPPA Pension Payable	0.00
2180 Garnishment Payable	0.00
2225 Prepaid Rent	3,104.00
2300 Cash Due Vol Pension Fund	0.00
Total Other Current Liabilities	\$3,104.00
Total Current Liabilities	\$13,897.33
Long-Term Liabilities	
2210 Deferred Property Tax	1,698,928.00
2500 Rental Unit Security Deposits	1,500.00
2500.1 Triplex Lease - Purchase	-23,687.45
Total Long-Term Liabilities	\$1,676,740.55
Total Liabilities	\$1,690,637.88
Equity	
3000 Opening Balance Equity	0.00
3050 TABOR Reserve	124,000.00
3100 Operating Reserve	1,421,189.00
3150 Restricted for Spann Note Payable	0.00
3200 Major Incident Reserve	100,000.00
3250 Down Payment Assistance Fund	80,000.00
3300 Impact Fee (Capital) Reserve	389,815.38
3310 Mt. CB Impact Fee Reserve	0.00
3320 CB Impact Fee Reserve	0.00
3330 County Impact Fee Reserve	0.00
3350 Committed Subs Years Budget	521,021.00
3400 Unrestricted Reserve	445,774.19
Net Income	664,969.25
Total Equity	\$3,746,768.82
TOTAL LIABILITIES AND EQUITY	\$5,437,406.70

Crested Butte Fire Protection District

Expenses by Vendor Summary

April 2023

	TOTAL
5.11	841.29
ADP	482.60
ADP Screening & Selection Services	52.48
AeroCare, USA	245.00
Alerus	1,712.74
Amazon	353.81
Amazon Web Services	7.05
Ambulance Medical Billing	7,388.36
ArcAntenna	260.34
AT&T	540.54
ATMOS Energy	2,904.59
Badge And Wallet	396.00
Bank of the West	90.25
Bankcard Center	4.98
Benchmark Insurance Company	40,664.00
Bound Tree Medical	412.60
Buckhorn Ranch Assoc.	540.00
Bustang	45.00
Camp 4 Coffee	119.00
CEBT	27,589.47
CenturyLink	209.99
City Market	362.36
Clark's Market	222.12
CoDFPC - Colorado Division of Fire Prevention and Control	347.45
Colorado Fire Mechanics' Association	1,535.00
Colorado State Fire Chiefs	1,130.00
Complete Wireless Technologies	229.75
Concur Solutions (christopherson Business Travel)	4.00
Crested Butte Ace Hardware	81.56
Crested Butte News	835.24
Crested Butte South Metro District	517.97
East River Sanitation District	84.19
ECMS PPE Care for Heroes	374.50
Exxon Mobil	3,956.70
FastSpring	66.29
FPPA	75,000.00
Galls	383.77
Gas Cafe	190.85
GBtronics LLC	1,985.00
Gunnison County Electric Association	920.86
Gunnison Liquor Store	300.00
Guru Importer	10.00
Hilton	1,128.58
Jack Dietrich	100.00

	TOTAL
Jayson Simons Jones	2,400.00
Joe Mirza	706.00
Ken Lodovico	100.00
King of the Mountain Earthworks	945.00
Kristina F Kempin	100.00
L.N. Curtis & Sons	580.00
Lacy Construction	182.50
Lodging (Generic)	97.00
Lyons Gaddis	776.00
Majestic Theater	47.23
Montrose Lung & Sleep Center	52.80
Montrose Water Factory	181.77
Monty's Auto Parts	155.89
Mt. Crested Butte Water& Sanitation	115.49
Outlander Contracting	1,755.00
Paper Clip	764.42
Pearl Education	199.00
QuickBooks Payments	369.94
Respond First Aid Systems	77.65
Restaurant (Generic)	1,310.05
Safeway	323.13
SatCom Global	110.30
Secret Stash	817.65
Shay Krier MD	475.00
Sheepdog Microphones	359.55
SHRM	244.00
SlingTV	55.00
Special District Solutions	1,167.54
Spectrum	265.94
Stryker Medical	2,922.30
Target Solutions	6,375.00
TechSoup	10.00
The Bubble Wrap	17.00
Thrive Yoga	1,300.00
Town of Crested Butte	107.08
UMR	10,108.09
USPS	121.95
Verizon	363.14
Visionary Broadband	146.10
W. Eric Tunkey	100.00
Waste Management	441.30
weboost	519.99
Not Specified	195,657.97
TOTAL	\$407,550.05

Crested Butte Fire Protection District

Transaction Report

April 2023

DATE	TRANSACTION TYPE	NUM	NAME	MEMO/DESCRIPTION	ACCOUNT	SPLIT	AMOUNT	BALANCE
04/06/2023	Journal Entry	0486		Net Pay DD	6130 (O) Medicare Tax	-Split-	43.50	43.50
04/06/2023	Journal Entry	0486		Net Pay DD	6140 (O) Social Security Tax	-Split-	186.00	229.50
04/06/2023	Journal Entry	0486		Regular Earnings	6090 (O) Volunteer Stipends	-Split-	3,000.00	3,229.50
04/06/2023	Journal Entry	0486		CO FAMILI - ER	6160 (O) FAMILI Premium - ER	-Split-	13.50	3,243.00
04/10/2023	Journal Entry	0487			5780 (A) Treasurer's Fee - GF	-Split-	10,728.81	13,971.81
04/12/2023	Journal Entry	0489			5150 (A) FPPA Pension - ER	-Split-	0.00	13,971.81
04/12/2023	Journal Entry	0489			6010 (O) Wages - Ops FT	-Split-	0.00	13,971.81
04/12/2023	Journal Entry	0489			6020 (O) Wages - Ops PT	-Split-	0.00	13,971.81
04/12/2023	Journal Entry	0489			6030 (O) On-Call Pay	-Split-	0.00	13,971.81
04/12/2023	Journal Entry	0489			6060 (O) Unscheduled Overtime	-Split-	0.00	13,971.81
04/12/2023	Journal Entry	0489			6070 (O) Training Pay	-Split-	0.00	13,971.81
04/12/2023	Journal Entry	0489			6080 (O) Special Event Pay	-Split-	0.00	13,971.81
04/12/2023	Journal Entry	0489			6130 (O) Medicare Tax	-Split-	0.00	13,971.81
04/12/2023	Journal Entry	0490		CO FAMILI - ER	6160 (O) FAMILI Premium - ER	-Split-	240.94	14,212.75
04/12/2023	Journal Entry	0489			6150 (O) FPPA Pension - ER	-Split-	0.00	14,212.75
04/12/2023	Journal Entry	0490		Regular Earnings	5010 (A) Wages - Administration	-Split-	6,792.86	21,005.61
04/12/2023	Journal Entry	0490		Fire Prevention	5020 (A) Wages - Fire Prevention	-Split-	11,416.80	32,422.41
04/12/2023	Journal Entry	0490		Employer Medicare Tax	5130 (A) Medicare Tax	-Split-	235.08	32,657.49
04/12/2023	Journal Entry	0490		Employer Social Security Tax	5140 (A) Social Security Tax	-Split-	224.84	32,882.33
04/12/2023	Journal Entry	0490		ER AD&D CORRECT	5150 (A) FPPA Pension - ER	-Split-	247.92	33,130.25
04/12/2023	Journal Entry	0490		ER PENSION CONT	5150 (A) FPPA Pension - ER	-Split-	1,322.18	34,452.43
04/12/2023	Journal Entry	0490		CO FAMILI - ER	5160 (A) FAMILI Premium - ER	-Split-	72.96	34,525.39
04/12/2023	Journal Entry	0490		Voluntary Life Contribution	5200 (A) Health Benefits	-Split-	-81.41	34,443.98
04/12/2023	Journal Entry	0490		Overtime Earnings	6010 (O) Wages - Ops FT	-Split-	5,310.39	39,754.37
04/12/2023	Journal Entry	0490		Regular Earnings	6010 (O) Wages - Ops FT	-Split-	51,872.27	91,626.64
04/12/2023	Journal Entry	0490		VACATION	6010 (O) Wages - Ops FT	-Split-	468.51	92,095.15
04/12/2023	Journal Entry	0490		Regular Earnings	6020 (O) Wages - Ops PT	-Split-	3,444.96	95,540.11
04/12/2023	Journal Entry	0490		OVERTIME UNSCH	6060 (O) Unscheduled Overtime	-Split-	432.20	95,972.31
04/12/2023	Journal Entry	0490		Employer Medicare Tax	6130 (O) Medicare Tax	-Split-	776.29	96,748.60
04/12/2023	Journal Entry	0490		Employer Social Security Tax	6140 (O) Social Security Tax	-Split-	213.59	96,962.19
04/12/2023	Journal Entry	0490		ER AD&D CORRECT	6150 (O) FPPA Pension - ER	-Split-	980.09	97,942.28
04/12/2023	Journal Entry	0490		ER PENSION CONT	6150 (O) FPPA Pension - ER	-Split-	5,476.86	103,419.14
04/12/2023	Journal Entry	0489			5140 (A) Social Security Tax	-Split-	0.00	103,419.14
04/12/2023	Journal Entry	0489			5130 (A) Medicare Tax	-Split-	0.00	103,419.14
04/12/2023	Journal Entry	0489			5050 (A) Overtime	-Split-	0.00	103,419.14
04/12/2023	Journal Entry	0489			5030 (A) Part-Time / Temp Salaries	-Split-	0.00	103,419.14
04/12/2023	Journal Entry	0489			5010 (A) Wages - Administration	-Split-	0.00	103,419.14
04/12/2023	Journal Entry	0489			6140 (O) Social Security Tax	-Split-	0.00	103,419.14
04/18/2023	Check	36737	Clare Charsley-Groffman	2023 FDIC Per-Diem and Travel Reimbursement	6760 (O) Travel	1000 Operating Checking	560.00	103,979.14
04/25/2023	Journal Entry	0493		Regular Earnings	5010 (A) Wages - Administration	-Split-	6,232.85	110,211.99
04/25/2023	Journal Entry	0493		SICK	5010 (A) Wages - Administration	-Split-	31.55	110,243.54
04/25/2023	Journal Entry	0493		CO FAMILI - ER	6160 (O) FAMILI Premium - ER	-Split-	250.95	110,494.49
04/25/2023	Journal Entry	0493		ER PENSION CONT	6150 (O) FPPA Pension - ER	-Split-	5,512.77	116,007.26
04/25/2023	Journal Entry	0493		ER AD&D CORRECT	6150 (O) FPPA Pension - ER	-Split-	986.52	116,993.78
04/25/2023	Journal Entry	0493		Employer Social Security Tax	6140 (O) Social Security Tax	-Split-	178.31	117,172.09
04/25/2023	Journal Entry	0493		Employer Medicare Tax	6130 (O) Medicare Tax	-Split-	808.65	117,980.74
04/25/2023	Journal Entry	0493		OVERTIME UNSCH	6060 (O) Unscheduled Overtime	-Split-	2,813.64	120,794.38
04/25/2023	Journal Entry	0493		Regular Earnings	6020 (O) Wages - Ops PT	-Split-	2,516.00	123,310.38
04/25/2023	Journal Entry	0493		Overtime Earnings	6020 (O) Wages - Ops PT	-Split-	360.00	123,670.38
04/25/2023	Journal Entry	0493		VACATION	6010 (O) Wages - Ops FT	-Split-	4,517.47	128,187.85
04/25/2023	Journal Entry	0493		SICK	6010 (O) Wages - Ops FT	-Split-	182.56	128,370.41
04/25/2023	Journal Entry	0493		Regular Earnings	6010 (O) Wages - Ops FT	-Split-	48,772.85	177,143.26
04/25/2023	Journal Entry	0493		Overtime Earnings	6010 (O) Wages - Ops FT	-Split-	4,556.30	181,699.56
04/25/2023	Journal Entry	0493		Voluntary Life Contribution	5200 (A) Health Benefits	-Split-	-81.41	181,618.15
04/25/2023	Journal Entry	0493		CO FAMILI - ER	5160 (A) FAMILI Premium - ER	-Split-	72.93	181,691.08
04/25/2023	Journal Entry	0493		VACATION	5010 (A) Wages - Administration	-Split-	504.80	182,195.88
04/25/2023	Journal Entry	0493		Fire Prevention	5020 (A) Wages - Fire Prevention	-Split-	11,433.30	193,629.18
04/25/2023	Journal Entry	0493		Employer Medicare Tax	5130 (A) Medicare Tax	-Split-	234.96	193,864.14
04/25/2023	Journal Entry	0493		Employer Social Security Tax	5140 (A) Social Security Tax	-Split-	224.42	194,088.56
04/25/2023	Journal Entry	0493		ER AD&D CORRECT	5150 (A) FPPA Pension - ER	-Split-	247.91	194,336.47
04/25/2023	Journal Entry	0493		ER PENSION CONT	5150 (A) FPPA Pension - ER	-Split-	1,321.50	195,657.97
04/26/2023	Journal Entry	0494			6020 (O) Wages - Ops PT	-Split-	0.00	195,657.97
04/26/2023	Journal Entry	0494			6150 (O) FPPA Pension - ER	-Split-	0.00	195,657.97
04/26/2023	Journal Entry	0494			5150 (A) FPPA Pension - ER	-Split-	0.00	195,657.97
04/26/2023	Journal Entry	0494			5140 (A) Social Security Tax	-Split-	0.00	195,657.97
04/26/2023	Journal Entry	0494			5130 (A) Medicare Tax	-Split-	0.00	195,657.97

DATE	TRANSACTION TYPE	NUM	NAME	MEMO/DESCRIPTION	ACCOUNT	SPLIT	AMOUNT	BALANCE
04/26/2023	Journal Entry	0494			5050 (A) Overtime	-Split-	0.00	195,657.97
04/26/2023	Journal Entry	0494			5030 (A) Part-Time / Temp Salaries	-Split-	0.00	195,657.97
04/26/2023	Journal Entry	0494			5010 (A) Wages - Administration	-Split-	0.00	195,657.97
04/26/2023	Journal Entry	0494			6140 (O) Social Security Tax	-Split-	0.00	195,657.97
04/26/2023	Journal Entry	0494			6130 (O) Medicare Tax	-Split-	0.00	195,657.97
04/26/2023	Journal Entry	0494			6080 (O) Special Event Pay	-Split-	0.00	195,657.97
04/26/2023	Journal Entry	0494			6070 (O) Training Pay	-Split-	0.00	195,657.97
04/26/2023	Journal Entry	0494			6060 (O) Unscheduled Overtime	-Split-	0.00	195,657.97
04/26/2023	Journal Entry	0494			6030 (O) On-Call Pay	-Split-	0.00	195,657.97
04/26/2023	Journal Entry	0494			6010 (O) Wages - Ops FT	-Split-	0.00	195,657.97
TOTAL							\$195,657.97	

Crested Butte Fire Protection District Capital Funds Project

Profit and Loss January - April, 2023

	TOTAL
Income	
4010 Property Tax - Capital Fund	831,310.55
4020 Specific Ownership Tax	22,641.33
4100.2 Interest Income (Capital)	243,101.07
4100.3 Interest Income (Bond)	1,641.82
Total Income	\$1,098,694.77
GROSS PROFIT	\$1,098,694.77
Expenses	
5300 Land	349,266.33
5400 Soft Costs	222,540.09
5780 Treasure's Fee - CF	24,946.29
5790.2 Bank Charges (Capital)	135.00
Total Expenses	\$596,887.71
NET OPERATING INCOME	\$501,807.06
NET INCOME	\$501,807.06

Crested Butte Fire Protection District Capital Funds Project

Balance Sheet As of April 30, 2023

	TOTAL
ASSETS	
Current Assets	
Bank Accounts	
1000 Checking	294,624.17
1010 Money Market	531,714.90
1050 CSIP Investment Account - Bond Payment	476,192.55
1051 Colotrust Account- Multi-Year Land Purchase	1,852,607.53
1100 CSIP Investment Account - Proceeds	26,872,229.00
Total Bank Accounts	\$30,027,368.15
Accounts Receivable	
1211 Mill Levy Property Tax Receivable	848,389.45
Total Accounts Receivable	\$848,389.45
Other Current Assets	
1260 Capital Accrued Interest- CSIP	42,438.52
1520 Bond Cash with County Treasurer	0.00
2010 Due to CBFPD Operating Account	0.00
Total Other Current Assets	\$42,438.52
Total Current Assets	\$30,918,196.12
TOTAL ASSETS	\$30,918,196.12
LIABILITIES AND EQUITY	
Liabilities	
Long-Term Liabilities	
2210 Deferred Property Tax	848,389.45
Total Long-Term Liabilities	\$848,389.45
Total Liabilities	\$848,389.45
Equity	
3100 Restricted for Debt Service	-2,605,747.00
3150 Restricted Spann Note Payable	2,605,747.00
Retained Earnings	29,567,999.61
Net Income	501,807.06
Total Equity	\$30,069,806.67
TOTAL LIABILITIES AND EQUITY	\$30,918,196.12

Crested Butte Fire Protection District Capital Funds Project

Expenses by Vendor Summary

January - April, 2023

	TOTAL
Blythe Group + co	171,269.45
Cesare, Inc.	2,011.98
Goulding Development Advisors	10,784.06
Gunnison County	4,165.00
Lyons Gaddis	2,627.60
Maureillo Planning Group, LLC	24,902.00
McDowell Engineering, LLC	6,780.00
Virgil & Lee Spann Ranches, Inc	349,266.33
Not Specified	25,081.29
TOTAL	\$596,887.71

Crested Butte Fire Protection District Capital Funds Project

Transaction Report

January - April, 2023

DATE	TRANSACTION TYPE	NUM	NAME	MEMO/DESCRIPTION	ACCOUNT	SPLIT	AMOUNT	BALANCE
01/03/2023	Deposit		Bank of the West	Miscellaneous Fee Refund VALUED CUSTOMER MONTHLY SERVICE	5790.2 Bank Charges (Capital)	1000 Checking	-25.00	-25.00
01/03/2023	Expense		Bank of the West	Wire Fee Spann Payment Miscellaneous Fees OUTGOING DOMESTIC WIRE/REF # 230	5790.2 Bank Charges (Capital)	1000 Checking	35.00	10.00
01/03/2023	Expense		Bank of the West	Miscellaneous Fees PREVIOUS PERIOD ACTIVITY RESULTE	5790.2 Bank Charges (Capital)	1000 Checking	25.00	35.00
01/20/2023	Expense		Bank of the West	Miscellaneous Fees NON ANALYZED CHARGES/MISCELLANE	5790.2 Bank Charges (Capital)	1000 Checking	25.00	60.00
02/01/2023	Deposit		Bank of the West	Miscellaneous Fee Refund VALUED CUSTOMER MONTHLY SERVICE	5790.2 Bank Charges (Capital)	1000 Checking	-25.00	35.00
02/01/2023	Expense		Bank of the West	Miscellaneous Fees PREVIOUS PERIOD ACTIVITY RESULTE	5790.2 Bank Charges (Capital)	1000 Checking	25.00	60.00
02/10/2023	Journal Entry	28			5780 Treasure's Fee - CF	-Split-	4,760.60	4,820.60
02/21/2023	Expense		Bank of the West	Miscellaneous Fees NON ANALYZED CHARGES/MISCELLANE	5790.2 Bank Charges (Capital)	1000 Checking	25.00	4,845.60
03/01/2023	Deposit		Bank of the West	Miscellaneous Fee Refund VALUED CUSTOMER MONTHLY SERVICE	5790.2 Bank Charges (Capital)	1000 Checking	-25.00	4,820.60
03/01/2023	Expense		Bank of the West	Miscellaneous Fees PREVIOUS PERIOD ACTIVITY RESULTE	5790.2 Bank Charges (Capital)	1000 Checking	25.00	4,845.60
03/14/2023	Journal Entry	30			5780 Treasure's Fee - CF	-Split-	14,833.89	19,679.49
03/20/2023	Expense		Bank of the West	Miscellaneous Fees NON ANALYZED CHARGES/MISCELLANE	5790.2 Bank Charges (Capital)	1000 Checking	25.00	19,704.49
04/03/2023	Expense		Bank of the West	Miscellaneous Fees PREVIOUS PERIOD ACTIVITY RESULTE	5790.2 Bank Charges (Capital)	1000 Checking	25.00	19,729.49
04/03/2023	Deposit		Bank of the West	Miscellaneous Fee Refund VALUED CUSTOMER MONTHLY SERVICE	5790.2 Bank Charges (Capital)	1000 Checking	-25.00	19,704.49
04/10/2023	Journal Entry	48			5780 Treasure's Fee - CF	-Split-	5,351.80	25,056.29
04/20/2023	Expense		Bank of the West	Miscellaneous Fees NON ANALYZED CHARGES/MISCELLANE	5790.2 Bank Charges (Capital)	1000 Checking	25.00	25,081.29
TOTAL							\$25,081.29	



Customer Service
PO Box 11813
Harrisburg, PA 17108-1813

ACCOUNT STATEMENT

For the Month Ending
April 30, 2023

Crested Butte Fire Protection District

Client Management Team

Chris Blackwood

Managing Director
950 17th Street, DN-CO-T8
Denver, CO 80202
720-955-2530
blackwoodc@pfmam.com

Contents

Cover/Disclosures
Summary Statement
Individual Accounts

Accounts included in Statement

2210106001	Crested Butte Fire Protection District
2210106002	Operating Account Fund
2210106003	Bond Payment Fund

Important Messages

CSIP will be closed on 05/29/2023 for Memorial Day.

CRESTED BUTTE FIRE PROTECTION DISTRICT
SEAN CAFFREY
P.O. BOX 1009
CRESTED BUTTE, CO 81224

Online Access www.csipinvest.com

Customer Service 1-855-274-7468



Account Statement

For the Month Ending April 30, 2023

Important Disclosures

Important Disclosures

This statement is for general information purposes only and is not intended to provide specific advice or recommendations. PFM Asset Management LLC ("PFMAM") is an investment adviser registered with the U.S. Securities and Exchange Commission and a subsidiary of U.S. Bancorp Asset Management, Inc. ("USBAM"). USBAM is a subsidiary of U.S. Bank National Association ("U.S. Bank"). U.S. Bank is a separate entity and subsidiary of U.S. Bancorp. U.S. Bank is not responsible for and does not guarantee the products, services or performance of PFMAM. PFMAM maintains a written disclosure statement of our background and business experience. If you would like to receive a copy of our current disclosure statement, please contact Service Operations at the address below.

Proxy Voting PFMAM does not normally receive proxies to vote on behalf of its clients. However, it does on occasion receive consent requests. In the event a consent request is received the portfolio manager contacts the client and then proceeds according to their instructions. PFMAM's Proxy Voting Policy is available upon request by contacting Service Operations at the address below.

Questions About an Account PFMAM's monthly statement is intended to detail our investment advisory activity as well as the activity of any accounts held by clients in pools that are managed by PFMAM. The custodian bank maintains the control of assets and executes (i.e., settles) all investment transactions. The custodian statement is the official record of security and cash holdings and transactions. PFMAM recognizes that clients may use these reports to facilitate record keeping and that the custodian bank statement and the PFMAM statement should be reconciled and differences resolved. Many custodians use a settlement date basis which may result in the need to reconcile due to a timing difference.

Account Control PFMAM does not have the authority to withdraw funds from or deposit funds to the custodian outside the scope of services provided by PFMAM. Our clients retain responsibility for their internal accounting policies; implementing and enforcing internal controls and generating ledger entries or otherwise recording transactions.

Market Value Generally, PFMAM's market prices are derived from closing bid prices as of the last business day of the month as supplied by Refinitiv or Bloomberg. For certain short-term investments or where prices are not available from generally recognized sources the securities are priced using a yield-based matrix system to arrive at an estimated market value. Prices that fall between data points are interpolated. Non-negotiable FDIC-insured bank certificates of deposit are priced at par. Although PFMAM believes the prices to be reliable, the values of the securities may not represent the prices at which the securities could have been bought or sold. Explanation of the valuation methods for a registered investment company or local government investment program is contained in the appropriate fund offering documentation or information statement.

Amortized Cost The original cost of the principal of the security is adjusted for the amount of the periodic reduction of any discount or premium from the purchase date until the date of the report. Discount or premium with respect to short term securities (those with less than one year to maturity at time of issuance) is amortized on a straightline basis. Such discount or premium with respect to longer term securities is amortized using the constant yield basis.

Tax Reporting Cost data and realized gains / losses are provided for informational purposes only. Please review for accuracy and consult your tax advisor to determine the tax consequences of your security transactions. PFMAM does not report such information to the IRS or other taxing authorities and is not responsible for the accuracy of such information that may be required to be reported to federal, state or other taxing authorities.

Financial Situation In order to better serve you, PFMAM should be promptly notified of any material change in your investment objective or financial situation.

Callable Securities Securities subject to redemption prior to maturity may be redeemed in whole or in part before maturity, which could affect the yield represented.

Portfolio The securities in this portfolio, including shares of mutual funds, are not guaranteed or otherwise protected by PFMAM, the FDIC (except for certain non-negotiable certificates of deposit) or any government agency. Investment in securities involves risks, including the possible loss of the amount invested. Actual settlement values, accrued interest, and amortized cost amounts may vary for securities subject to an adjustable interest rate or subject to principal paydowns. Any changes to the values shown may be reflected within the next monthly statement's beginning values.

Rating Information provided for ratings is based upon a good faith inquiry of selected sources, but its accuracy and completeness cannot be guaranteed.

Shares of some local government investment programs and TERM funds are marketed through representatives of PFMAM's affiliate, PFM Fund Distributors, Inc. which is registered with the SEC as a broker/dealer and is a member of the Financial Industry Regulatory Authority ("FINRA") and the Municipal Securities Rulemaking Board ("MSRB"). You may reach the FINRA by calling the FINRA Hotline at 1-800-289-9999 or at the FINRA website address <https://www.finra.org/investors/investor-contacts>. A brochure describing the FINRA Regulation Public Disclosure Program is also available from FINRA upon request.

Key Terms and Definitions

Dividends on local government investment program funds consist of interest earned, plus any discount ratably amortized to the date of maturity, plus all realized gains and losses on the sale of securities prior to maturity, less ratably amortization of any premium and all accrued expenses to the fund. Dividends are accrued daily and may be paid either monthly or quarterly. The monthly earnings on this statement represent the estimated dividend accrued for the month for any program that distributes earnings on a quarterly basis. There is no guarantee that the estimated amount will be paid on the actual distribution date.

Current Yield is the net change, exclusive of capital changes and income other than investment income, in the value of a hypothetical fund account with a balance of one share over the seven-day base period including the statement date, expressed as a percentage of the value of one share (normally \$1.00 per share) at the beginning of the seven-day period. This resulting net change in account value is then annualized by multiplying it by

365 and dividing the result by 7. The yields quoted should not be considered a representation of the yield of the fund in the future, since the yield is not fixed. **Average maturity** represents the average maturity of all securities and investments of a portfolio, determined by multiplying the par or principal value of each security or investment by its maturity (days or years), summing the products, and dividing the sum by the total principal value of the portfolio. The stated maturity date of mortgage backed or callable securities are used in this statement. However the actual maturity of these securities could vary depending on the level or prepayments on the underlying mortgages or whether a callable security has or is still able to be called.

Monthly distribution yield represents the net change in the value of one share (normally \$1.00 per share) resulting from all dividends declared during the month by a fund expressed as a percentage of the value of one share at the beginning of the month. This resulting net change is then annualized by multiplying it by 365 and dividing it by the number of calendar days in the month.

YTM at Cost The yield to maturity at cost is the expected rate of return, based on the original cost, the annual interest receipts, maturity value and the time period from purchase date to maturity, stated as a percentage, on an annualized basis.

YTM at Market The yield to maturity at market is the rate of return, based on the current market value, the annual interest receipts, maturity value and the time period remaining until maturity, stated as a percentage, on an annualized basis.

Managed Account A portfolio of investments managed discretely by PFMAM according to the client's specific investment policy and requirements. The investments are directly owned by the client and held by the client's custodian.

Unsettled Trade A trade which has been executed however the final consummation of the security transaction and payment has not yet taken place.

Please review the detail pages of this statement carefully. If you think your statement is wrong, missing account information, or if you need more information about a transaction, please contact PFMAM within 60 days of receipt. If you have other concerns or questions regarding your account, or to request an updated copy of PFMAM's current disclosure statement, please contact a member of your client management team at PFMAM Service Operations at the address below.

PFM Asset Management LLC
Attn: Service Operations
213 Market Street
Harrisburg, PA 17101

NOT FDIC INSURED NO BANK GUARANTEE MAY LOSE VALUE



Consolidated Summary Statement

Account Statement
For the Month Ending **April 30, 2023**

Crested Butte Fire Protection District

Portfolio Summary

Portfolio Holdings	Cash Dividends and Income	Closing Market Value	Current Yield
CSIP LGIP	6,361.37	1,377,469.63	4.98 %
CSIP TERM	0.00	17,480,772.95	* N/A
CSIP Managed Account	23,627.93	9,033,975.55	* N/A
Total	\$29,989.30	\$27,892,218.13	

* Not Applicable

Investment Allocation

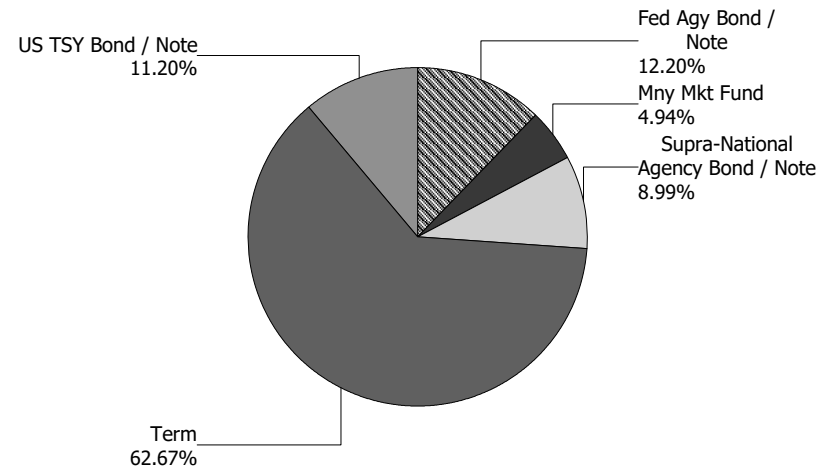
Investment Type	Closing Market Value	Percent
Federal Agency Bond / Note	3,402,322.18	12.20
Money Market Mutual Fund	1,377,469.63	4.94
Supra-National Agency Bond / Note	2,506,761.18	8.99
Term Investment	17,480,772.95	62.67
U.S. Treasury Bond / Note	3,124,892.19	11.20
Total	\$27,892,218.13	100.00%

Maturity Distribution (Fixed Income Holdings)

Portfolio Holdings	Closing Market Value	Percent
Under 30 days	3,361,951.36	12.06
31 to 60 days	3,843,985.94	13.78
61 to 90 days	1,723,210.74	6.18
91 to 180 days	6,963,070.09	24.96
181 days to 1 year	12,000,000.00	43.02
1 to 2 years	0.00	0.00
2 to 3 years	0.00	0.00
3 to 4 years	0.00	0.00
4 to 5 years	0.00	0.00
Over 5 years	0.00	0.00
Total	\$27,892,218.13	100.00%

Weighted Average Days to Maturity 152

Sector Allocation





Consolidated Summary Statement

Account Statement
For the Month Ending **April 30, 2023**

Crested Butte Fire Protection District

Account Number	Account Name	Opening Market Value	Purchases / Deposits	Redemptions / Sales/ Maturities	Unsettled Trades	Change in Value	Closing Market Value	Cash Dividends and Income
2210106001	Crested Butte Fire Protection District	26,872,229.00	4,204,348.36	(4,196,349.44)	0.00	30,226.90	26,910,454.82	29,326.29
2210106002	Operating Account Fund	504,907.75	1.33	0.00	0.00	0.00	504,909.08	1.33
2210106003	Bond Payment Fund	141,192.55	811,854.23	(476,192.55)	0.00	0.00	476,854.23	661.68
Total		\$27,518,329.30	\$5,016,203.92	(\$4,672,541.99)	\$0.00	\$30,226.90	\$27,892,218.13	\$29,989.30



Account Statement - Transaction Summary

For the Month Ending **April 30, 2023**

Crested Butte Fire Protection District - Crested Butte Fire Protection District - 2210106001

CSIP LGIP	
Opening Market Value	1,173,480.35
Purchases	2,204,348.36
Redemptions	(2,001,349.44)
Unsettled Trades	0.00
Change in Value	0.00

Closing Market Value	\$1,376,479.27
Cash Dividends and Income	5,698.36

CSIP TERM	
Opening Market Value	14,500,000.00
Purchases	2,000,000.00
Redemptions	0.00
Unsettled Trades	0.00
Change in Value	0.00

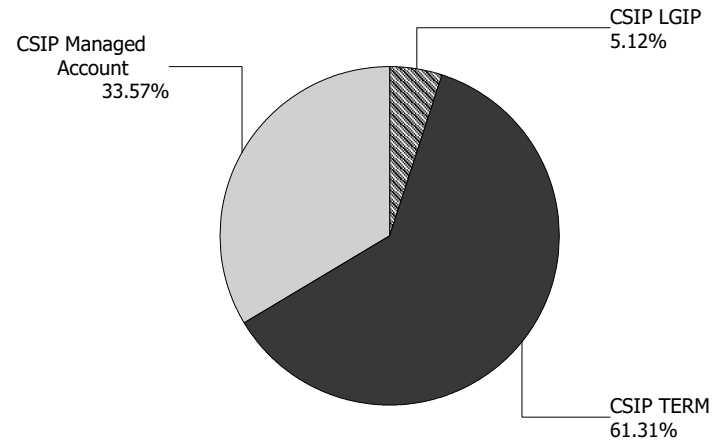
Closing Market Value	\$16,500,000.00
Cash Dividends and Income	0.00

CSIP Managed Account	
Opening Market Value	11,198,748.65
Purchases	0.00
Redemptions	(2,195,000.00)
Unsettled Trades	0.00
Change in Value	30,226.90

Closing Market Value	\$9,033,975.55
Cash Dividends and Income	23,627.93

Asset Summary		
	April 30, 2023	March 31, 2023
CSIP LGIP	1,376,479.27	1,173,480.35
CSIP TERM	16,500,000.00	14,500,000.00
CSIP Managed Account	9,033,975.55	11,198,748.65
Total	\$26,910,454.82	\$26,872,229.00

Asset Allocation





Investment Holdings

For the Month Ending **April 30, 2023**

Crested Butte Fire Protection District - Crested Butte Fire Protection District - 2210106001

Trade Date	Settlement Date	Security Description	Maturity Date	Rate	Investment Amount	Estimated Earnings	Est. Value at Maturity
CSIP TERM							
12/08/22	12/09/22	TERM - Colorado Statewide Investment Pool Term Dec 23	06/09/23	5.0400	2,000,000.00	39,491.51	2,050,261.92
03/16/23	03/17/23	TERM - Colorado Statewide Investment Pool Term Dec 24	08/23/23	4.9100	2,500,000.00	15,133.56	2,553,471.92
12/08/22	12/08/22	TERM - Colorado Statewide Investment Pool Term Dec 23	11/03/23	5.1400	2,000,000.00	40,556.71	2,092,942.47
11/08/22	11/09/22	TERM - Colorado Statewide Investment Pool Term Dec 23	11/06/23	5.3400	4,000,000.00	101,240.55	4,211,844.38
02/03/23	02/03/23	TERM - Colorado Statewide Investment Pool Term Dec 24	02/01/24	4.9900	2,000,000.00	23,787.95	2,099,253.15
02/13/23	02/13/23	TERM - Colorado Statewide Investment Pool Term Dec 24	02/13/24	5.0400	2,000,000.00	21,264.66	2,100,800.00
04/18/23	04/19/23	TERM - Colorado Statewide Investment Pool Term Dec 24	04/16/24	5.2400	2,000,000.00	3,436.07	2,103,940.98
Total					\$16,500,000.00	\$244,911.01	\$17,212,514.82



Managed Account Summary Statement

For the Month Ending **April 30, 2023**

Crested Butte Fire Protection District - Crested Butte Fire Protection District - 2210106001 - (15231590)

Transaction Summary - Money Market		Transaction Summary - Managed Account		Account Total	
Opening Market Value	\$1,173,480.35	Opening Market Value	\$11,198,748.65	Opening Market Value	\$12,372,229.00
Purchases	2,204,348.36	Maturities/Calls	(2,195,000.00)		
Redemptions	(2,001,349.44)	Principal Dispositions	0.00		
		Principal Acquisitions	0.00		
		Unsettled Trades	0.00		
		Change in Current Value	30,226.90		
Closing Market Value	\$1,376,479.27	Closing Market Value	\$9,033,975.55	Closing Market Value	\$10,410,454.82
Dividend	5,698.36				

Earnings Reconciliation (Cash Basis) - Managed Account	
Interest/Dividends/Coupons Received	3,650.00
Less Purchased Interest Related to Interest/Coupons	0.00
Plus Net Realized Gains/Losses	19,977.93
Total Cash Basis Earnings	\$23,627.93

Cash Balance	
Closing Cash Balance	\$0.00

Earnings Reconciliation (Accrual Basis)	Managed Account	Total
Ending Amortized Value of Securities	9,112,482.88	10,488,962.15
Ending Accrued Interest	8,347.00	8,347.00
Plus Proceeds from Sales	0.00	2,001,349.44
Plus Proceeds of Maturities/Calls/Principal Payments	2,197,743.75	2,197,743.75
Plus Coupons/Dividends Received	906.25	906.25
Less Cost of New Purchases	0.00	(2,204,348.36)
Less Beginning Amortized Value of Securities	(11,301,404.82)	(12,474,885.17)
Less Beginning Accrued Interest	(8,365.94)	(8,365.94)
Dividends	0.00	5,698.36
Total Accrual Basis Earnings	\$9,709.12	\$15,407.48

Cash Transactions Summary- Managed Account	
Maturities/Calls	2,197,743.75
Sale Proceeds	0.00
Coupon/Interest/Dividend Income	906.25
Principal Payments	0.00
Security Purchases	0.00
Net Cash Contribution	(2,198,650.00)
Reconciling Transactions	0.00



Portfolio Summary and Statistics

For the Month Ending **April 30, 2023**

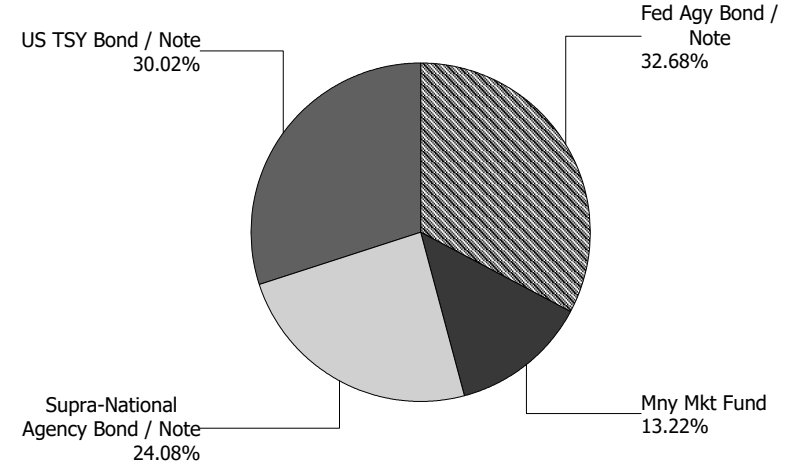
Crested Butte Fire Protection District - Crested Butte Fire Protection District - 2210106001 - (15231590)

Account Summary

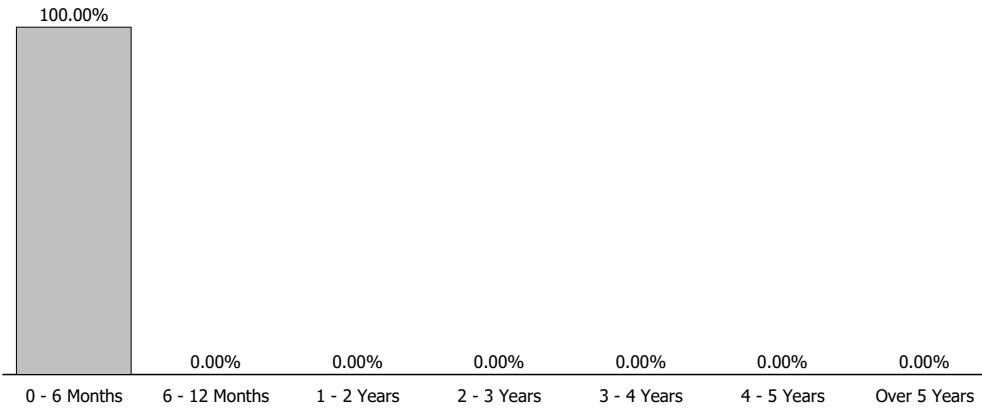
Description	Par Value	Market Value	Percent
U.S. Treasury Bond / Note	3,155,000.00	3,124,892.19	30.02
Supra-National Agency Bond / Note	2,530,000.00	2,506,761.18	24.08
Federal Agency Bond / Note	3,440,000.00	3,402,322.18	32.68
Managed Account Sub-Total	9,125,000.00	9,033,975.55	86.78%
Accrued Interest		8,347.00	
Total Portfolio	9,125,000.00	9,042,322.55	
CSIP LGIP	1,376,479.27	1,376,479.27	13.22
Total Investments	10,501,479.27	10,418,801.82	100.00%

Unsettled Trades **0.00** **0.00**

Sector Allocation



Maturity Distribution



Characteristics

Yield to Maturity at Cost	1.18%
Yield to Maturity at Market	4.99%
Weighted Average Days to Maturity	83



Managed Account Issuer Summary

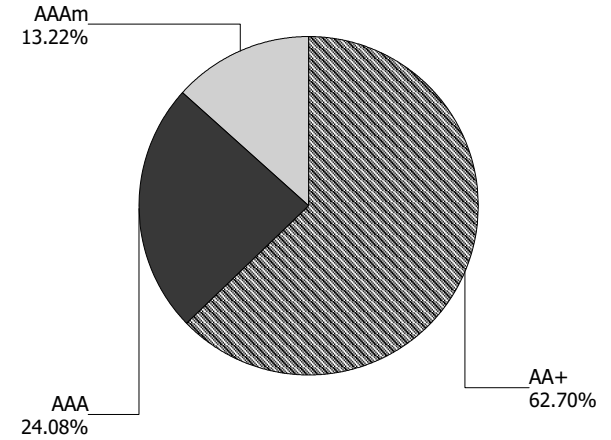
For the Month Ending **April 30, 2023**

Crested Butte Fire Protection District - Crested Butte Fire Protection District - 2210106001 - (15231590)

Issuer Summary

Issuer	Market Value of Holdings	Percent
AFRICAN DEVELOPMENT BANK	783,550.44	7.53
ASIAN DEVELOPMENT BANK	1,723,210.74	16.55
CSIP LGIP	1,376,479.27	13.22
FANNIE MAE	1,984,481.73	19.06
FREDDIE MAC	1,417,840.45	13.62
UNITED STATES TREASURY	3,124,892.19	30.02
Total	\$10,410,454.82	100.00%

Credit Quality (S&P Ratings)





Managed Account Detail of Securities Held

For the Month Ending **April 30, 2023**

Crested Butte Fire Protection District - Crested Butte Fire Protection District - 2210106001 - (15231590)

Security Type/Description Dated Date/Coupon/Maturity	CUSIP	Par	S&P Rating	Moody's Rating	Trade Date	Settle Date	Original Cost	YTM at Cost	Accrued Interest	Amortized Cost	Market Value
U.S. Treasury Bond / Note											
US TREASURY NOTES DTD 06/15/2020 0.250% 06/15/2023	912828ZU7	1,855,000.00	AA+	Aaa	02/09/22	02/10/22	1,833,261.72	1.13	1,745.43	1,853,003.63	1,843,985.94
US TREASURY NOTES DTD 08/15/2020 0.125% 08/15/2023	91282CAF8	1,300,000.00	AA+	Aaa	02/09/22	02/10/22	1,279,179.69	1.20	336.67	1,295,994.64	1,280,906.25
Security Type Sub-Total		3,155,000.00					3,112,441.41	1.16	2,082.10	3,148,998.27	3,124,892.19
Supra-National Agency Bond / Note											
ASIAN DEVELOPMENT BANK NOTES DTD 07/14/2020 0.250% 07/14/2023	045167EV1	1,740,000.00	AAA	Aaa	02/09/22	02/11/22	1,716,927.60	1.19	1,292.92	1,736,703.94	1,723,210.74
AFRICAN DEVELOPMENT BANK BOND DTD 09/20/2018 3.000% 09/20/2023	00828EDC0	790,000.00	AAA	Aaa	02/09/22	02/11/22	811,914.60	1.25	2,699.17	795,310.36	783,550.44
Security Type Sub-Total		2,530,000.00					2,528,842.20	1.21	3,992.09	2,532,014.30	2,506,761.18
Federal Agency Bond / Note											
FANNIE MAE NOTES DTD 05/22/2020 0.250% 05/22/2023	3135G04Q3	1,990,000.00	AA+	Aaa	02/09/22	02/10/22	1,968,269.20	1.11	2,197.29	1,989,020.72	1,984,481.73
FREDDIE MAC NOTES DTD 10/16/2020 0.125% 10/16/2023	3137EAAY1	1,450,000.00	AA+	Aaa	02/09/22	02/10/22	1,422,450.00	1.27	75.52	1,442,449.59	1,417,840.45
Security Type Sub-Total		3,440,000.00					3,390,719.20	1.18	2,272.81	3,431,470.31	3,402,322.18
Managed Account Sub-Total		9,125,000.00					9,032,002.81	1.18	8,347.00	9,112,482.88	9,033,975.55
Money Market Mutual Fund											
CSIP LGIP		1,376,479.27	AAA	NR			1,376,479.27		0.00	1,376,479.27	1,376,479.27
Liquid Sub-Total		1,376,479.27					1,376,479.27		0.00	1,376,479.27	1,376,479.27



Managed Account Detail of Securities Held

For the Month Ending **April 30, 2023**

Crested Butte Fire Protection District - Crested Butte Fire Protection District - 2210106001 - (15231590)

Securities Sub-Total	\$10,501,479.27	\$10,408,482.08	1.18%	\$8,347.00	\$10,488,962.15	\$10,410,454.82
Accrued Interest						\$8,347.00
Total Investments						\$10,418,801.82



Managed Account Fair Market Value & Analytics

For the Month Ending **April 30, 2023**

Crested Butte Fire Protection District - Crested Butte Fire Protection District - 2210106001 - (15231590)

Security Type/Description Dated Date/Coupon/Maturity	CUSIP	Par	Broker	Next Call Date	Market Price	Market Value	Unreal G/L On Cost	Unreal G/L Amort Cost	Effective Duration	YTM at Mkt
U.S. Treasury Bond / Note										
US TREASURY NOTES DTD 06/15/2020 0.250% 06/15/2023	912828ZU7	1,855,000.00	MORGAN_		99.41	1,843,985.94	10,724.22	(9,017.69)	0.13	4.97
US TREASURY NOTES DTD 08/15/2020 0.125% 08/15/2023	91282CAF8	1,300,000.00	JPM_CHA		98.53	1,280,906.25	1,726.56	(15,088.39)	0.30	5.17
Security Type Sub-Total		3,155,000.00				3,124,892.19	12,450.78	(24,106.08)	0.20	5.05
Supra-National Agency Bond / Note										
ASIAN DEVELOPMENT BANK NOTES DTD 07/14/2020 0.250% 07/14/2023	045167EV1	1,740,000.00	TD		99.04	1,723,210.74	6,283.14	(13,493.20)	0.21	4.99
AFRICAN DEVELOPMENT BANK BOND DTD 09/20/2018 3.000% 09/20/2023	00828EDCO	790,000.00	JPM_CHA		99.18	783,550.44	(28,364.16)	(11,759.92)	0.40	5.12
Security Type Sub-Total		2,530,000.00				2,506,761.18	(22,081.02)	(25,253.12)	0.27	5.03
Federal Agency Bond / Note										
FANNIE MAE NOTES DTD 05/22/2020 0.250% 05/22/2023	3135G04O3	1,990,000.00	RBS		99.72	1,984,481.73	16,212.53	(4,538.99)	0.07	4.80
FREDDIE MAC NOTES DTD 10/16/2020 0.125% 10/16/2023	3137EAAY1	1,450,000.00	RBS		97.78	1,417,840.45	(4,609.55)	(24,609.14)	0.47	5.05
Security Type Sub-Total		3,440,000.00				3,402,322.18	11,602.98	(29,148.13)	0.23	4.90
Managed Account Sub-Total		9,125,000.00				9,033,975.55	1,972.74	(78,507.33)	0.23	4.99
Money Market Mutual Fund										
CSIP LGIP		1,376,479.27			1.00	1,376,479.27	0.00	0.00	0.00	
Liquid Sub-Total		1,376,479.27				1,376,479.27	0.00	0.00	0.00	
Securities Sub-Total		\$10,501,479.27				\$10,410,454.82	\$1,972.74	(\$78,507.33)	0.23	4.99%
Accrued Interest						\$8,347.00				
Total Investments						\$10,418,801.82				



Managed Account Security Transactions & Interest

For the Month Ending **April 30, 2023**

Crested Butte Fire Protection District - Crested Butte Fire Protection District - 2210106001 - (15231590)

Transaction Type		Security Description	CUSIP	Par	Principal Proceeds	Accrued Interest	Total	Realized G/L Cost	Realized G/L Amort Cost	Sale Method
Trade	Settle									
INTEREST										
04/16/23	04/16/23	FREDDIE MAC NOTES DTD 10/16/2020 0.125% 10/16/2023	3137EAEY1	1,450,000.00	0.00	906.25	906.25			
Transaction Type Sub-Total				1,450,000.00	0.00	906.25	906.25			
MATURITY										
04/15/23	04/15/23	US TREASURY NOTES DTD 04/15/2020 0.250% 04/15/2023	912828ZH6	2,195,000.00	2,195,000.00	2,743.75	2,197,743.75	19,977.93	0.00	
Transaction Type Sub-Total				2,195,000.00	2,195,000.00	2,743.75	2,197,743.75	19,977.93	0.00	
Managed Account Sub-Total					2,195,000.00	3,650.00	2,198,650.00	19,977.93	0.00	
Total Security Transactions					\$2,195,000.00	\$3,650.00	\$2,198,650.00	\$19,977.93	\$0.00	



Account Statement

For the Month Ending **April 30, 2023**

Crested Butte Fire Protection District - Crested Butte Fire Protection District - 2210106001

Trade Date	Settlement Date	Transaction Description	Share or Unit Price	Dollar Amount of Transaction	Total Shares Owned
CSIP LGIP					
Opening Balance					1,173,480.35
04/17/23	04/17/23	Purchase - Interest 3137EAEY1	1.00	906.25	1,174,386.60
04/17/23	04/17/23	Purchase - Principal 912828ZH6	1.00	2,197,743.75	3,372,130.35
04/19/23	04/19/23	Redemption - TERM Investment	1.00	(2,000,000.00)	1,372,130.35
04/25/23	04/25/23	IP Fees March 2023	1.00	(1,057.77)	1,371,072.58
04/25/23	04/25/23	U.S. Bank Fees February 2023	1.00	(291.67)	1,370,780.91
04/28/23	05/01/23	Accrual Income Div Reinvestment - Distributions	1.00	5,698.36	1,376,479.27
Closing Balance					1,376,479.27

	Month of April	Fiscal YTD January-April		
Opening Balance	1,173,480.35	2,345,229.22	Closing Balance	1,376,479.27
Purchases	2,204,348.36	7,537,381.79	Average Monthly Balance	1,399,816.96
Redemptions (Excl. Checks)	(2,001,349.44)	(8,506,131.74)	Monthly Distribution Yield	4.95%
Check Disbursements	0.00	0.00		
Closing Balance	1,376,479.27	1,376,479.27		
Cash Dividends and Income	5,698.36	26,318.49		

Trade Date	Settlement Date	Transaction Description	Maturity Date	Stated Yield	Dollar Amount of Transaction
CSIP TERM					
04/18/23	04/19/23	Purchase - TERM Investment	04/16/24	5.2400	2,000,000.00



Account Statement - Transaction Summary

For the Month Ending **April 30, 2023**

Crested Butte Fire Protection District - Operating Account Fund - 2210106002

CSIP LGIP	
Opening Market Value	327.35
Purchases	1.33
Redemptions	0.00
Unsettled Trades	0.00
Change in Value	0.00

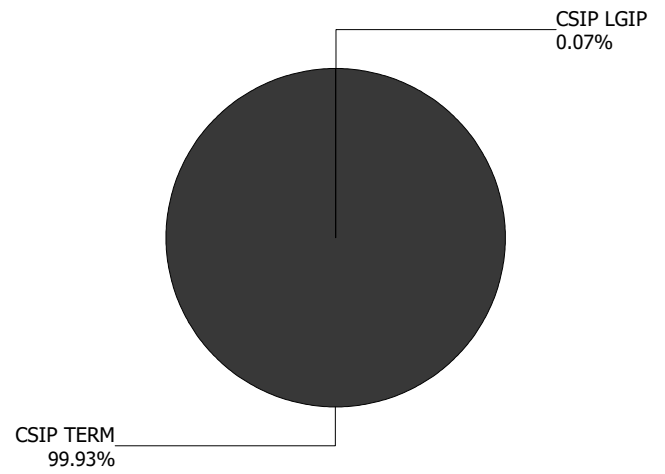
Closing Market Value	\$328.68
Cash Dividends and Income	1.33

CSIP TERM	
Opening Market Value	504,580.40
Purchases	0.00
Redemptions	0.00
Unsettled Trades	0.00
Change in Value	0.00

Closing Market Value	\$504,580.40
Cash Dividends and Income	0.00

Asset Summary		
	April 30, 2023	March 31, 2023
CSIP LGIP	328.68	327.35
CSIP TERM	504,580.40	504,580.40
Total	\$504,909.08	\$504,907.75

Asset Allocation





Investment Holdings

For the Month Ending **April 30, 2023**

Crested Butte Fire Protection District - Operating Account Fund - 2210106002

Trade Date	Settlement Date	Security Description	Maturity Date	Rate	Investment Amount	Estimated Earnings	Est. Value at Maturity
CSIP TERM							
11/15/22	11/16/22	TERM - Colorado Statewide Investment Pool Term Dec 23	10/10/23	4.9400	504,580.40	11,336.33	526,979.90
Total					\$504,580.40	\$11,336.33	\$526,979.90



Account Statement

For the Month Ending **April 30, 2023**

Crested Butte Fire Protection District - Operating Account Fund - 2210106002

Trade Date	Settlement Date	Transaction Description	Share or Unit Price	Dollar Amount of Transaction	Total Shares Owned
CSIP LGIP					
Opening Balance					327.35
04/28/23	05/01/23	Accrual Income Div Reinvestment - Distributions	1.00	1.33	328.68
Closing Balance					328.68

	Month of April	Fiscal YTD January-April	
Opening Balance	327.35	323.60	Closing Balance
Purchases	1.33	5.08	Average Monthly Balance
Redemptions (Excl. Checks)	0.00	0.00	Monthly Distribution Yield
Check Disbursements	0.00	0.00	4.95%
Closing Balance	328.68	328.68	
Cash Dividends and Income	1.33	5.08	



Account Statement - Transaction Summary

For the Month Ending **April 30, 2023**

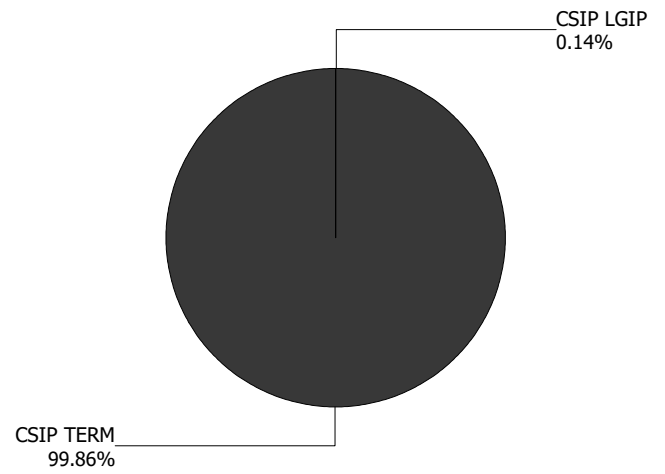
Crested Butte Fire Protection District - Bond Payment Fund - 2210106003

CSIP LGIP	
Opening Market Value	141,192.55
Purchases	335,661.68
Redemptions	(476,192.55)
Unsettled Trades	0.00
Change in Value	0.00
Closing Market Value	\$661.68
Cash Dividends and Income	661.68

CSIP TERM	
Opening Market Value	0.00
Purchases	476,192.55
Redemptions	0.00
Unsettled Trades	0.00
Change in Value	0.00
Closing Market Value	\$476,192.55
Cash Dividends and Income	0.00

Asset Summary		
	April 30, 2023	March 31, 2023
CSIP LGIP	661.68	141,192.55
CSIP TERM	476,192.55	0.00
Total	\$476,854.23	\$141,192.55

Asset Allocation





Investment Holdings

For the Month Ending **April 30, 2023**

Crested Butte Fire Protection District - Bond Payment Fund - 2210106003

Trade Date	Settlement Date	Security Description	Maturity Date	Rate	Investment Amount	Estimated Earnings	Est. Value at Maturity
CSIP TERM							
04/18/23	04/19/23	TERM - Colorado Statewide Investment Pool Term Dec 23	10/18/23	5.4200	476,192.55	848.54	489,062.01
Total					\$476,192.55	\$848.54	\$489,062.01



Account Statement

For the Month Ending **April 30, 2023**

Crested Butte Fire Protection District - Bond Payment Fund - 2210106003

Trade Date	Settlement Date	Transaction Description	Share or Unit Price	Dollar Amount of Transaction	Total Shares Owned
CSIP LGIP					
Opening Balance					141,192.55
04/12/23	04/12/23	Purchase - ACH Purchase	1.00	335,000.00	476,192.55
04/19/23	04/19/23	Redemption - TERM Investment	1.00	(476,192.55)	0.00
04/28/23	05/01/23	Accrual Income Div Reinvestment - Distributions	1.00	661.68	661.68

Closing Balance **661.68**

	Month of April	Fiscal YTD January-April		
Opening Balance	141,192.55	139,578.20	Closing Balance	661.68
Purchases	335,661.68	337,276.03	Average Monthly Balance	162,948.36
Redemptions (Excl. Checks)	(476,192.55)	(476,192.55)	Monthly Distribution Yield	4.95%
Check Disbursements	0.00	0.00		
Closing Balance	661.68	661.68		
Cash Dividends and Income	661.68	2,276.03		

Trade Date	Settlement Date	Transaction Description	Maturity Date	Stated Yield	Dollar Amount of Transaction
CSIP TERM					
04/18/23	04/19/23	Purchase - TERM Investment	10/18/23	5.4200	476,192.55



April 2023 EMS & Fire Chief
Board Report

We experienced a surprising number of calls for service during April. As the ski area closed down, our call volume did not. In 2022, we had 32 calls for service. This month, we responded to 62 calls. A 94% increase. I applaud the team for their level of professionalism and the customer service they provide. As we enter into wildland fire season, some of our members attended the movie Elemental at the Majestic Theatre. The film was good and provided good insight into how to live with fire. Thanks to Lt. Reeves for joining me at both screenings for a Q&A session afterwards. There was good conversation with some local community members. As we continue to build our program, public education will provide a great opportunity for public relations and outreach. We have had numerous discussions about flood potential in our county as a result of our great snowpack. While some areas are more at risk, we are certainly keeping an eye out on some areas in our district. People are anxious to get out on the water to recreate and as levels rise, the opportunity for incidents increase. The NVFC (national volunteer fire council) released a free screening of their new movie “Odd hours, No pay, Cool hat” that showcased volunteerism throughout the country. They did a good job, however as we face the challenges in our community, recruitment remains a major concern and struggle. I realize this is not new news to anyone. The time commitment, education commitment, and investment are large. Regardless of that, we greatly appreciate our volunteers.

Personnel/Volunteers

I would like to give Melvin a sincere thank you and wish him well as he parts way in his full time role. He completed his last full time shift and will transition to part time. It’s amazing to watch someone’s journey over 10 years and how much he has grown. We couldn’t be prouder of him. We welcome John Bielak to the team. He

will officially start May 17th for his onboarding process and then be placed onto A shift.

While we are sad to see Paramedic Dustin Morgan leave our organization, I commend him on his career that has spanned 23 years. He has given a lot to the profession and our community during the time he spent with us. He will be leaving emergency services all together to focus on something new. We wish him well in his future endeavors.

As such, we have posted a FF/Paramedic position onto publicsafetyanswers.com in hopes of reaching a larger applicant pool. This is the same service we utilized for the Captain position. I'm hopeful we will gather some good candidates.

Training

The driver/operator course has proven to be a good investment. The team is enjoying the instructors and content they are providing. The crew has formed a committee to change our hose lays from our current Triple lay to the minute man. While the triple lay is just another tool/method, the minute man is quicker and more effective while also providing a faster reload time into the hose bed. Matt Evans has led the way with implementation and has been very thoughtful to include staff, part time, and volunteers. The staff built a training prop so that we can practice in the bays rather than the in service engine. They did a great job.

More recently, Chief Reily has also made some sprinkler head props that can be pressurized with air and flow water. So cool! This will provide the opportunity for members to recognize the joys of shutting down a sprinkler head in an effort to minimize water damage when there is no fire.

April EMS and Fire training included:

Communications, minute man hose load/deployment, waived medications and state rules regarding EMS scope of practice, and the agitated/combative patient.

Members have also been completing their arduous pack test in preparation for wildland season.



Vehicles

We have identified the apparatus committee for Engine 1 replacement. With the help of Jeff Duke, Mike Reily, Mark Voegeli, Corey Tibljas, and myself we will begin meeting to start the design process and identify objectives. We have received updates from Rosenbauer about the possibility of an all-wheel drive capable aerial truck so this is promising.

The command vehicle insert is behind schedule but we are hoping for a June delivery. However, the paint job on D8 looks great and we are excited to see the finished product.

Unfortunately, it has been confirmed that we will not take delivery of our new grant awarded ambulance during this FY. We have asked for an extension to the state controller as the industry is experiencing significant chassis delays. Our capital budget for the ambulance is slated for 2023, and while we will still purchase some components of the grant project, we won't take full delivery so we will have to address that when the time comes.

Maintenance

Engine 3 remains on long delay.

No other major things to report regarding maintenance.

CRESTED BUTTE FIRE PROTECTION DISTRICT
Chief Executive's Report

May 9, 2023

1. Consent Agenda

- a) April 11th Regular Meeting Minutes
- b) Monthly Financial Reports

2. Chief Executive's Comments:

I believe there was a time when the period of April – May was referred to as the “slow season.” This month, however, has been anything but slow and we have full agenda in addition to all of the work that has been happening in the background. In terms of general updates, the local moisture levels remain high and there is still plenty of snowpack yet to melt. We are following the high water conversations with Gunnison County Emergency Management and we expect to see peak flows later this month into early June. The District also continues to be in a solid financial position with expenses on track and revenues coming in at or above expectations. The Gunnison Regional Communications Center is also working to install new radio consoles in dispatch beginning this month that will improve our radio communications and revamp our paging procedures. We are expecting some interim procedure changes and some equipment delays so the project will occur in a number of phases through September.

As you may have read, property taxes will also be a matter of substantial concern next year. Last week saw the last minute introduction of Senate Bill 23-303 to help mitigate the large spike in taxes expected statewide. By the time we meet the state legislature will have adjourned for the year so we should know more about how that legislation worked out. Internally, we are continuing to work with leadership coach James Rowan who is currently conducting a blind spot survey for our officers. In terms of staffing changes, we have bid Melvin Seyfried farewell as a full-timer, look forward to welcoming John Bielak in a few weeks, and are actively recruiting a paramedic to replace Dustin Morgan who will be leaving us shortly. Long-time Volunteer Paramedic Beth Shaner will be moving into our unit at 821 Teocalli around mid-month. We are pleased to have Beth as our first volunteer tenant!

Chief Weisbaum will be updating us on the current status of operational activities including staffing, training events, repairs, and the status of various new vehicle orders.

We will be modifying our typical agenda this month to handle new business items first as the old business items will dovetail better with the arrival of our guests and the executive session. First up in new business will be Fire Marshal Ems and the fire prevention report. In addition to Ric's report, we appear to be seeing plan submissions at or above 2022 levels already!

Following fire prevention, Annie will walk us through some calendar items. Both Annie and I are scheduled to be away on June 13th, our next meeting date. As such, we would like to reschedule the June meeting to either the week prior (June 6th) or the week after (June 20th). We could also discuss a different date, or cancel the meeting if the Board would like. We are also working to finalize dates and times for the strategic planning retreat. Our top candidates for locations so far appear to be Gateway Canyons or Ouray. The best date options appear to be in late October. Annie and I are also working on finding a facilitator for the session. Also note the date for the annual BBQ on June 14th and our 50th Anniversary celebration to be held on Sunday September 10th.

Next in new business is review and approval of a master lease arrangement with the Town of Mt. Crested Butte for 65 Paradise Rd. The Town is willing to offer us a reasonable rate on this single family home of \$2800/month. The property looks like it will work well for our new employee John Bielak and his family. We are undergoing final legal review now, however, if the board is satisfied in with the arrangement which includes a guaranteed six-month occupancy with a 90-day termination clause, we will finalize the terms and I will execute the lease. Understanding how our other master lease works in

CRESTED BUTTE FIRE PROTECTION DISTRICT
Chief Executive's Report

CB South where Rick Ball and Luke Danek are sharing a 3-bedroom duplex that we are subsidizing at about \$700/month, I would like to charge John \$2,100 / month to maintain an equitable subsidy arrangement and keep our rents in line with the HUD fair market rents for the area.

Also, just a quick note that we participated in the GVRHA lottery for a 3-bedroom business-owned unit in Phase 3 of the Lazy K project in Gunnison. Our position selected was as the 2nd alternate of two units available so it is unlikely a unit will be available to us in this phase. There will, however, be another phase later on, so I included some information on the project for your review.

The final new business item will be a brief update on the anticipated property tax situation for 2024. As noted earlier, the State Legislature is actively involved in developing an approach that also involves both legislation and a ballot measure. There is also potential for competing ballot measures. Overall, the proposed plan by the legislature will not impact us significantly if enacted as it looks today. A more restrictive independent ballot measure may be more concerning. Preliminary indications from the Assessor's Office, however, put us at a new overall assessment of \$650 Million, a 47% increase from our current \$440 Million. As such, we should be in a position to accommodate some growth of District operations in 2024 while still being able to use less than our authorized mill levy. Details of this will undoubtedly be a main topic at our strategic planning session.

Following unscheduled business our first old business item is the May Special District Election Results. First and foremost, it does appear a mail ballot election increased our voter participation levels by about a factor of 3 over previous May elections with over 600 ballots casts. Despite not needing any votes, all of the board candidates received well over 300 votes each indicating a high level of public support. The De-Brucing question received 64% approval with 398 votes in favor and 219 against. Final results will be certified shortly after the overseas ballot deadline expires. The De-Brucing measure will provide the District with about \$1.5 Million of additional flexibility to utilize as the Board determines moving forward.

I was generally pleased with the time and effort saved in the election by utilizing and outsourced contractor. Unfortunately, however, there was a reasonable amount of consternation among last-minute voters regarding the absence of a local drop off location and some confusing language on the return envelope regarding if a ballot needed to be postmarked, or received by, election day. As timing would have it, I visited the Mt. Crested Butte Board on election night and received a fairly blistering earful from the Town Council on this topic. In speaking with both the contractor and our legal counsel, however, despite the printing issue on the envelope, the instructions with the ballot were clear and Colorado election law is explicit on when ballots must be received to be counted. In the future, however, I think it would be wise for us to do mail ballot elections in conjunction with a local drop off location. We have also learned to look for and approve multiple versions of return envelope language.

Finally in old business we will be reviewing the status of the Emergency Services Campus project. As all of you are aware the water and sewer discussion is the main event heading into the May 18th Planning Commission hearing. I am grateful for the work of Chairman McCann to reach out to the Crested Butte Town Council as those efforts appear to have been very helpful. Attached is the latest from the Town which includes a conditional connection approval. We will speak more about finalizing that item in the executive session, however, I believe we are agreed in principal which will be very helpful for the Planning Commission hearing.

In addition to water and sewer, I have invited Dominic Mauriello to join us along with Todd Goulding and John Chmil to walk us through the anticipated process with Gunnison County and what the next steps may or may not look like based on what the planning commission determines. Other than these items, no significant work has taken place on the project this month, however, a significant amount of design development is anticipated after we clear the hurdles of planning and utilities.

CRESTED BUTTE FIRE PROTECTION DISTRICT
Chief Executive's Report

3. Action Items

- a) Oaths of Office Dietrich, Kempin & Tunkey
- b) Approve consent agenda
- c) Determine alternate date for June meeting
- d) Determine strategic planning dates
- e) Review and approve master lease for 65 Paradise Rd.
- f) Review process for upcoming planning commission hearing
- g) Executive session on water and sewer details / receive legal advice



CRESTED BUTTE FIRE PROTECTION DISTRICT

306 MAROON AVENUE
P.O. BOX 1009
CRESTED BUTTE, CO 81224
(970) 349-5333 FAX: (970) 349-3420
WEBSITE: WWW.CBFPD.ORG

May 2nd, 2023

CBFPD Board of Directors (BOD)

RE: Fire Prevention Division work summary for April 2023

Dear Board of Directors,

Addressed are some of the larger projects in the plan development and review stages:

Major Projects: (planning, fire requirements & multiple meetings) ON GOING

Mount Crested Butte

- Prospect II-on going
- North Village-on going
- 159 Snowmass

Crested Butte

- Academy Place Multifamily
- Mineral Point
- New Town WWTP
- Fire Campus

County

- County Whetstone Housing (240 units)
- New subdivision at Cement Creek & Hwy, 135 (75 homes)
- changing commercial district in CBS to One-Way traffic
- Solar Farm

Plan Reviews/Letters: completed in April- (11 total)

Mount Crested Butte

- Snowmass Road
- Gothic Road
- Bellevue-
- Emmons Road

Crested Butte

- Butte Ave.
- 1st Street

County

- Fairway Drive
- Hidden Mine Road
- Escalante ST.
- Red Mountain Ranch
- South Avion Drive

Inspections & Meetings: 30

Mount Crested Butte

5

Crested Butte

17

County

8

Company Level Annual Life Safety Inspections: 0 performed in the month of April

I gave Operations the Dry Hydrant performance-testing schedule to be completed by Memorial Day.

Fire Prevention Division summary: The kitchen hood cleaning companies are currently in town and performing cleaning & inspections. Fire Prevention did transfer about 650 occupancies/past fire inspections from our old software, Emergency Reporting to our district server. Once complete we will transfer to the new First Due software program. We attended a Gunnison County Builders meeting on April 26th, 2023. That meeting also discussed the Wildland Urban Interface Code that the County adopted on 1/1/2023. We addressed any “alternative water supply” concerns.

Updates & Enforcement issues:

1. The “Stop Work Order” was lifted for the 159 Snowmass Development project. Their fire hydrants have been installed, tested and approved.
2. The Town of Crested Butte is very adamant about retaining the name of their affordable housing unit development as “MINERAL POINT”. Their project stated off as Slate River,

then it was Sixth & Butte and now they have finalized the name of Mineral Point without checking with us as to duplicate or redundant names of roads, subdivisions or projects.

In all of our planning, in cooperation with all our mutual aid partners we have been doing a great job of avoiding this redundant name issue as, it is an imminent threat to life safety.

3. As I mentioned in last month's report, there are 5 new kitchen hoods being installed and inspected by Memorial Day.
4. FYI-the Fire District has an IGA with the Town of Crested Butte that waives all of our plan review & inspection fees for affordable housing units. Any third party reviews required will be billed at 100% of the cost for that third party review.

Fire Prevention Division Annual Life Safety Inspections:

1. Still waiting on the Dogwood to provide us with a timeline for correcting their hood issues. The Dogwood wants to open again in late May. It is unlikely they will be allowed to open again unless they have a contractor (under contract) to correct all issues in a shorter timeframe.

Action request to the Board of Directors:

-none as of packet submittal

LEASE AGREEMENT

This Lease Agreement (the "Agreement") is entered into this ____ day of _____, 2023 by and between the Town of Mt. Crested Butte (the "Town") whose address is P.O. Box 5800, Mt. Crested Butte, Colorado 81225 and the Crested Butte Fire Protection District (the "District") whose address is 306 Maroon Ave, Crested Butte, CO 81224.

I. RECITALS

A. The Town is the owner of the single family home located at 65 Paradise Rd., Mt. Crested Butte, Colorado 81225 (the "Leased Premises").

B. The Leased Premises consists of a fully furnished three (3) bedroom, two (2) bathroom single family home with a two car garage.

C. It is the desire of the Town and the District to enter into a lease agreement for the use of the Leased Premises by the District for the housing of various District employees.

II. AGREEMENT

In consideration of the mutual promises and considerations contained herein, the receipt and delivery of which are acknowledged and confessed, the Town and the District agree to the following:

1. Property Leased. The Town hereby leases the Leased Premises to the District and the District agrees to accept the lease of the same under the terms and conditions herein.

2. Use of Leased Premises. The Leased Premises shall be used and occupied by District employees exclusively as a private single family residence, and neither the Leased Premises nor any part of it shall be used at any time during the term of this Agreement for the purpose of carrying on any business, profession, short-term rental operation, or trade of any kind, or for any purpose other than as a private single family residence. The District shall comply with all laws, ordinances, rules and orders of appropriate governmental authorities affecting the occupancy and preservation of the Leased Premises. The District shall abide by and observe any and all rules and regulations affecting the occupancy of the Leased Premises and the general condition and use of the common areas and facilities appurtenant to the Leased Premises, if any. Prior to occupancy, the District's designee is responsible for walking through the Leased Premises with the Town of Mt. Crested Butte Town Manager or their designee to complete a check-off list reflecting the existing condition of the Leased Premises. The District is responsible for all personal items in the Leased Premises at the time of occupancy, including but not limited to obtaining renter's insurance to cover any casualty or other loss to or of such items.

3. Term and Termination.

A. The term of this Agreement shall commence on June 1 2023 and shall terminate on May 31, 2024. Renewal shall occur automatically at the conclusion of each term for a renewal term of one (1) year unless either party provides written notice of its intent not to renew at least ninety (90) days prior to the commencement of a new term. Upon termination, The District shall remove within sixty (60) days any and all items and materials located on the Leased Premises. Any remaining property on the Leased Premises following the sixty (60) day period shall become property of the Town.

B. Either party may, following the first three (3) months of the term of this Agreement, give ninety (90) days notice of an intent to terminate this Agreement and effectuate a vacation of the Leased Premises.

4. Rent. During the term, the District shall pay the Town rent in the amount of two thousand eight hundred dollars and zero cents (\$2,800.00) per month beginning from the Town's delivery of the Leased Premises to the District.

5. Repairs, Redecoration, or Alterations. The Town shall be responsible for repairs to the interior and exterior of the Leased Premises, provided however, repairs required through damage, other than ordinary wear and tear, caused by the District shall be charged to and paid by the District. It is agreed that the District will not make or permit to be made any alterations, additions, improvements or changes in the Leased Premises without in each case first obtaining the written consent of the Town. The consent to a particular alteration, addition, improvement or change shall not be deemed a consent to or a waiver of restrictions against alterations, improvements or changes for the future. All alterations, changes and improvements built, constructed or placed in the Leased Premises by the District, with the exception of fixtures removable without damage to the Premises and movable personal property, shall, unless otherwise provided by written agreement between the District and the Town, be the property of the District and remain in the Leased Premises at the expiration or sooner termination of this lease. In addition, there are to be no changes made to the locks or to the keys for the unit without the permission of the Town of Mt. Crested Butte Town Manager.

6. Landscaping/Exterior. The District shall be responsible for the snowplowing, repair, maintenance, and upkeep of the Licensed Premises' landscaping, driveway, sidewalks, deck, and all other exterior areas.

7. Default and Termination for Default. If the District defaults in the payment of rent or any part thereof, or if the District defaults in the performance of or compliance with any other term of condition hereof or of any of the rules and regulations, hereby made a part of this Agreement; the Agreement, at the option of the Town, shall terminate and be forfeited, and the Town may reenter the Leased Premises and retake possession or recover damages, including attorney's fees. The District shall be given written notice of

any default or breach within ten (10) days after the Town acquires knowledge thereof, and termination and forfeiture of the Agreement shall not result, if within ten (10) days of receipt of this notice, the District has corrected the default or breach or has taken action reasonably likely to effect such correction within a reasonable time.

8. Assignment and Subletting. The District may sublet the Leased Premises to any District full-time employee or officer without the prior written consent of the Town provided that the District retains responsibility for all of the obligations under this Agreement. The District shall not assign this Agreement, or sublet the Leased Premises, to any party that is not a District employee or officer without the prior written consent of the Town which the Town can withhold at its sole discretion. The consent by the Town to one assignment or subletting shall not be deemed to be a consent to any subsequent assignment or subletting. Unless specifically expressed in any consent by the Town no assignment or sublease shall operate to relieve the District from any obligations hereunder.

9. Security Deposit. A security deposit of two thousand eight hundred dollars and zero cents (\$ 2,800) shall be held by the Town unless otherwise stated in writing by the Town. The Town shall refund the security deposit in the full amount following the District's vacation of the Leased Premises. The Town may retain any amount of the Security Deposit necessary to remedy any damage to the Leased Premises caused by the District's occupancy of the Leased Premises.

10. Pets Permitted. Pets are permitted to be kept on the Leased Premises only by the District obtaining the Town's written permission. It is the responsibility of the District to request permission prior to allowing a pet at the Leased Premises.

11. Entry for Inspection, Repairs and Alterations. The Town shall have the right, after a reasonable notice to the District, to enter the Leased Premises for inspection at all reasonable hours and whenever necessary to make repairs and alterations of the Leased Premises.

12. Utilities. The Town shall assume the costs of water and wastewater services for the Leased Premises. Electricity, gas, telephone service, trash service, plowing service, internet, television service and other utilities are not furnished as a part of this Agreement. Such expenses are the responsibility of and shall be obtained at the expense of the District. The District is responsible for maintaining adequate heat in the Leased Premises to avoid freezing pipes, ice dams, etc. The District is responsible for notifying utility providers at time of occupancy and at time of vacating the Leased Premises.

13. Vehicles and Parking. No more than four (4) vehicles may be stored concurrently on the Leased Premises at any time. The District is responsible for adhering to all applicable laws and regulations concerning the parking of personal vehicles and equipment on or about the Leased Premises, and the failure to do so may result in vehicles being towed at owner's expense.

14. Redelivery of Leased Premises. At the end of the term of this Agreement, the District shall quit and deliver the Leased Premises to the Town in as good a condition as when first occupied, ordinary wear and tear accepted.

15. Destruction of Leased Premises and Eminent Domain. In the event the Leased Premises are destroyed or rendered untenable by fire, storm, or other casualty not caused by the negligence of the District, this Agreement shall be at an end from such time except for the purpose of enforcing rights that may then have been accrued hereunder.

16. Insurance. District shall, at the District's expense, obtain and keep in force, during the term of this Agreement, a policy of general liability insurance insuring the District and the Town against any liability arising out of the District use of the Leased Premises of the Services during the Event. Such insurance shall be in an amount equal the current policy limits provided by Colorado Governmental Immunity Act, § 24-10-101, et seq., C.R.S., as amended. The policy shall name the Town as an additional insured and provide that said insurance is primary coverage.

17. Indemnification. Within the limitations imposed by the Colorado Constitution and statutes, and to the fullest extent allowed by applicable law, the District shall indemnify and hold the Town, its officers, directors and employees harmless from all liabilities, claims or demands to the extent caused as a result of the District's use and occupancy of the Leased Premises and its activities thereon, or by any wrongful or negligent acts or omissions of the District or its agents or employees in the course of their employment in connection therewith. In addition, the District agrees to indemnify the Town, its officers, directors and employees, as to all costs and expenses related to defending such liabilities, claims and demands, which arise out of the District's use and occupancy of the Leased Premises and its activities thereon, or by any wrongful or negligent acts or omissions of the District or its agents or employees in the course of their employment in connection therewith, made against the Town, its officers, directors and employees, or any of them, by any other person or entity, whether or not any such liabilities, claims or demands are groundless, frivolous, false or fraudulent.

18. Notices. All notices, requests, demands and other communications required or permitted under this Agreement shall be made in writing and shall be effective three (3) business days after deposit in the U.S. mail, certified, return receipt requested or upon receipt if personally delivered or sent via a nationally recognized courier to the addresses set forth below. The Town or the District may from time to time designate any other address for this purpose by providing written notice to the other party.

If to the Town:

Carlos Velado, Town Manager
Town of Mt. Crested Butte
P.O. Box 5800
Mt. Crested Butte, CO 81225

If to the District;

Crested Butte Fire Protection District

P.O. Box 1009
Crested Butte, CO 81224

19. Quiet Enjoyment, Title, and Authority. The Town covenants and warrants that:

a. The Town has full right, power and authority to execute and perform this Agreement and to grant the District the leasehold interest contemplated under this Agreement; and

b. The Town has good and unencumbered title to the Leased Premises, free and clear of any liens or which shall interfere with the District's use of the Leased Premises.

20. General Provisions.

a. This Agreement constitutes the entire agreement and understanding of the parties, and supersedes all offers, negotiations and other agreements with respect to the subject matter and Leased Premises. Any amendments to this Agreement must be in writing and executed by both parties.

b. The Town and the District agree to reasonably cooperate with each other in executing any documents deemed necessary to insure and protect rights of each other in, or use of, the Leased Premises.

c. This Agreement shall be construed in accordance with the laws of the State of Colorado. Jurisdiction and venue for any judicial proceeding under or construing this Agreement shall be proper and exclusive in the District court for Gunnison County, Colorado.

d. If any term of this Agreement is found to be void or invalid, the remaining terms of this Agreement shall continue in full force and effect. Any questions of particular interpretation shall be interpreted as to their fair meaning.

e. Each party hereby represents and warrants to the other that this Agreement has been duly authorized, executed and delivered by it, and that no consent or approval is required by any lender or other person or entity in connection with the execution or performance of this Agreement.

f. This Agreement may be executed in any number of counterparts, each of which shall be deemed an original, but all of which together shall constitute a single instrument. Signed facsimile and electronic copies of this Agreement shall legally bind the Town and the District to the same extent as original documents.

g. No provision of this Agreement shall be construed as a contractual waiver of any limitation of liability, immunities or defenses provided to the Town or

the District under the Colorado Governmental Immunity Act, § 24-10-101, et seq., C.R.S., as amended, or any other applicable law.

h. Other than as specifically provided for herein, neither party shall be entitled to claim or recover any form of damages, including without limitation, punitive, consequential, exemplary, or economic.

IN WITNESS WHEREOF, the parties have caused this Agreement to be duly executed as of the day and year first set forth above.

TOWN OF MT. CRESTED BUTTE, a
Municipal Corporation of the State of
Colorado

By: _____
Nicholas Kempin, Mayor

ATTEST: _____
Tiffany O'Connell, Town Clerk

Crested Butte Fire Protection District

By: _____

Print name: _____

Title: _____

Date: _____



LAZY K APPLICATION PACKET INFORMATION

Phase 3

TIMELINE

- Applications are currently open
- April 1st, 2023 Open House 11am-2pm
- April 6th, 2023 Open House 4:30pm-6:30pm
- April 27th, 2023 **APPLICATIONS CLOSE AT 5PM**
- May 4th, 2023 Lottery at City Hall 5:30pm-6:30pm

ELIGIBLE BUYER INFORMATION

- **Ownership**- natural persons for 80% AMI units and 140% AMI units(business can purchase 140% AMI lot)
- **Occupancy**- must be your primary residence at all times during your ownership unless you are a business purchasing Lot 1. Businesses can rent to tenants approved through GVRHA.
- **Assets** -you cannot own any other improved residential real estate at the time of closing; liquid assets cannot exceed three (3) times your household-size AMI after closing on your new home.
- **Employment** - must be employed at minimum 30 hours/week on an annual basis for a business located in and serving Gunnison County, or, have a bona fide employment contract to begin such work prior to taking ownership. Eighty percent (80%) of the qualifying owner's income must come from this source and seventy-five (75%) of the total household income used to qualify must be earned within the county
- **Income** - for this 80% AMI households must be at or below 80% of Gunnison County's 2022 Area Median Income (AMI) as published by HUD and provided to the GVRHA to be eligible to purchase a home, for 140% AMI households must be at or below 140% of Gunnison County's 2022 Area Median Income (AMI).

1 person HH	80%AMI	\$49,600	Max Gross Income
	140%AMI	\$86,800	
2 person HH	80%AMI	\$56,650	Max Gross Income
	140%AMI	\$99,120	
3 Person HH	80%AMI	\$63,750	Max Gross Income
	140%AMI	\$111,580	

LOTTERY

- Lottery Entries
 - Households and businesses that can produce a Certificate of Eligibility provided through the GVRHA will be awarded one lottery ticket
- The selection process for 80% AMI lots will be as follows
 -



- At the time of the Lottery, all entries awarded to each applicant household will be placed in one bin. An independent third-party individual will draw tickets from the bin one at a time.
 - First qualified applicant name is drawn from the lottery bin - this applicant will then select which specific home they want to put under contract
 - Second qualified applicant name is drawn from the lottery bin - this applicant will then select which specific home they want to put under contract
 - This process will continue until all available homes are selected
- Tickets for eligible applicants who are not drawn to select a home will be pulled and names added to a back-up list to be used if a selected buyer terminates their contract with the developer.
- The selection process for 140% AMI lot will be as follows:
 - At the time of the Lottery, all entries awarded to each applicant household and business will be placed in one bin. An independent third-party will draw a ticket from the bin one at a time.
 - First qualified applicant name that is drawn will be awarded their first preference
 - Second qualified applicant name is drawn from the lottery bin - this applicant will then select which specific home they want to go under contract with
 - This process will continue until all available homes are selected
 - Tickets for eligible applicants who are not drawn to select a home will be pulled and names added to a back-up list to be used if a selected buyer terminates their contract with the developer.
- The process for securing a home and executing a contract is as follows:
 - Selected applicants will have 3 business days to execute a real estate purchase contract with the developer for the home they have selected. If they do not do so, the first back-up applicant will be given a 3-business day opportunity to execute a contract with the developer to purchase the home. If they fail to do so, the next back-up applicant will be notified.
 - Lottery winners must provide a \$1000 earnest money deposit to the title company at the time of executing the purchase contract which will be credited towards their purchase price at the time of closing.
- The process for closing on your home and obtaining title will occur once the City has received a (Temporary) Certification of Occupancy; you will be notified as soon as possible in advance of that anticipated date.

OTHER RESTRICTIONS

- Resale - each home will be subject to an appreciation cap upon resale that is the sum of:
 - 2% of the initial purchase price, plus
 - The value of any special improvement district assessments levied upon the property and paid, plus
 - The value of any capital improvements permitted to be made



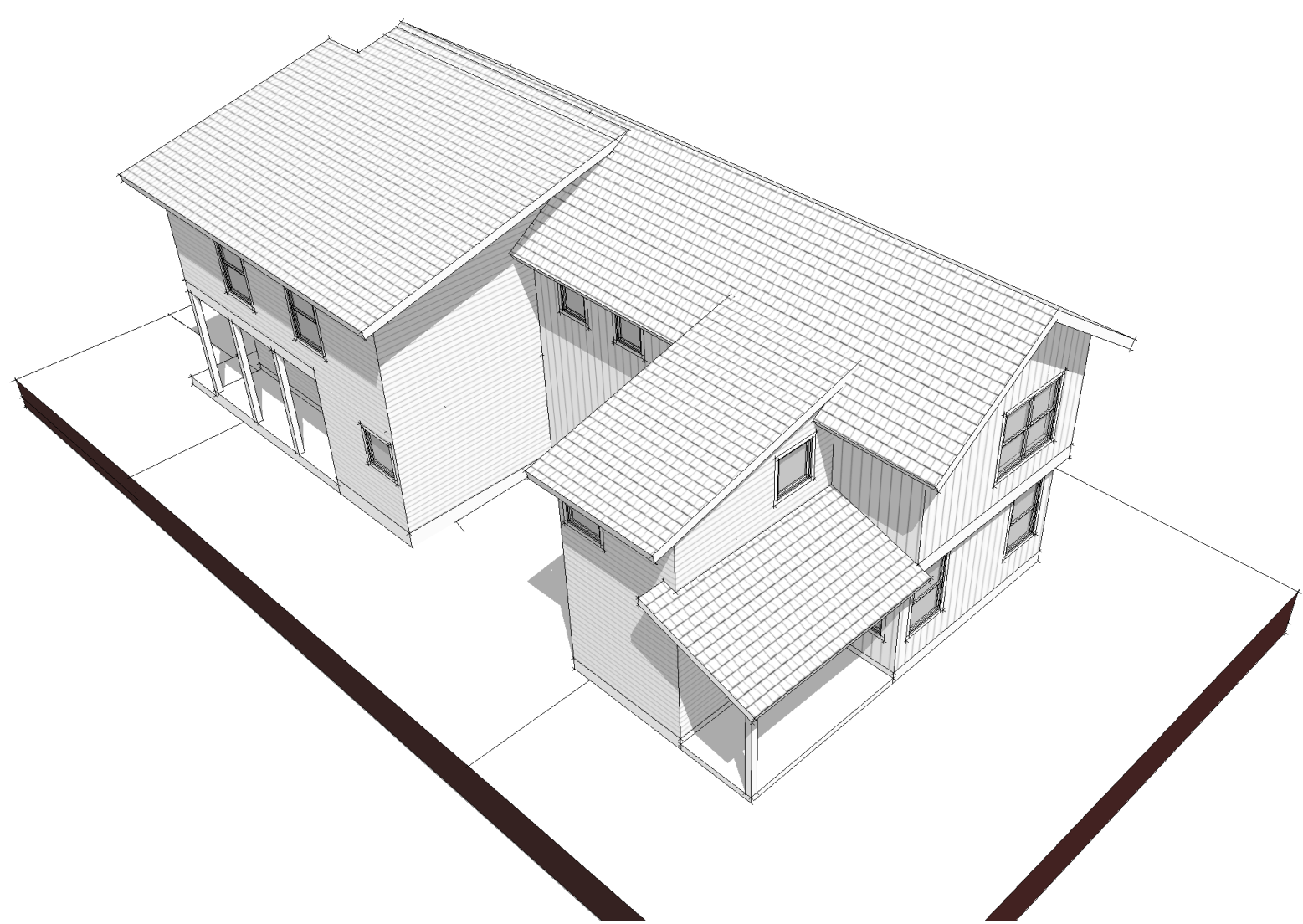
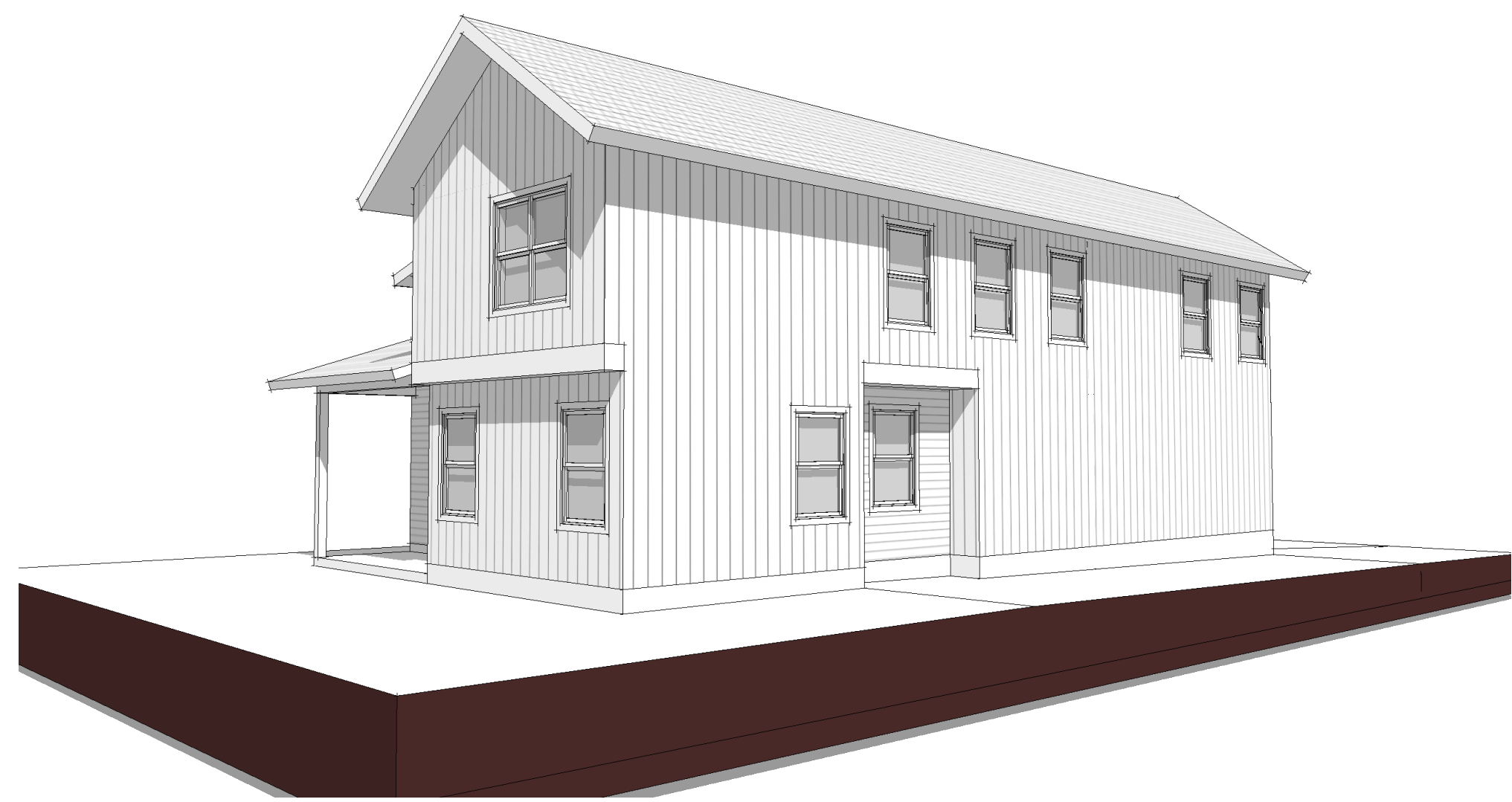
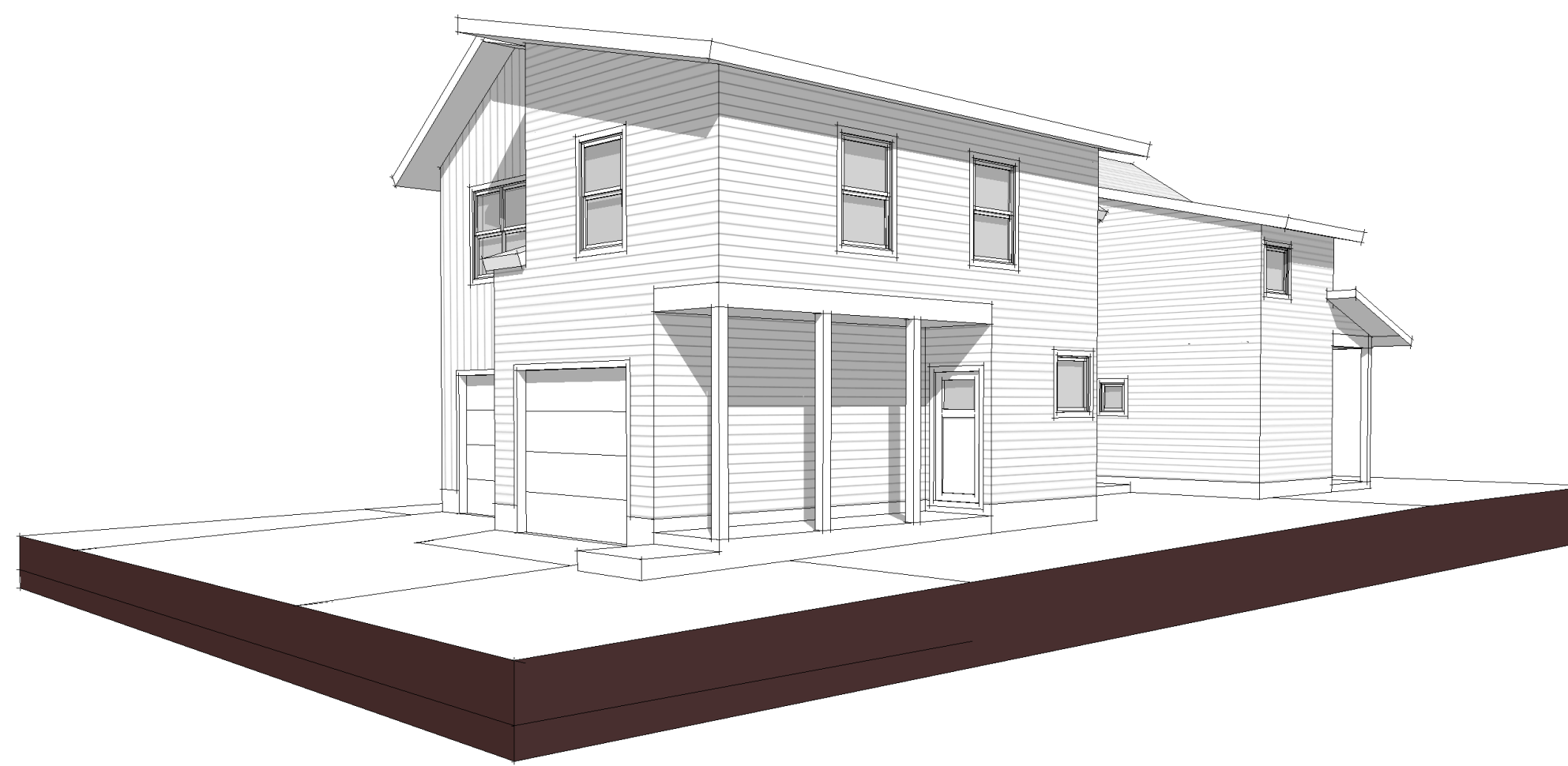
- Rentals - owners of these homes may have roommates if at least one owner still always meets the terms of an eligible owner. Businesses can rent to approved employees with approval coming from the GVRHA.
- **Short-term rentals** - are not allowed at any time for any reason or for any portion of a home
- **Financing** - homes may not be purchased with financing that is for more than 100% of the purchase price
- **Refinancing** - homes may not be refinanced with financing that exceeds 97% of the then-current maximum resale price as permitted by the deed restriction

REASONABLE ACCOMODATION

- Please contact GVRHA if reasonable accommodation is requested at (970) 641 7900

UNIT INFORMATION

LOT	AMI	Bed Count	Bath Count	Sq Ft	Garage	Address	Price
19 Unit A	140	3	2.5	1384	yes	112 Ouray Unit A	425,000.00
19 Unit B	80	2	1	833	yes	112 Ouray Unit B	268,271.00
20 Unit A	140	3	2	1280	yes	110 Ouray Unit A	425,000.00
20 unit B	80	2	1	726	yes	110 Ouray Unit B	268,271.00
21 Unit B	80	2	1	726	yes	108 Ouray Unit B	268,271.00
22 Unit B	80	2	1	833	yes	106 Ouray Unit B	268,271.00



B

PROJECT TEAM

Project Identification:

Lazy K Lot 21
TBD Tomichi Avenue
Gunnison, Colorado

Owner/Developer/Builder:

High Mountain Concepts
1283 Co Rd 738
Crested Butte, CO 81224
Contact: John Stock
johnstock@highmountainconcepts.com

Architect:

jv DeSousa LLC Architecture
1910 Seventh Street, Third Floor
Boulder, CO 80302
720.301.0500
Contact: jv DeSousa
jv@jvdesousa.com

Landscape:

Norris Design
409 Main Street, Suite 207
Frisco, CO 80443
970.368.7068
Contact: Elena Scott
escott@norris-design.com

SHEET INDEX

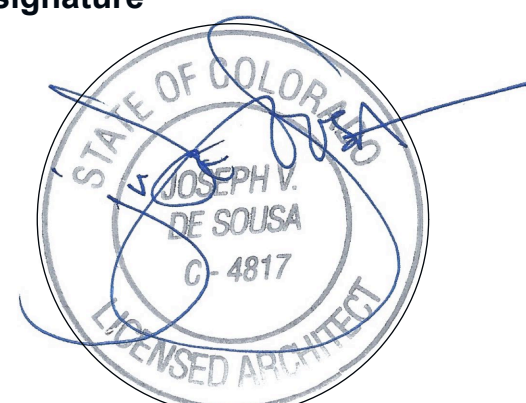
A0.0	COVER
A0.2	CODE ANALYSIS
ARCHITECTURE	
A1.1	SITE PLAN
A3.1	BUILDING GROUND FLOOR PLAN
A3.2	BUILDING SECOND FLOOR PLAN
A3.3	BUILDING ROOF PLAN
A5.1	ELEVATIONS
A5.2	ELEVATIONS
A6.1	BUILDING/WALL SECTION
A6.2	BUILDING/WALL SECTION
A6.3	BUILDING/WALL SECTION
A6.4	BUILDING/WALL SECTION
A6.5	BUILDING/WALL SECTION
A6.6	BUILDING/WALL SECTION
STRUCTURAL ENGINEERING	
S3.0	FOUNDATION PLAN
S3.1	GROUND FLOOR SLAB PLAN
S3.2	SECOND FLOOR FRAMING PLAN
S3.3	ROOF FRAMING PLAN

Lazy K Lot 22

Two-family Dwelling

Gunnison, Colorado

seal & signature



14 November 2022



jvD LLC
1910 7th Street, Third Floor
Boulder, Colorado 80302
720.301.0500
jv@jvdesousa.com

All contents of this document expresses design intent only. Final engineering and fabrication shall remain the responsibility of the contractor or fabricator. All ideas, designs, arrangements and plans indicated or presented by these drawings are the property of the Architect, and were created for use in connection with the specified project.

project

LOT 22

Lazy K, Gunnison CO

issue date:

14 NOVEMBER 2022

revisions:

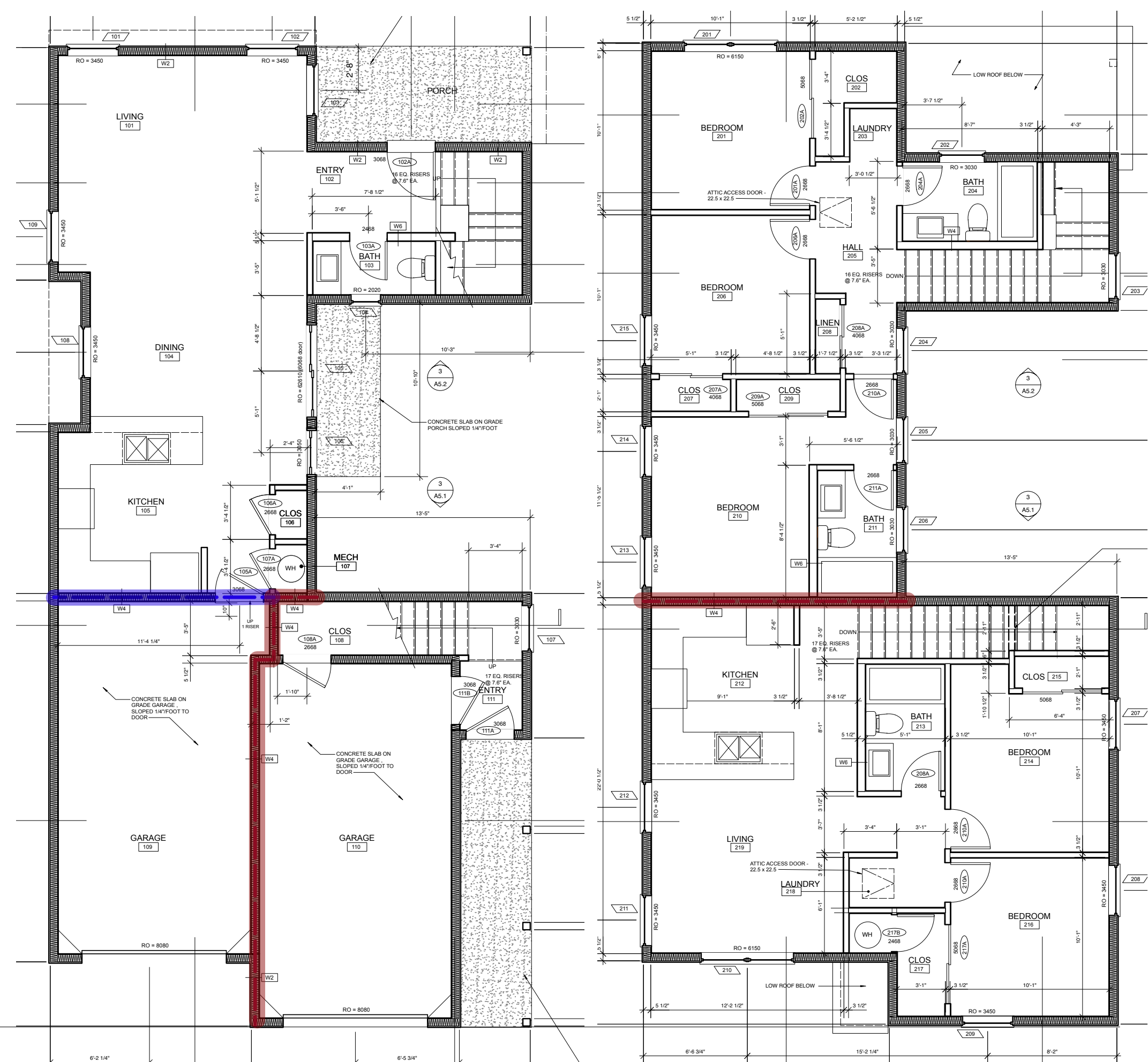
drawing title

COVER

drawing scale AS NOTED

drawing number

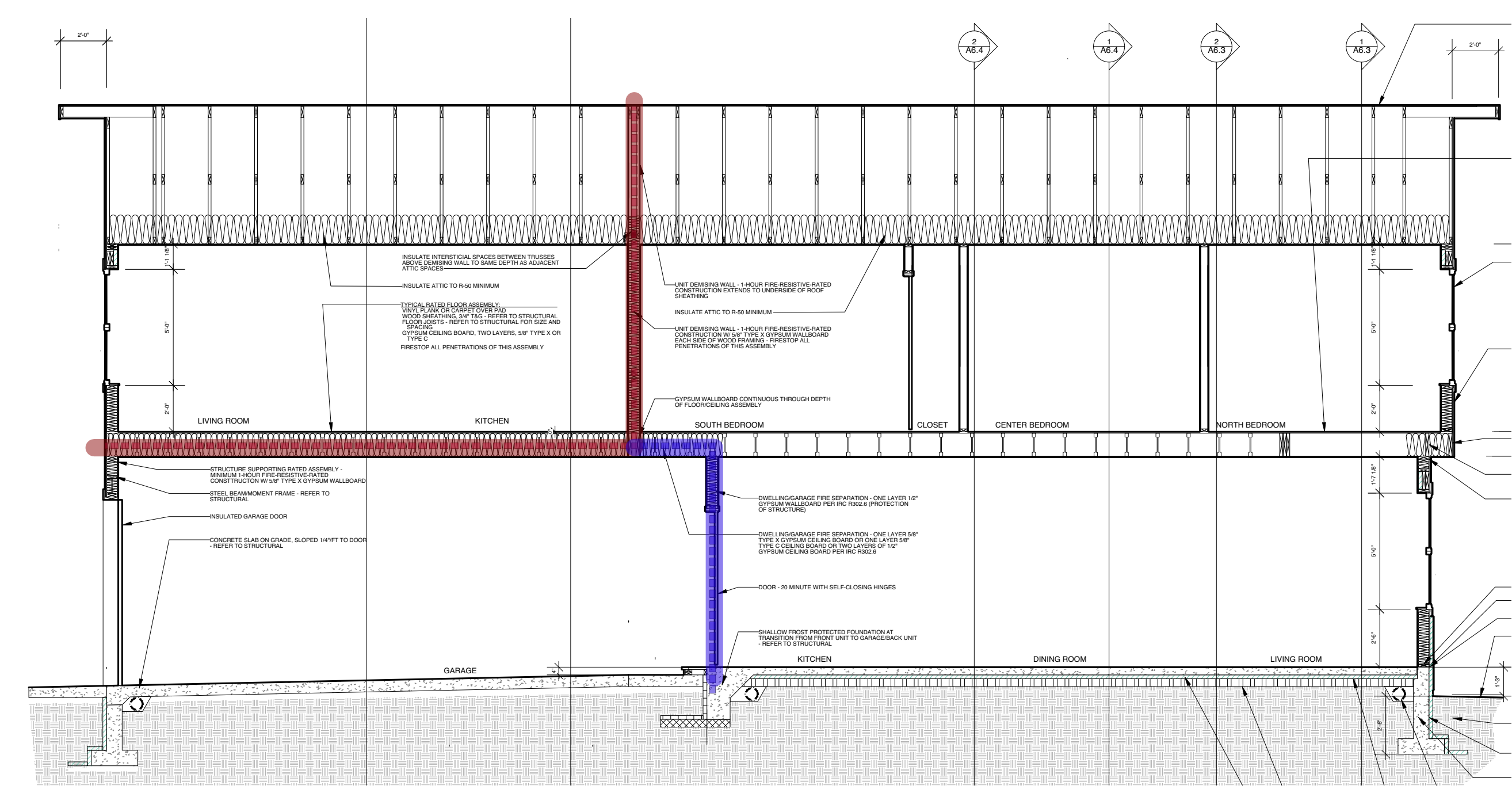
A0.0



1 FIRE SEPARATION PLAN - FIRST FLOOR
NO SCALE

2 FIRE SEPARATION PLAN - SECOND FLOOR
NO SCALE

— DWELLING UNIT SEPARATION
— GARAGE/DWELLING SEPARATION



4 FIRE SEPARATION SECTION
NO SCALE

CODE SUMMARY

CONSTRUCTION TYPE: TYPE VB
 OCCUPANCY GROUP: TWO FAMILY DWELLING (2015 IRC SEC. 302.3)
 INCIDENTAL USES: NONE
 FIRE SPRINKLER: YES - NFPA13D
 TOTAL NUMBER OF UNITS: 2
 SEE CALCULATIONS IN CODE ANALYSIS BELOW
 TOTAL PROJECT FLOOR AREA:
 LOT 22 NORTH: 1,689 SF
 LOT 22 SOUTH: 1,120 SF
 TOTAL AREA: 2,809 SF
 SEE CALCULATIONS IN CODE ANALYSIS BELOW
 TOTAL SITE AREA:
 LOT 22 4,000 SF
 MAXIMUM NUMBER OF STORIES ALLOWED: 3
 MAXIMUM NUMBER OF STORIES PROPOSED: 2
 MAXIMUM BUILDING HEIGHT PROPOSED:
 LOT 22 26' - 10.75" (NORTH RIDGE)
 ACCESSIBILITY: NONE

Building Area	Unit Floor Area	
	Enclosed	Unenclosed
Lot 21 North Unit		
First Floor enclosed space		
first floor conditioned space	681	
garage unconditioned space	293	
subtotal first floor enclosed		974
unenclosed space		
entry porch		81
subtotal first floor unenclosed		81
first floor total (encl + unencl)		1,055
Second Floor		
enclosed space		
second floor conditioned space	715	
subtotal second floor enclosed	715	715
Total unit enclosed area	1,689 sf	
Total unit unenclosed area		81 sf
Total unit fire area (encl + unencl)		1,770 sf
Unit quantity: 1		
Lot 21 South Unit		
First Floor		
enclosed space		
first floor conditioned space	93	
garage unconditioned space	287	
subtotal first floor enclosed		380
unenclosed space		
entry porch		80
subtotal first floor unenclosed		80
first floor total (encl + unencl)		460
Second Floor		
enclosed space		
second floor conditioned space	740	
subtotal second floor enclosed	740	740
Total unit enclosed area	1,120 sf	
Total unit unenclosed area		80 sf
Total unit fire area (encl + unencl)		1,200 sf
Unit quantity: 1		
Lot 21 Entire Structure (N + S)		
North enclosed conditioned	1,396	
North enclosed unconditioned	293	1,689
North enclosed total		
North unenclosed		81
South enclosed conditioned	833	
South enclosed unconditioned	287	1,120
South enclosed total		
South unenclosed		80
Total structure enclosed conditioned	2,229 sf	
Total structure enclosed unconditioned	580 sf	2,809 sf
Total structure enclosed		
Total structure unenclosed		161 sf
Total structure fire area (encl + unencl)		2,970 sf

CODE ANALYSIS

LAZY K LOT 22: DUPLEX
 TBD TOMICHI AVENUE
 GUNNISON, CO 81230
 14 NOVEMBER 2022
 Applicable codes:
 IRC – 2015
 IECC-2015

Occupancy classifications: Two-family Dwelling
 IRC Section R101.2 – IRC shall apply to Two-family Dwellings of not more than three (3) stories in height.
IRC 302.1(2) – Exterior walls and projections - Dwellings with sprinklers
 • Exterior walls with fire separation distance of less than 3'-0" shall be fire-resistance rated at one (1) hour, tested in accordance with ASTM A119 or UL 263 with exposure from the outside.
 • Projections (roof eaves) having fire separation distance of more than 2'-0" and not less than 3'-0" shall be one (1) hour protected on the underside.
 • Openings are not allowed in exterior walls having a fire separation distance less than or equal to 3'-0".
IRC R302.3 – Two-family dwellings
 Dwelling units in two-family dwellings shall be separated from each other by wall and floor assemblies having not less than a 1-hour fire-resistance rating where tested in accordance with ASTM E 119 or UL 263. Fire-resistance-rated floor/ceiling and wall assemblies shall extend to and be tight against the exterior wall, and wall assemblies shall extend from the foundation to the underside of roof sheathing.

Exceptions:
 1. A fire-resistance rating of 1/2 hour shall be permitted in buildings equipped throughout with an automatic sprinkler system installed in accordance with NFPA 13.
 2. Wall assemblies need not extend through attic spaces where the ceiling is protected by not less than 5/8-inch Type X gypsum board, an attic draft stop is constructed as specified in Section R302.12.1 is provided above and along the wall assembly separating the dwellings and the structural framing supporting the ceiling is protected by not less than 1/2-inch gypsum board or equivalent.

IRC R302.3.1 – Supporting construction.
 Where floor assemblies are required to be fire-resistance rated by Section R301.3, the supporting construction of such assemblies shall have an equal or greater fire-resistance rating.
IRC R302.4 – Dwelling unit rated penetrations.
 Through and membrane penetrations of fire-resistance-rated wall or floor assemblies shall be fire stopped in compliance with Section R302.4.1.1 and R302.4.1.2.

Where floor assemblies are required to be fire-resistance rated by Section R301.3, the supporting construction of such assemblies shall have an equal or greater fire-resistance rating.
IRC R302.6 - Dwelling-garage separation
 • Wall separation between garage and residence: not less than 1/2 inch gypsum wallboard or equivalent applied to the garage side
 • Floor/ceiling separation between garage and habitable rooms above the garage: not less than 5/8 inch Type X gypsum wallboard
 • Structures supporting floor/ceiling assemblies used for separation required by this section (exterior walls supporting floor structure above): not less than 1/2 inch gypsum wallboard

R310.2.1 Emergency escape and rescue - minimum size.
 Emergency escape and rescue openings shall have a minimum net clear opening of 5.7 sf. The minimum net clear opening height dimension shall be 24 inches. The minimum net clear opening width shall be 20 inches.

IRC 313.2.1 – Two-family dwelling fire sprinkler design and installation
 Automatic residential fire sprinkler systems for townhouses shall be designed and installed in accordance with Section P2904 of NFPA 13D.

ARCHITECTURAL GENERAL NOTES:

- GENERAL NOTES APPLY TO ALL CONSTRUCTION DOCUMENTATION INCLUDING DRAWINGS, WRITTEN SPECIFICATIONS AND SUPPLEMENTAL DOCUMENTATION.
- ALL CONSTRUCTION SHALL COMPLY WITH APPLICABLE CODES AS REQUIRED BY THE CITY OF GUNNISON, GUNNISON COUNTY, STATE OF COLORADO AND OTHER AGENCIES HAVING JURISDICTION OVER THIS PROJECT.
- SECURE ALL PERMITS AND APPROVALS PRIOR TO CONSTRUCTION.
- HAZARDOUS MATERIALS MAY BE ENCOUNTERED DURING DEMOLITION AND RENOVATION OF EXISTING CONSTRUCTION SYSTEMS AND MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING AND MITIGATING ALL HAZARDOUS MATERIALS IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.
- CONTRACTOR SHALL SHORE ALL EXISTING WALL CONSTRUCTION TO REMAIN PRIOR TO UNDERTAKING SELECTIVE DEMOLITION ACTIVITIES. REFER TO STRUCTURAL DRAWINGS.
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS. NOTIFY THE ARCHITECT AND/OR ENGINEER IF EXISTING CONSTRUCTION VARIES FROM THAT SHOWN IN THE DRAWINGS.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS. BUILDING DIMENSIONS SHOULD BE CAREFULLY VERIFIED AND COORDINATED WITH THE DESIGN DRAWINGS AFTER SELECTIVE DEMOLITION ACTIVITIES ARE COMPLETED AND STRUCTURAL ELEMENTS TO REMAIN ARE CLEARLY VISIBLE.
- CONTRACTOR SHALL REVIEW AND COORDINATE DRAWINGS OF ALL DISCIPLINES PRIOR TO CONSTRUCTION. NOTIFY THE ARCHITECT AND/OR ENGINEER OF ANY DISCREPANCIES, CONFLICTS OR OMISSIONS DISCOVERED. DO NOT PROCEED WITH CONSTRUCTION UNTIL DIRECTION IS GIVEN BY THE ARCHITECT.
- ELECTRICAL PLANS INDICATE THE GENERAL DESIGN AND ARRANGEMENT OF CONDUIT, WIRING, EQUIPMENT AND SYSTEMS. INFORMATION SHOWN IS DIAGRAMMATIC IN CHARACTER AND DOES NOT INDICATE EVERY REQUIRED OFFSET, FITTING AND CONDITION. LOCATION OF THESE MAY BE ADJUSTED CONDITIONAL UPON THE COMPLIANCE WITH OTHER REQUIREMENTS AND THE APPROVAL OF THE DESIGN ENGINEER.
- PLUMBING PLANS INDICATE THE GENERAL DESIGN AND ARRANGEMENT OF PIPING, EQUIPMENT AND SYSTEMS. INFORMATION SHOWN IS DIAGRAMMATIC IN CHARACTER AND DOES NOT INDICATE EVERY REQUIRED OFFSET, FITTING AND CONDITION. LOCATION OF THESE MAY BE ADJUSTED CONDITIONAL UPON THE COMPLIANCE WITH OTHER REQUIREMENTS AND THE APPROVAL OF THE DESIGN ENGINEER.
- ALL CONDUIT, PIPING AND DUCTWORK SHALL BE CONCEALED WITHIN WALLS, UNDERGROUND, ABOVE CEILINGS OR IN ARCHITECT APPROVED UTILITY SPACES IN ALL CASES UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS. EXPOSED ITEMS MUST BE LOCATED IN AREAS APPROVED BY THE ARCHITECT. EXPOSED ITEMS SHALL BE NEATLY ORGANIZED, INSTALLED AND FINISHED TO PROVIDE MINIMAL VISUAL IMPACT.
- WRITTEN DIMENSIONS SHALL GOVERN. DO NOT SCALE DRAWINGS. REFER ALL DIMENSIONAL QUESTIONS TO THE ARCHITECT.
- DIMENSIONS ARE TO FACE OF STUD, FACE OF MASONRY CENTERLINE OF OPENING, GRIDLINE UNLESS OTHERWISE NOTED.
- DOOR AND WINDOW OPENINGS ARE DIMENSIONED TO CENTERLINE OF OPENING. DOORS AND WINDOWS NOT DIMENSIONED SHOULD BE LOCATED ACCORDING TO MINIMUM JAMB CONDITION. COORDINATE WITH DOOR/WINDOW HARDWARE AND TRIM REQUIREMENTS.
- NON-LOAD-BEARING WALL PARTITIONS CONSTRUCTED ON CONCRETE SLAB ON GRADE SHALL BE DETAILED TO ACCOMMODATE UP TO TWO INCH VERTICAL MOVEMENT WITHOUT TRANSFER OF COMPRESSIVE LOADS TO WALL OR FLOOR STRUCTURE ABOVE.
- CONTRACTOR SHALL FURNISH AND INSTALL SOLID WOOD BLOCKING IN WOOD AND METAL FRAMED PARTITIONS FOR ANCHORAGE OF WALL ATTACHED ITEMS INCLUDING BUT NOT LIMITED TO: GRAB BARS, BASE CABINETS, WALL CABINETS, TOILET ACCESSORIES, HANDRAILS AND WALL MOUNTED LIGHT FIXTURES.
- CONTRACTOR SHALL FURNISH AND INSTALL SOLID WOOD BLOCKING IN WOOD AND METAL FRAMED PARTITIONS FOR FUTURE ANCHORAGE OF WALL MOUNTED ITEMS AS REQUIRED BY FAIR HOUSING STANDARDS AND AS SHOWN IN THE DRAWINGS. REFER TO ADA DRAWINGS FOR TYPE B UNITS.
- ALL WALL AND FLOOR PENETRATIONS AT RATED ASSEMBLIES SHALL BE SEALED TO STOP PASSAGE OF FIRE AND/OR SMOKE WITH FIRE SAFING AND APPROVED FIRE STOPPING SEALANT PER DETAILS WITHIN THE DRAWINGS.
- PENETRATIONS OF ALL FIRE RATED CONSTRUCTION ASSEMBLIES SHALL BE PROPERLY FIRESTOPPED IN ACCORDANCE WITH IBC SECTION 714 (2015) REQUIREMENTS AND AS SHOWN ON THE DRAWINGS.
- DUCT AND AIR TRANSFER OPENING PENETRATIONS OF FIRE-RESISTANCE-RATED WALLS AND HORIZONTAL ASSEMBLIES BY DUCTS SHALL BE PROTECTED AS REQUIRED BY IBC SECTION 717 (2015).
- INTERIOR WALL AND CEILING FINISHES SHALL HAVE A FLAME SPREAD INDEX NOT GREATER THAN THAT SPECIFIED IN TABLE 803.11 (2015) FOR THE GROUP AND LOCATION DESIGNATED PER 803.11 (2015). SPRINKLERED SPACES SHALL HAVE A CLASS C RATING.
- ROOF COVERING AND ROOF ASSEMBLY SHALL HAVE A CLASS A RATING.
- ALL GLAZING IN DOORS SHALL BE SAFETY GLAZING PER IBC SECTION 2406.1 THROUGH 2406.5 (2015).
- ALL GLAZING IN WINDOWS SHALL BE SAFETY GLAZING WHERE REQUIRED BY IBC SECTION 2406.4.3 (2015).
- SEE PLANS FOR FIRE EXTINGUISHER AND FIRE EXTINGUISHER CABINET LOCATIONS.
- CONTRACTOR SHALL PROTECT NEW CONSTRUCTION IN PLACE FROM DAMAGE FOR THE DURATION OF CONSTRUCTION PHASE OF THE PROJECT. DAMAGE CAUSED BY ANY OF THE CONTRACTORS ON SITE DURING THE COURSE OF CONSTRUCTION SHALL BE REPAIRED AND REPLACED AT THE CONTRACTOR'S EXPENSE.
- ALL ASPECTS OF THE WORK AND ITEMS NOT SPECIFICALLY MENTIONED BUT NECESSARY TO MAKE A COMPLETE WORKING INSTALLATION SHALL BE INCLUDED IN THE WORK.
- CONTRACTOR SHALL COORDINATE ALL MATERIAL SPECIFICATIONS, OTHER THAN THOSE SPECIFICALLY GIVEN IN THE DRAWINGS, NOTES TO THE DRAWINGS AND THE WRITTEN SPECIFICATIONS WITH THE ARCHITECT.
- NO PRODUCTS CONTAINING HAZARDOUS MATERIALS SHALL BE USED IN THE PROJECT.

seal & signature

 14 November 2022

ivd
 jvD LLC
 1910 7th Street, Third Floor
 Boulder, Colorado 80302
 720.301.0500
 jv@vdesousa.com

All contents of this document expresses design intent only. Final engineering and fabrication shall remain the responsibility of the contractor or fabricator. All ideas, designs, arrangements and plans indicated or presented by these drawings are the property of the Architect, and were created for use in connection with the specified project.

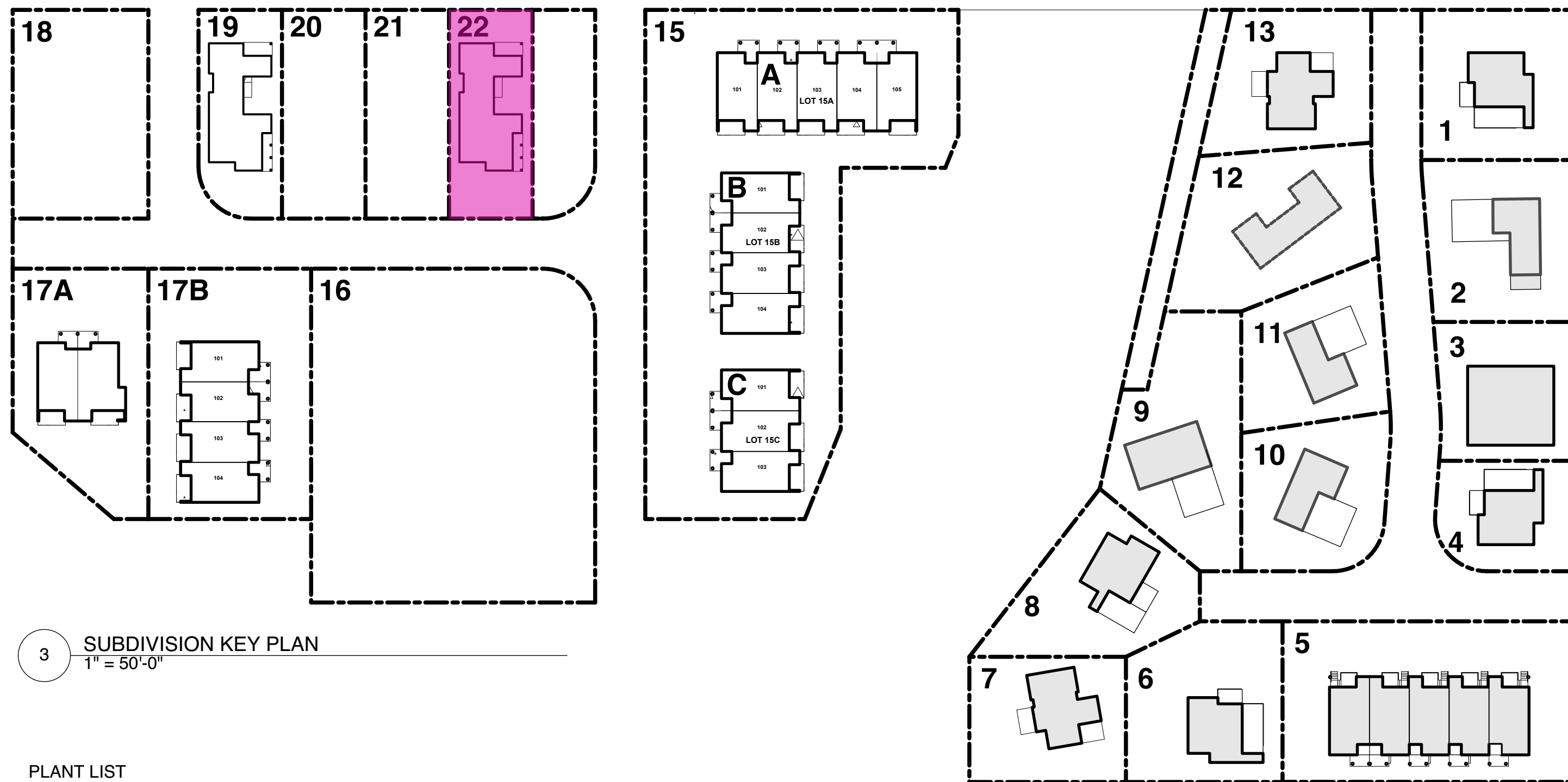
project

LOT 22
 Lazy K, Gunnison CO

issue date:
 14 NOVEMBER 2022
 revisions:

drawing title
CODE SUMMARY AND NOTES
 drawing scale AS NOTED
 drawing number

A0.2



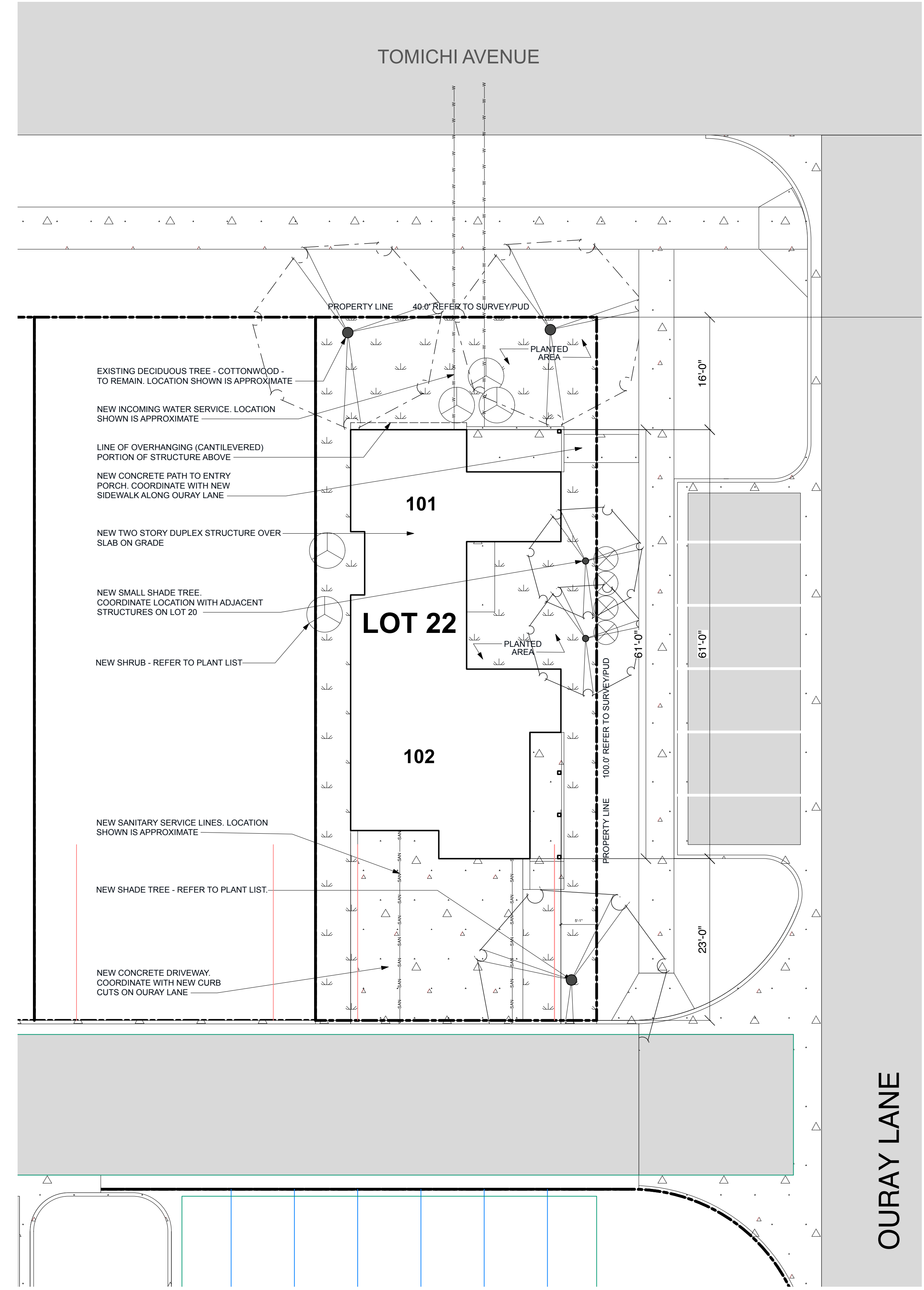
3 SUBDIVISION KEY PLAN
1" = 50'-0"

PLANT LIST

	SIZE	BRANCHING	CALIPER
			HT & W
TREES - NEW			
	POPULUS AUGUSTIFOLIA NARROWLEAF COTTONWOOD	B&B STANDARD	2.5" CAL
	POPULUS TREMULOIDES QUAKING ASPEN	B&B STANDARD	2.5" CAL
TREES - EXISTING			
	POPULUS TREMULOIDES QUAKING ASPEN	EXISTING	EXISTING
	POPULUS DELTOIDES PLAINS COTTONWOOD	EXISTING	EXISTING
TREES - EXISTING			
	PICEA PUNGENS BLUE SPRUCE	EXISTING	EXISTING
SHRUBS - DECIDUOUS			
	CERCOCARPUS INTRICATUS LITTLE LEAF MOUNTAIN MAHOGANY	5 GAL	
	PRUNUS CISTENA PURPLE LEAF SAND CHERRY	5 GAL	
	SALIX PURPUREA NANA DWARF ARCTIC BLUE WILLOW	5 GAL	
	RHUS TRILOBATA THREE LEAF SUMAC	5 GAL	
	PHILADELPHUS 'SNOWBELLE' SNOWBELL MOCKORANGE	5 GAL	
ORNAMENTAL GRASSES			
	CALAMAGRODUS ACUTIFLORA CARL FORTER FEATHER REED GRASS	1 GAL	
	SCHIZACHYRIUM SCOPARIUM LITTLE BLUESTEM GRASS	1 GAL	
	BOUTELOUA GRACILLIS BLONDE AMBITON BLONDE AMBITON BLUE GRAMMA	1 GAL	
	MISCANTHUS SINENSIS MORNING LIGHT MAIDEN GRASS	1 GAL	

- GENERAL NOTES:
- CONTRACTOR SHALL SELECT FROM AMONG THE PLANT LIST ABOVE BASED UPON AVAILABILITY
 - GRAPHIC QUANTITIES TAKE PRECEDENCE OVER WRITTEN QUANTITIES
 - IRRIGATION SHALL NOT BE EMITTED WITHIN THE MINIMUM DISTANCE FROM THE BUILDING FOUNDATION AS STIPULATED IN THE GEOTECHNICAL REPORT
 - ALL TREES ARE TO BE STAKED AND GUYED FOR A PERIOD OF ONE YEAR
 - ALL TREES AND SHRUBS IN SEED OR TURF AREAS SHALL RECEIVE MULCH RINGS CONTAINED BY SPADE CUT EDGER
 - ALL TREES SHALL BE A MINIMUM OF TEN FEET (10') FROM WATER AND SANITARY LINES
 - ALL NEW TREES SHALL BE A MINIMUM OF 5'-0" FROM EDGE OF SIDEWALK AND/OR PAVING
 - ALL PLANT MATERIALS SHALL BE IN ACCORDANCE WITH SECTION 4.6 OF THE LAND DEVELOPMENT CODE OF THE CITY OF GUNNISON.

2 PLANT LIST
NONE



1 SITE AND LANDSCAPE PLAN
1" = 10'-0"



All contents of this document expresses design intent only. Final engineering and fabrication shall remain the responsibility of the contractor or fabricator. All ideas, designs, arrangements and plans indicated or presented by these drawings are the property of the Architect, and were created for use in connection with the specified project.

project

LOT 22

Lazy K, Gunnison CO

issue date:
29 August 2022

revisions:

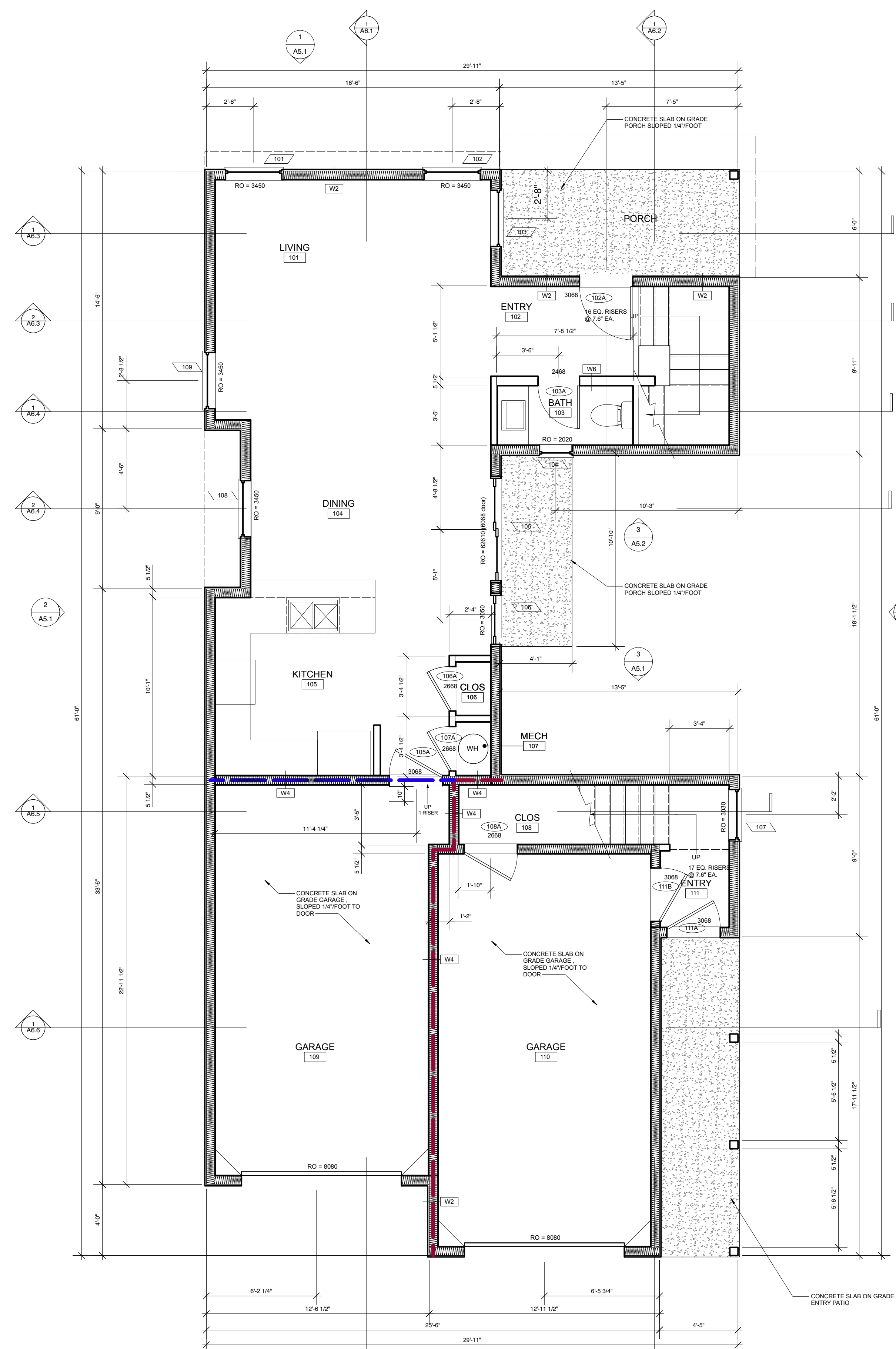
drawing title
SITE PLAN

drawing scale AS NOTED

drawing number

A1.1

MARK	ASSEMBLY	DESCRIPTION	RATING	NOTES
W1		WALL CLADDING - REFER TO ELEVATIONS WEATHER RESISTIVE BARRIER WOOD SHEATHING - 7/16" OSB OR EQUAL INSULATION SYSTEM - REFER TO ENERGY MODEL FOR TYPE, DEPTH AND MINIMUM R VALUE WALL FRAMING - 2x6 @ 16" O.C. GYPSUM WALLBOARD - 1/2" W/P AINT - CLASS 2 VAPOR RETARDER		TYPICAL EXTERIOR WALL EXCEPT WHERE NOTED OTHERWISE
W2		WALL CLADDING - REFER TO ELEVATIONS WEATHER RESISTIVE BARRIER GYPSUM WALLBOARD - 5/8" TYPE X, GLASS FACERS WOOD SHEATHING - 7/16" OSB OR EQUAL INSULATION SYSTEM - REFER TO ENERGY MODEL FOR TYPE, DEPTH AND MINIMUM R VALUE WALL FRAMING - 2x6 @ 16" O.C. WOOD SHEATHING - 7/16" OSB OR EQUAL GYPSUM WALLBOARD - 5/8" TYPE X	ONE HOUR FIRE-RESISTIVE-RATING	RATED EXTERIOR WALL
W3		WALL CLADDING - REFER TO ELEVATIONS WEATHER RESISTIVE BARRIER GYPSUM WALLBOARD - 5/8" TYPE X, GLASS FACERS WOOD SHEATHING - 7/16" OSB OR EQUAL INSULATION SYSTEM - REFER TO ENERGY MODEL FOR TYPE, DEPTH AND MINIMUM R VALUE WALL FRAMING - 2x6 @ 16" O.C. GYPSUM WALLBOARD - 5/8" TYPE X	ONE HOUR FIRE-RESISTIVE-RATING	RATED EXTERIOR WALL
W4		GYPSUM WALLBOARD - 5/8" TYPE X INSULATION SYSTEM - REFER TO ENERGY MODEL FOR TYPE, DEPTH AND MINIMUM R VALUE WALL FRAMING - 2x6 @ 16" O.C. GYPSUM WALLBOARD - 5/8" TYPE X	ONE HOUR FIRE-RESISTIVE-RATING	DWELLING UNIT SEPARATION WALL
W5		GYPSUM WALLBOARD - 5/8" TYPE X WOOD SHEATHING - 7/16" OSB OR EQUAL INSULATION SYSTEM - REFER TO ENERGY MODEL FOR TYPE, DEPTH AND MINIMUM R VALUE WALL FRAMING - 2x6 @ 16" O.C. WOOD SHEATHING - 7/16" OSB OR EQUAL GYPSUM WALLBOARD - 5/8" TYPE X	ONE HOUR FIRE-RESISTIVE-RATING	RATED SHEAR WALL
W6		GYPSUM WALLBOARD - 1/2" WALL FRAMING - 2x4 @ 16" O.C. GYPSUM WALLBOARD - 1/2"		TYPICAL INTERIOR PARTITION WALL EXCEPT WHERE NOTED OTHERWISE
W7		GYPSUM WALLBOARD - 1/2" WALL FRAMING - 2x4 @ 16" O.C. GYPSUM WALLBOARD - 1/2"		TYPICAL INTERIOR PARTITION WALL EXCEPT WHERE NOTED OTHERWISE



1 PLAN - FIRST FLOOR
1/4" = 1'-0"

MECHANICAL VENTILATION:
PROVIDE ERV IN COMBINATION WITH BATH EXHAUST TO MEET VENTILATION AIR REQUIREMENTS FOR CONTINUOUS OPERATION MECHANICAL VENTILATION SHALL COMPLY WITH IRC TABLE M1507.3.3(1), 60 CFM FOR 3 BEDROOMS AND TOTAL FLOOR AREA OF 1,503 S.F. INTERMITTENT OPERATION SHALL BE INCREASED BY VENTILATION RATE FACTORS PER IRC TABLE M1507.3.3(2). EXHAUST AIR TO ERV SHALL BE DRAIN FROM THE SECOND FLOOR BATH. FRESH AIR SUPPLY SHALL BE INTO GROUND FLOOR KITCHEN OR LIVING SPACE IF AT ALL POSSIBLE TO SEPARATE SUPPLY AND EXHAUST BY THE LARGEST DISTANCE POSSIBLE.

AIR INFILTRATION:
AIR INFILTRATION RATE FOR THE STRUCTURE SHALL BE TESTED IN ACCORDANCE WITH ASTM E783 OR ASTM E1827 AND DELIVER A MAXIMUM 3.0 AIR CHANGES PER HOUR AT A PRESSURE OF 0.2 INCH W.G. (50 PASCALS) PER ICC TABLE 4.1.2. PROVIDE A WRITTEN REPORT OF COMPLIANCE CONDUCTED BY AN APPROVED THIRD PARTY.
MAXIMUM AIR INFILTRATION OF 3.0 AIR CHANGES PER HOUR SHALL TRIGGER A REQUIREMENT FOR MECHANICAL VENTILATION PER IRC R303.4.

- LEGEND:**
- NON LOAD BEARING PARTITION
 - EXTENT OF THERMAL ENVELOPE
 - WINDOW NUMBER - REFER TO WINDOW SCHEDULE
 - WINDOW ROUGH OPENING DIMENSION (3450 = 3'-4" x 5'-0")
 - DOOR NUMBER - REFER TO DOOR SCHEDULE
 - DOOR SIZE (3068 = 3'-0" x 6'-8")
 - DWELLING UNIT SEPARATION WALL - 1 HOUR FIRE-RESISTIVE-RATED CONSTRUCTION PER IRC 302.3
 - GARAGE/DWELLING UNIT SEPARATION WALL - FIRE-RESISTIVE CONSTRUCTION PER IRC 306.2
 - WALL TYPE - REFER TO WALL TYPE LEGEND
 - UNMARKED EXTERIOR WALLS ARE TYPE W1
 - UNMARKED INTERIOR WALLS ARE TYPE W7

seal & signature

ivD
ivD LLC
1910 7th Street, Third Floor
Boulder, Colorado 80302
720.301.0500
jv@ivdesousa.com

All contents of this document expresses design intent only. Final engineering and fabrication shall remain the responsibility of the contractor or fabricator. All ideas, designs, arrangements and plans indicated or presented by these drawings are the property of the Architect, and were created for use in connection with the specified project.

project

Lazy K Lot 22

Lazy K, Gunnison CO

issue date:
14 NOVEMBER 2022

revisions:

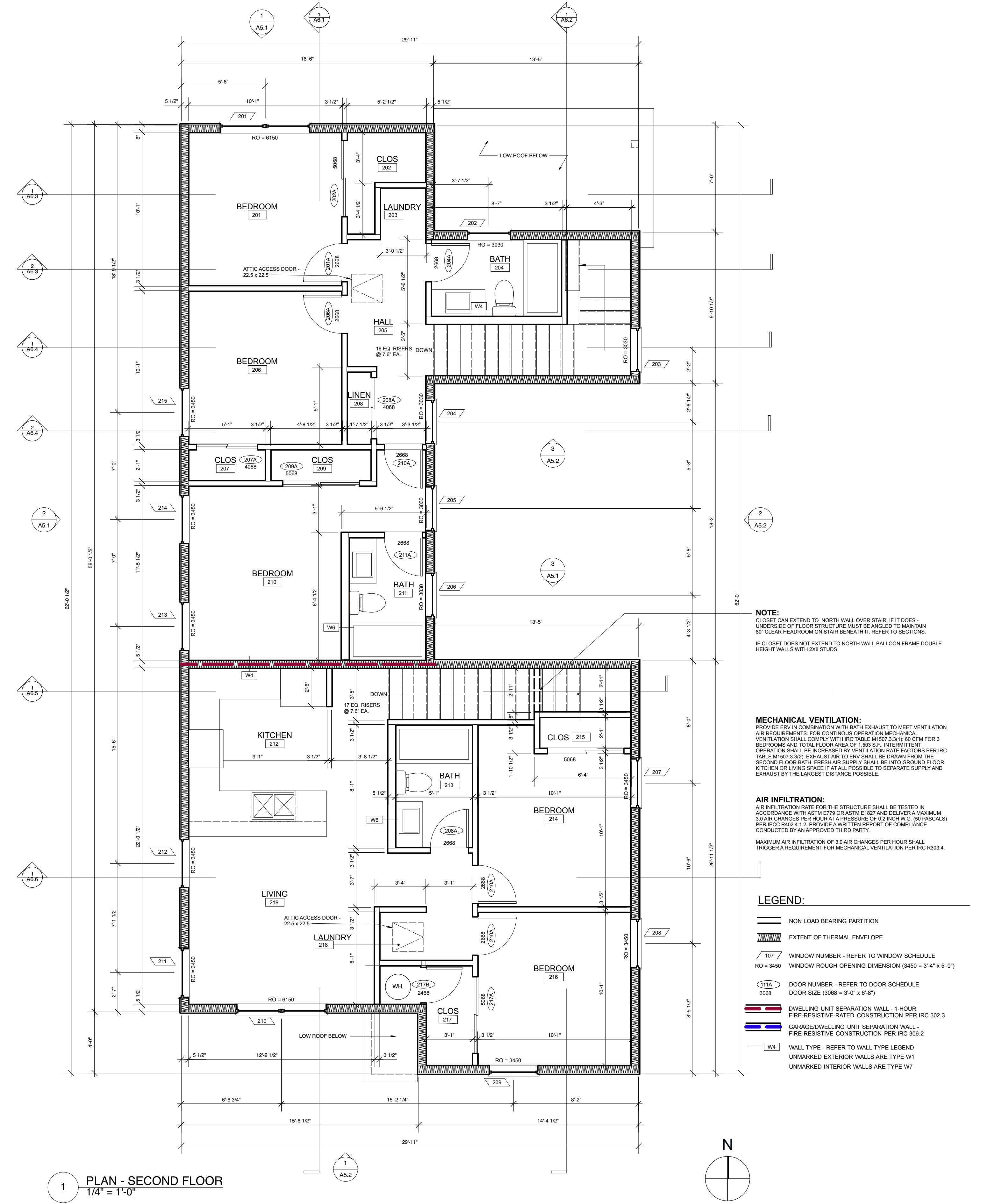
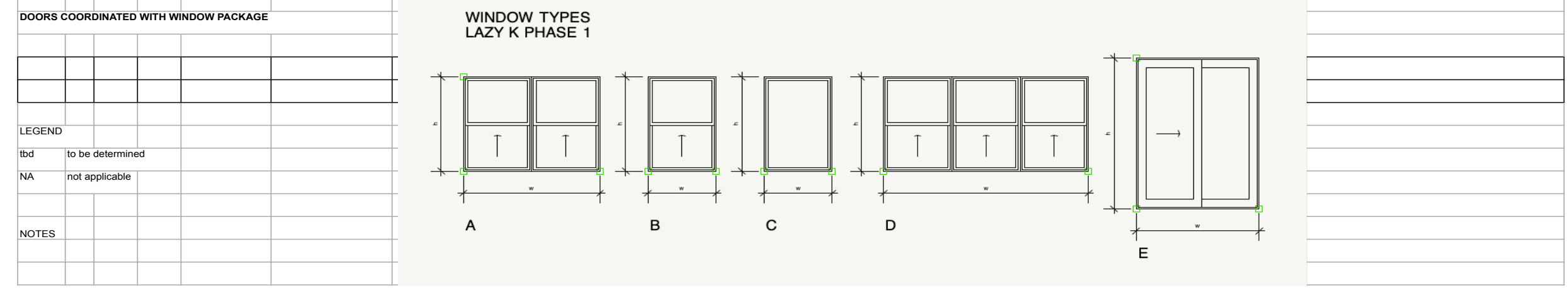
drawing title
FIRST FLOOR PLAN

drawing scale AS NOTED
drawing number

A3.1

MARK	ASSEMBLY	DESCRIPTION	RATING	NOTES
W1		WALL CLADDING - REFER TO ELEVATIONS WEATHER RESISTIVE BARRIER WOOD SHEATHING - 7/16" OSB OR EQUAL INSULATION SYSTEM - REFER TO ENERGY MODEL FOR TYPE, DEPTH AND MINIMUM R-WALL WALL FRAMING - 2x6 @ 16" O.C. GYPSUM WALLBOARD - 1/2" W/PAIN - CLASS 2 VAPOR RETARDER		TYPICAL EXTERIOR WALL EXCEPT WHERE NOTED OTHERWISE
W2		WALL CLADDING - REFER TO ELEVATIONS WEATHER RESISTIVE BARRIER GYPSUM WALLBOARD - 5/8" TYPE X, GLASS FACER WOOD SHEATHING - 7/16" OSB OR EQUAL INSULATION SYSTEM - REFER TO ENERGY MODEL FOR TYPE, DEPTH AND MINIMUM R-WALL WALL FRAMING - 2x6 @ 16" O.C. WOOD SHEATHING - 7/16" OSB OR EQUAL GYPSUM WALLBOARD - 5/8" TYPE X	ONE HOUR FIRE-RESISTIVE-RATING	RATED EXTERIOR WALL
W3		WALL CLADDING - REFER TO ELEVATIONS WEATHER RESISTIVE BARRIER GYPSUM WALLBOARD - 5/8" TYPE X, GLASS FACER WOOD SHEATHING - 7/16" OSB OR EQUAL INSULATION SYSTEM - REFER TO ENERGY MODEL FOR TYPE, DEPTH AND MINIMUM R-WALL WALL FRAMING - 2x6 @ 16" O.C. GYPSUM WALLBOARD - 5/8" TYPE X	ONE HOUR FIRE-RESISTIVE-RATING	RATED EXTERIOR WALL
W4		GYPSUM WALLBOARD - 5/8" TYPE X INSULATION SYSTEM - REFER TO ENERGY MODEL FOR TYPE, DEPTH AND MINIMUM R-WALL WALL FRAMING - 2x6 @ 16" O.C. GYPSUM WALLBOARD - 5/8" TYPE X	ONE HOUR FIRE-RESISTIVE-RATING	DWELLING UNIT SEPARATION WALL
W5		GYPSUM WALLBOARD - 5/8" TYPE X WOOD SHEATHING - 7/16" OSB OR EQUAL INSULATION SYSTEM - REFER TO ENERGY MODEL FOR TYPE, DEPTH AND MINIMUM R-WALL WALL FRAMING - 2x6 @ 16" O.C. WOOD SHEATHING - 7/16" OSB OR EQUAL GYPSUM WALLBOARD - 5/8" TYPE X	ONE HOUR FIRE-RESISTIVE-RATING	RATED SHEAR WALL
W6		GYPSUM WALLBOARD - 1/2" WALL FRAMING - 2x6 @ 16" O.C. GYPSUM WALLBOARD - 1/2"		TYPICAL INTERIOR PARTITION WALL EXCEPT WHERE NOTED OTHERWISE
W7		GYPSUM WALLBOARD - 1/2" WALL FRAMING - 2x4 @ 16" O.C. GYPSUM WALLBOARD - 1/2"		TYPICAL INTERIOR PARTITION WALL EXCEPT WHERE NOTED OTHERWISE

Window	new	existing	type	room name	unit size	product	quantity	rough opening - w x h in inches	material	window operation	handing (view inside)	amb. thickness	glazing	u-value max.	solar heat gain coefficient max.	exposure 24 hr	hardware	tempering	all height above subfloor	detail elevations	miscellaneous
101	x		B	living	3'-3.5" w x 4'-11.5" h	bid	1	40w x 60h	vinyl	single hung	NA	NA	Distal LGE	0.29	NA	NA	white	no	2'-6"		
102	x		B	living	3'-3.5" w x 4'-11.5" h	bid	1	40w x 60h	vinyl	single hung	NA	NA	Distal LGE	0.29	NA	NA	white	no	2'-6"		
103	x		B	living	3'-3.5" w x 4'-11.5" h	bid	1	40w x 60h	vinyl	single hung	NA	NA	Distal LGE	0.29	NA	NA	white	no	2'-6"		
104	x		C	powder	1'-11.5" w x 1'-11.5" h	bid	1	24w x 24h	vinyl	fixed	NA	NA	Distal LGE	0.29	NA	NA	white	yes	4'-10"		
105	x		B	living	6'-0" w x 6'-10" h	bid	1	74w x 60h	vinyl	slider	NA	NA	Distal LGE	0.29	NA	NA	white	yes	9"		
106	x		B	living	2'-11.5" w x 4'-11.5" h	bid	1	36w x 60h	vinyl	single hung	NA	NA	Distal LGE	0.29	NA	NA	white	yes	1'-10"		
107	x		C	stair	2'-11.5" w x 2'-11.5" h	bid	1	36w x 36h	vinyl	single hung	NA	NA	Distal LGE	0.29	NA	NA	white	yes	4'-6"		
108	x		B	living	3'-3.5" w x 4'-11.5" h	bid	1	40w x 60h	vinyl	single hung	NA	NA	Distal LGE	0.29	NA	NA	white	no	2'-6"		
109	x		B	living	3'-3.5" w x 4'-11.5" h	bid	1	40w x 60h	vinyl	single hung	NA	NA	Distal LGE	0.29	NA	NA	white	no	2'-6"		
201	x		A	north bedroom	6'-0.5" w x 4'-11.5" h	bid	1	73w x 60h	vinyl	single hung	NA	NA	Distal LGE	0.29	NA	NA	white	no	2'-0"		egress window
202	x		C	bath	2'-11.5" w x 2'-11.5" h	bid	1	36w x 36h	vinyl	fixed	NA	NA	Distal LGE	0.29	NA	NA	white	yes	4'-0"		
203	x		C	stair	2'-11.5" w x 2'-11.5" h	bid	1	36w x 36h	vinyl	fixed	NA	NA	Distal LGE	0.29	NA	NA	white	no	see elev		
204	x		C	hall	2'-11.5" w x 2'-11.5" h	bid	1	36w x 36h	vinyl	fixed	NA	NA	Distal LGE	0.29	NA	NA	white	yes	3'-0"		
205	x		C	center bedroom	2'-11.5" w x 2'-11.5" h	bid	1	36w x 36h	vinyl	fixed	NA	NA	Distal LGE	0.29	NA	NA	white	yes	4'-0"		
206	x		B	bedroom	3'-3.5" w x 4'-11.5" h	bid	1	40w x 60h	vinyl	single hung	NA	NA	Distal LGE	0.29	NA	NA	white	yes	2'-0"		egress window
207	x		B	bedroom	3'-3.5" w x 4'-11.5" h	bid	1	40w x 60h	vinyl	single hung	NA	NA	Distal LGE	0.29	NA	NA	white	yes	2'-0"		egress window
208	x		B	bedroom	3'-3.5" w x 4'-11.5" h	bid	1	40w x 60h	vinyl	single hung	NA	NA	Distal LGE	0.29	NA	NA	white	yes	2'-0"		egress window
209	x		B	bedroom	3'-3.5" w x 4'-11.5" h	bid	1	40w x 60h	vinyl	single hung	NA	NA	Distal LGE	0.29	NA	NA	white	no	2'-0"		egress window
210	x		A	wing	6'-0.5" w x 4'-11.5" h	bid	1	73w x 60h	vinyl	single hung	NA	NA	Distal LGE	0.29	NA	NA	white	no	2'-0"		egress window
211	x		B	living	3'-3.5" w x 4'-11.5" h	bid	1	40w x 60h	vinyl	single hung	NA	NA	Distal LGE	0.29	NA	NA	white	no	2'-0"		egress window
212	x		B	living	3'-3.5" w x 4'-11.5" h	bid	1	40w x 60h	vinyl	single hung	NA	NA	Distal LGE	0.29	NA	NA	white	no	2'-0"		egress window
213	x		B	south bedroom	3'-3.5" w x 4'-11.5" h	bid	1	40w x 60h	vinyl	single hung	NA	NA	Distal LGE	0.29	NA	NA	white	no	2'-0"		egress window
214	x		B	south bedroom	3'-3.5" w x 4'-11.5" h	bid	1	40w x 60h	vinyl	single hung	NA	NA	Distal LGE	0.29	NA	NA	white	no	2'-0"		egress window
215	x		B	center bedroom	3'-3.5" w x 4'-11.5" h	bid	1	40w x 60h	vinyl	single hung	NA	NA	Distal LGE	0.29	NA	NA	white	yes	2'-0"		egress window



All contents of this document expresses design intent only. Final engineering and fabrication shall remain the responsibility of the contractor or fabricator. All ideas, designs, arrangements and plans indicated or presented by these drawings are the property of the Architect, and were created for use in connection with the specified project.

Lazy K Lot 22

Lazy K, Gunnison CO

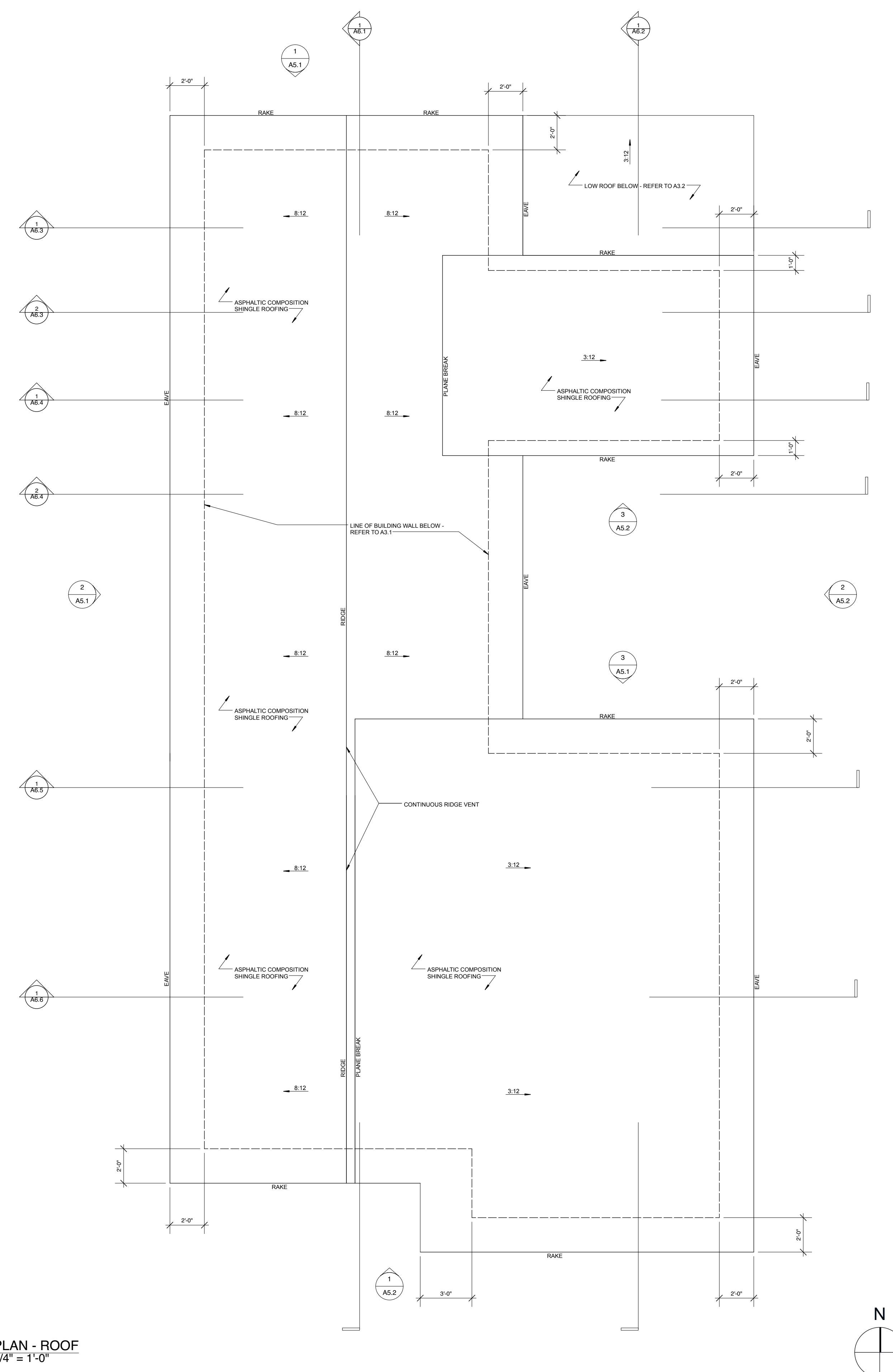
issue date:
14 November 2022

revisions:

drawing title
SECOND FLOOR PLAN

drawing scale AS NOTED

drawing number
A3.2



1 PLAN - ROOF
1/4" = 1'-0"

seal & signature

14 November 2022

ivD

ivD LLC
1910 7th Street, Third Floor
Boulder, Colorado 80302
720.301.0500
iv@ivdesousa.com

All contents of this document expresses design intent only. Final engineering and fabrication shall remain the responsibility of the contractor or fabricator. All ideas, designs, arrangements and plans indicated or presented by these drawings are the property of the Architect, and were created for use in connection with the specified project.

project

Lazy K Lot 22

Lazy K, Gunnison CO

issue date:
14 NOVEMBER 2022

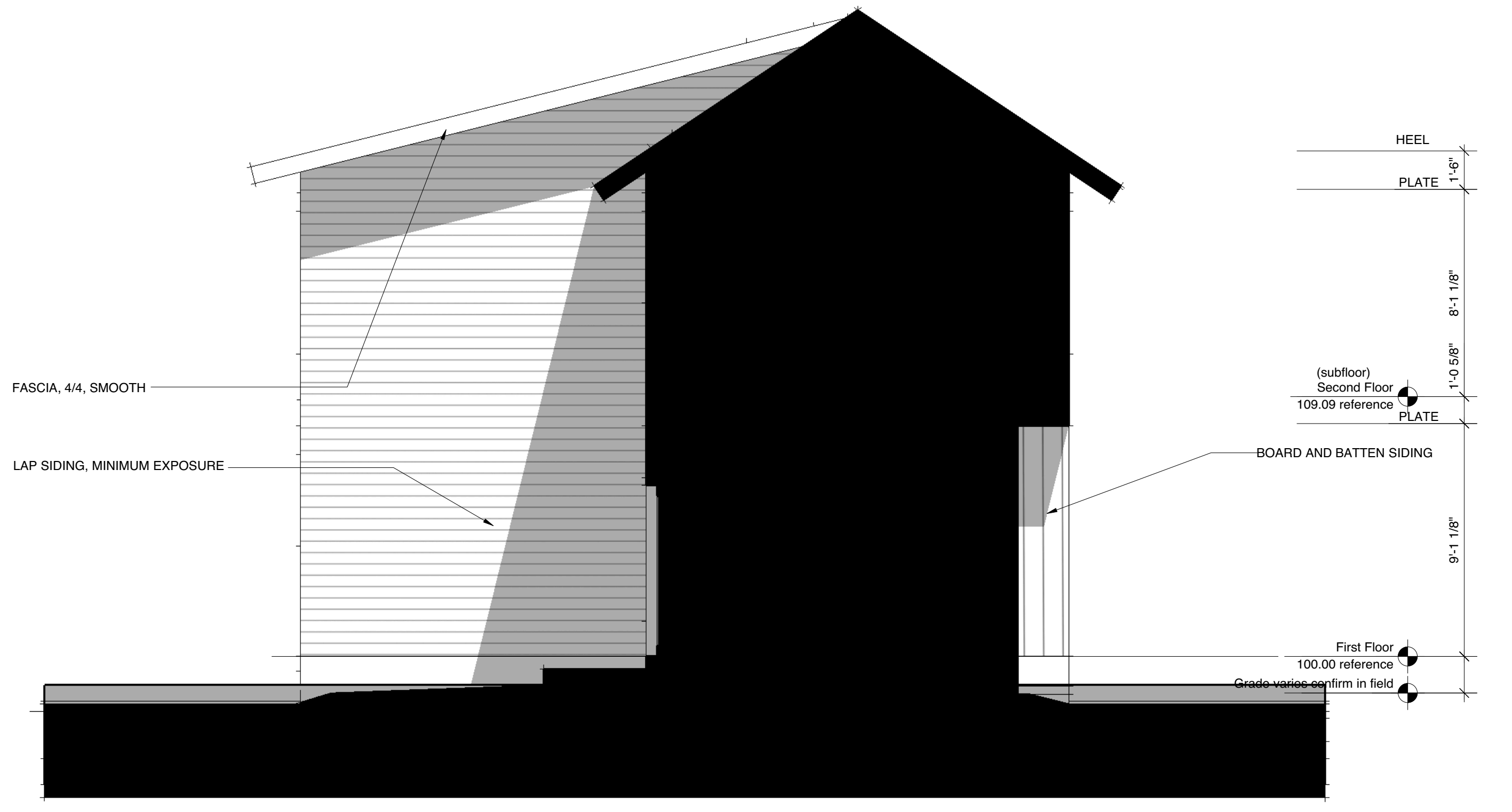
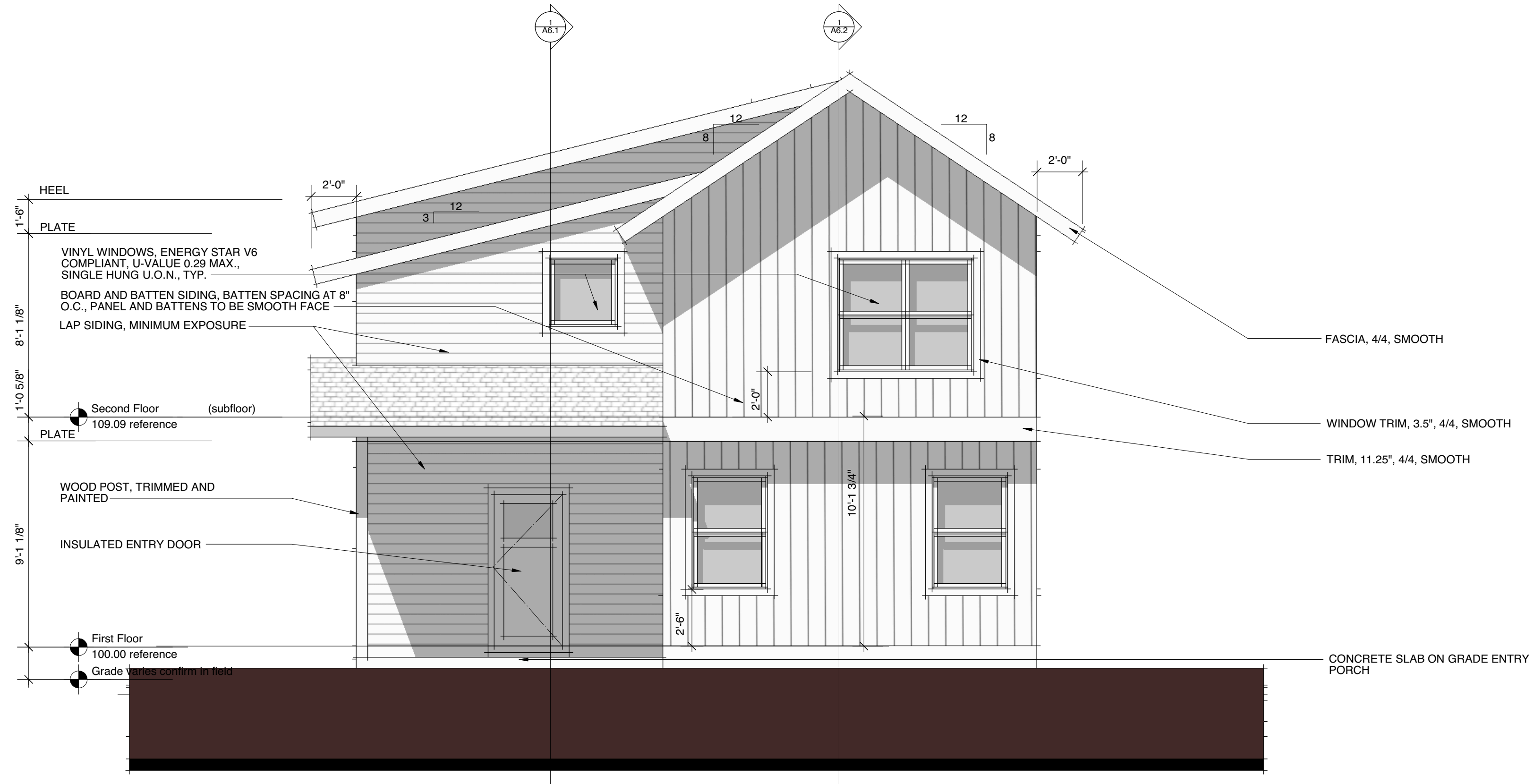
revisions:

drawing title
ROOF PLAN

drawing scale AS NOTED

drawing number

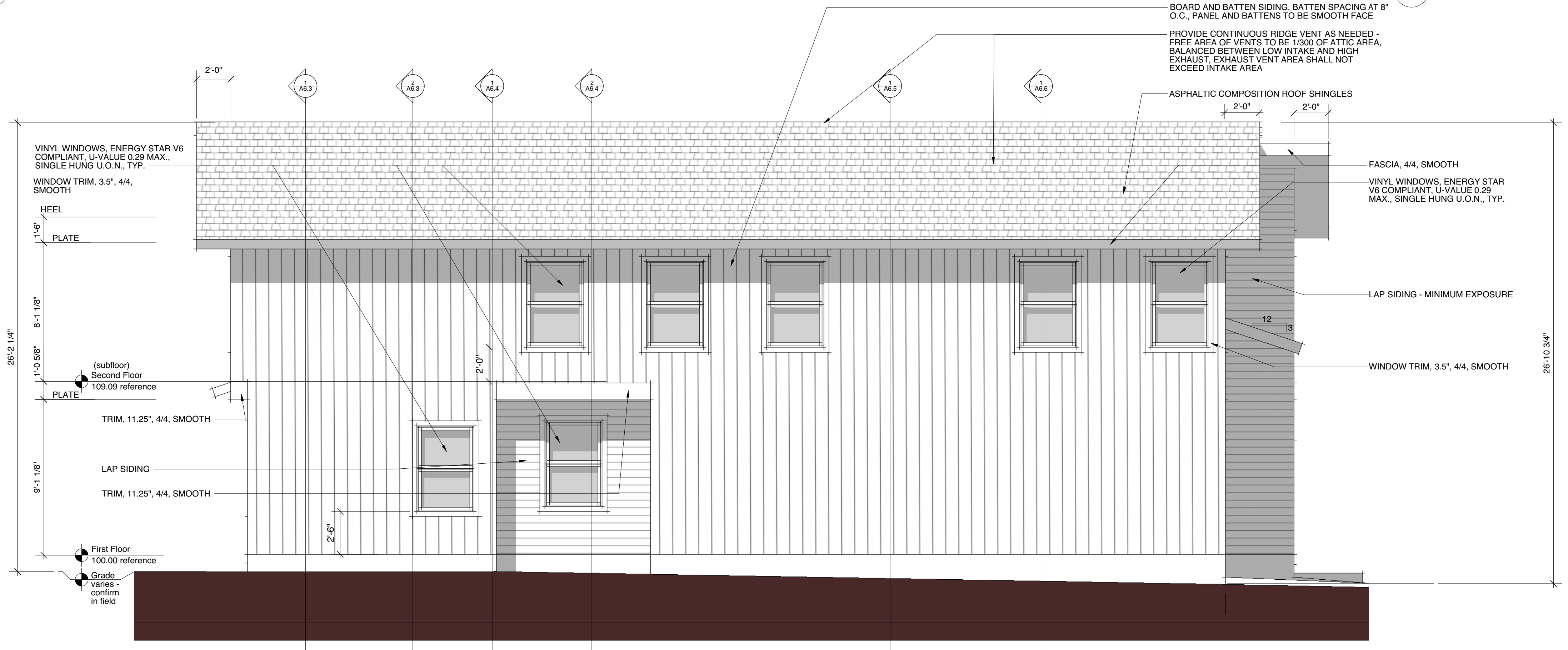
A3.3



1 NORTH ELEVATION
1/4" = 1'-0"

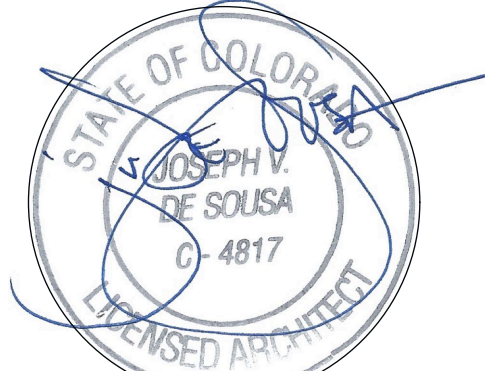
3 COURTYARD ELEVATION LOOKING SOUTH
1/4" = 1'-0"

ALL NOTES AND DIMENSIONS ON THIS DRAWING SHALL BE CONSIDERED TYPICAL AND APPLICABLE TO ALL CONSTRUCTION UNLESS NOTED OTHERWISE



2 WEST ELEVATION
1/4" = 1'-0"

ALL NOTES AND DIMENSIONS ON THIS DRAWING SHALL BE CONSIDERED TYPICAL AND APPLICABLE TO ALL CONSTRUCTION UNLESS NOTED OTHERWISE

seal & signature

 14 November 2022

ivD
 ivD LLC
 1910 7th Street, Third Floor
 Boulder, Colorado 80302
 720.301.0500
 iv@ivdesousa.com

All contents of this document expresses design intent only. Final engineering and fabrication shall remain the responsibility of the contractor or fabricator. All ideas, designs, arrangements and plans indicated or presented by these drawings are the property of the Architect, and were created for use in connection with the specified project.

project

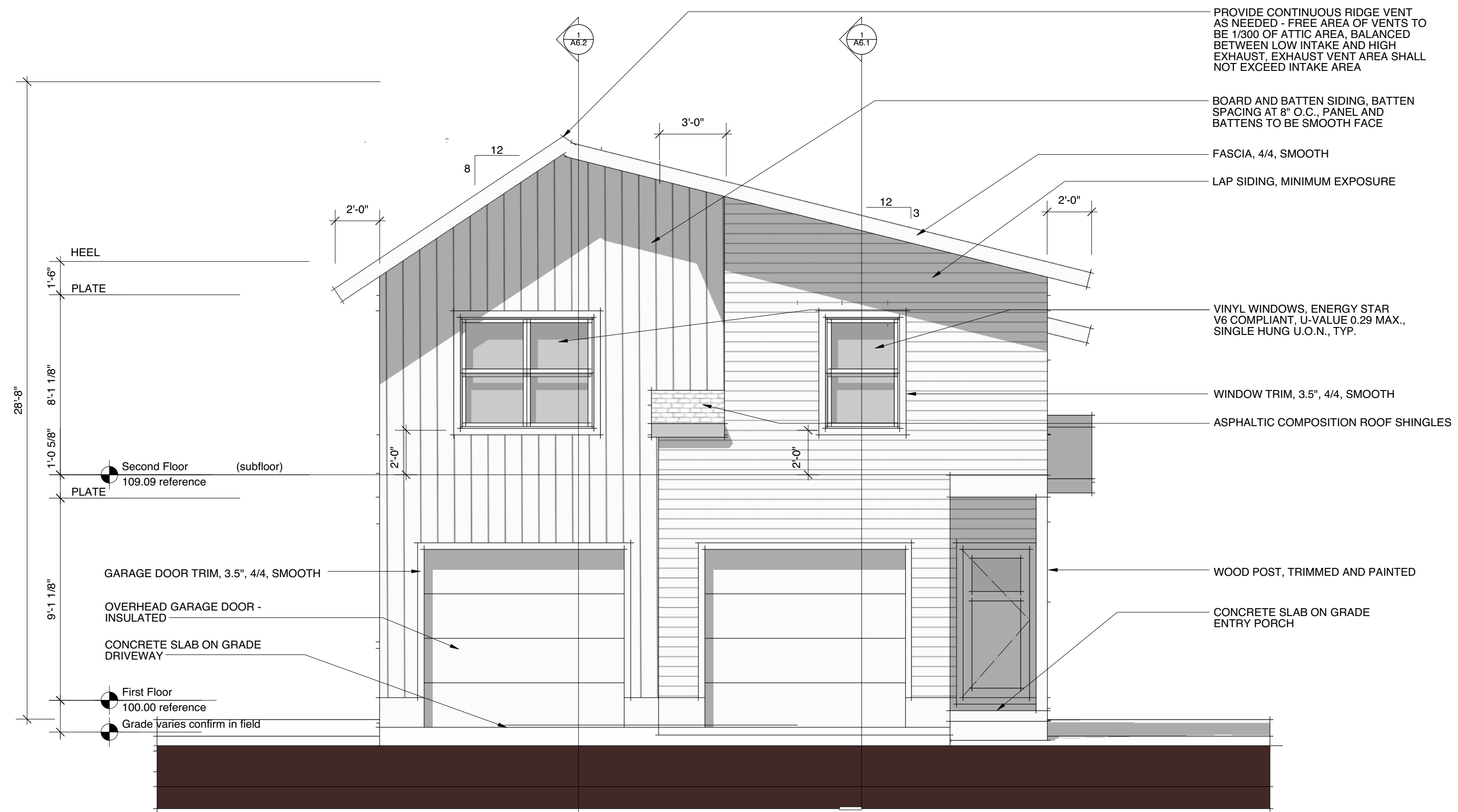
Lazy K Lot 22

Lazy K, Gunnison CO

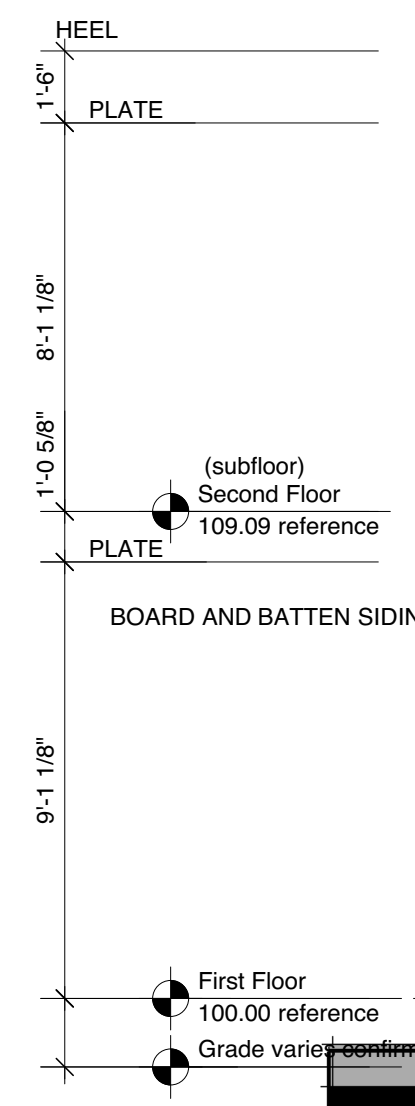
issue date:
 14 November 2022
 revisions:

drawing title
ELEVATIONS
 drawing scale AS NOTED
 drawing number

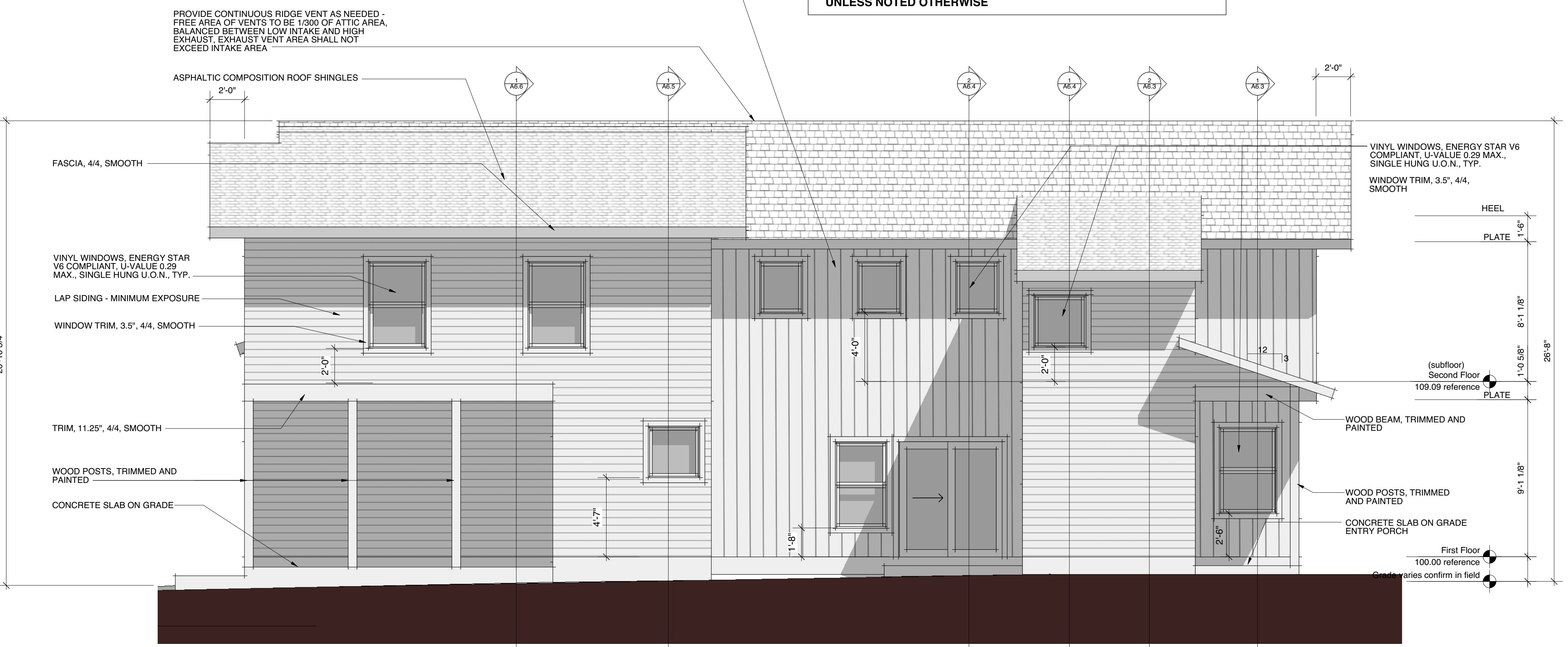
A5.1



1 SOUTH ELEVATION
1/4" = 1'-0"



3 COURTYARD ELEVATION LOOKING NORTH
1/4" = 1'-0"



2 EAST ELEVATION
1/4" = 1'-0"

ALL NOTES AND DIMENSIONS ON THIS DRAWING SHALL BE CONSIDERED TYPICAL AND APPLICABLE TO ALL CONSTRUCTION UNLESS NOTED OTHERWISE

seal & signature

 14 November 2022

ivD
 ivD LLC
 1910 7th Street, Third Floor
 Boulder, Colorado 80302
 720.301.0500
 iv@ivdesousa.com

All contents of this document expresses design intent only. Final engineering and fabrication shall remain the responsibility of the contractor or fabricator. All ideas, designs, arrangements and plans indicated or presented by these drawings are the property of the Architect, and were created for use in connection with the specified project.

project

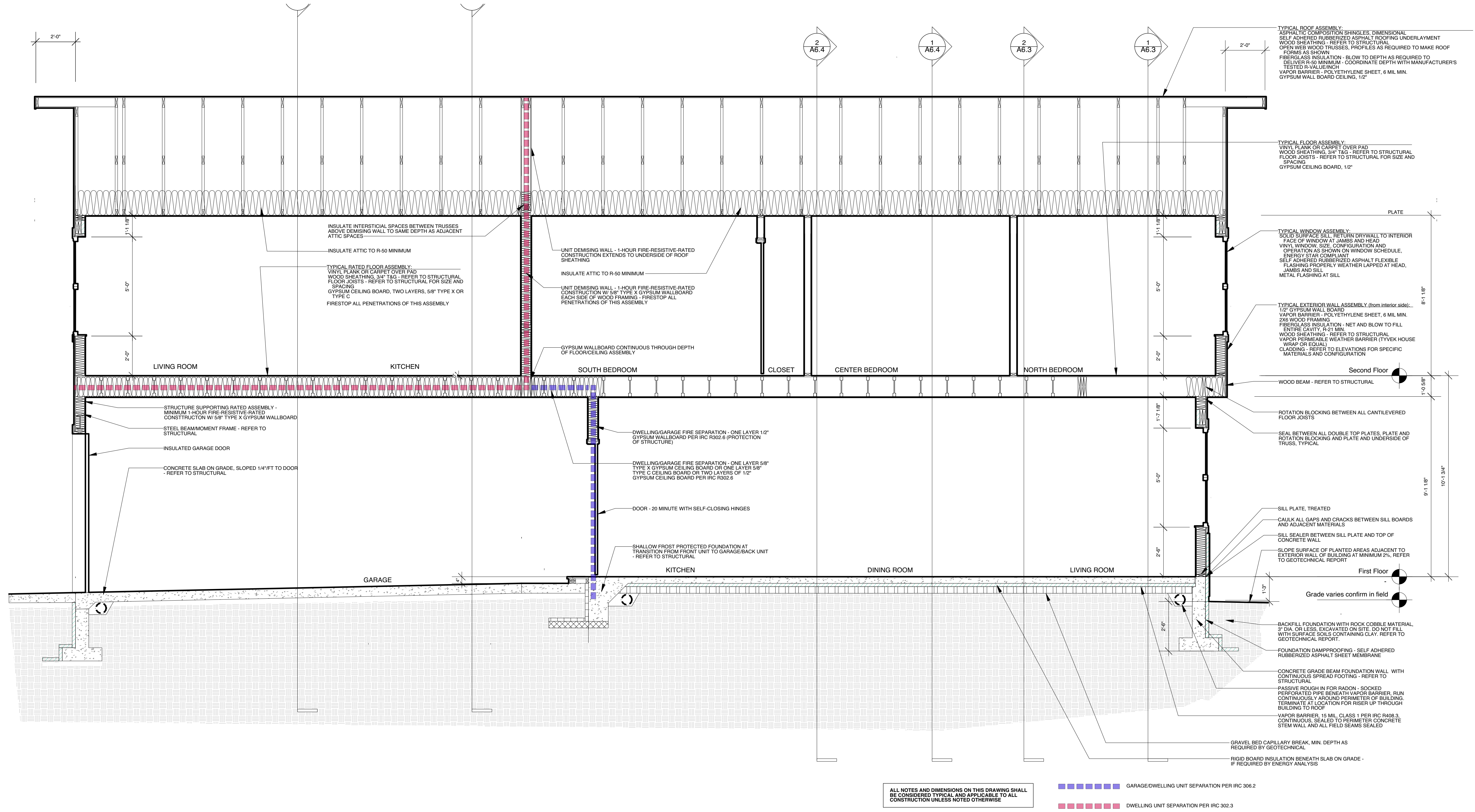
Lazy K Lot 22

Lazy K, Gunnison CO

issue date:
 14 November 2022
 revisions:

drawing title
ELEVATIONS
 drawing scale AS NOTED
 drawing number

A5.2



1 BUILDING/WALL SECTION
 3/8" = 1'-0"

seal & signature

14 November 2022

ivD

ivD LLC
 1910 7th Street, Third Floor
 Boulder, Colorado 80302
 720.301.0500
 iv@ivdesousa.com

All contents of this document expresses design intent only. Final engineering and fabrication shall remain the responsibility of the contractor or fabricator. All ideas, designs, arrangements and plans indicated or presented by these drawings are the property of the Architect, and were created for use in connection with the specified project.

project

Lazy K Lot 22

Lazy K, Gunnison CO

issue date:
 14 November 2022

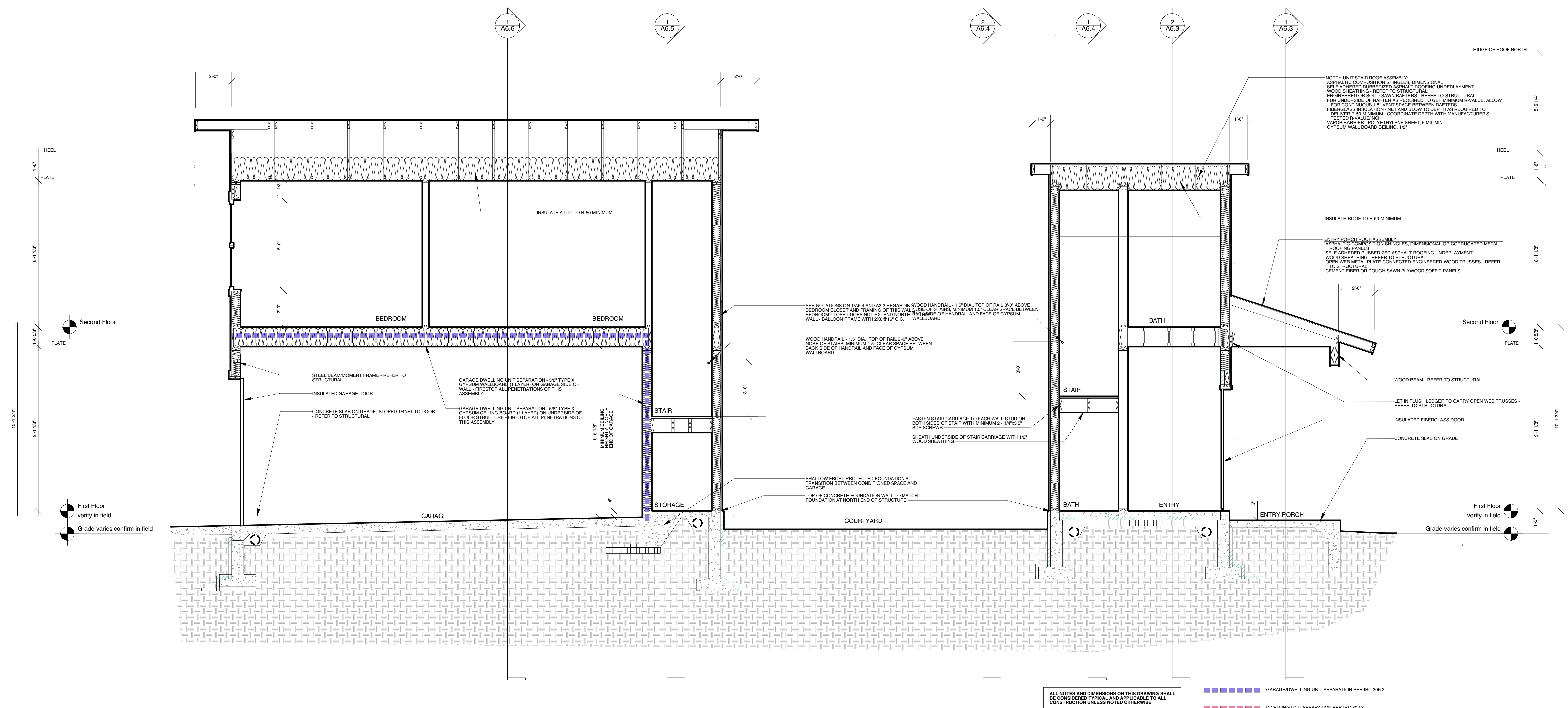
revisions:

drawing title
SECTIONS

drawing scale AS NOTED

drawing number

A6.1



1 BUILDING/WALL SECTION
3/8" = 1'-0"

seal & signature

14 November 2022

ivD

ivD LLC
1910 7th Street, Third Floor
Boulder, Colorado 80302
720.301.0500
iv@ivdesousa.com

All contents of this document expresses design intent only. Final engineering and fabrication shall remain the responsibility of the contractor or fabricator. All ideas, designs, arrangements and plans indicated or presented by these drawings are the property of the Architect, and were created for use in connection with the specified project.

project

Lazy K Lot 22

Lazy K, Gunnison CO

issue date:
14 November 2022

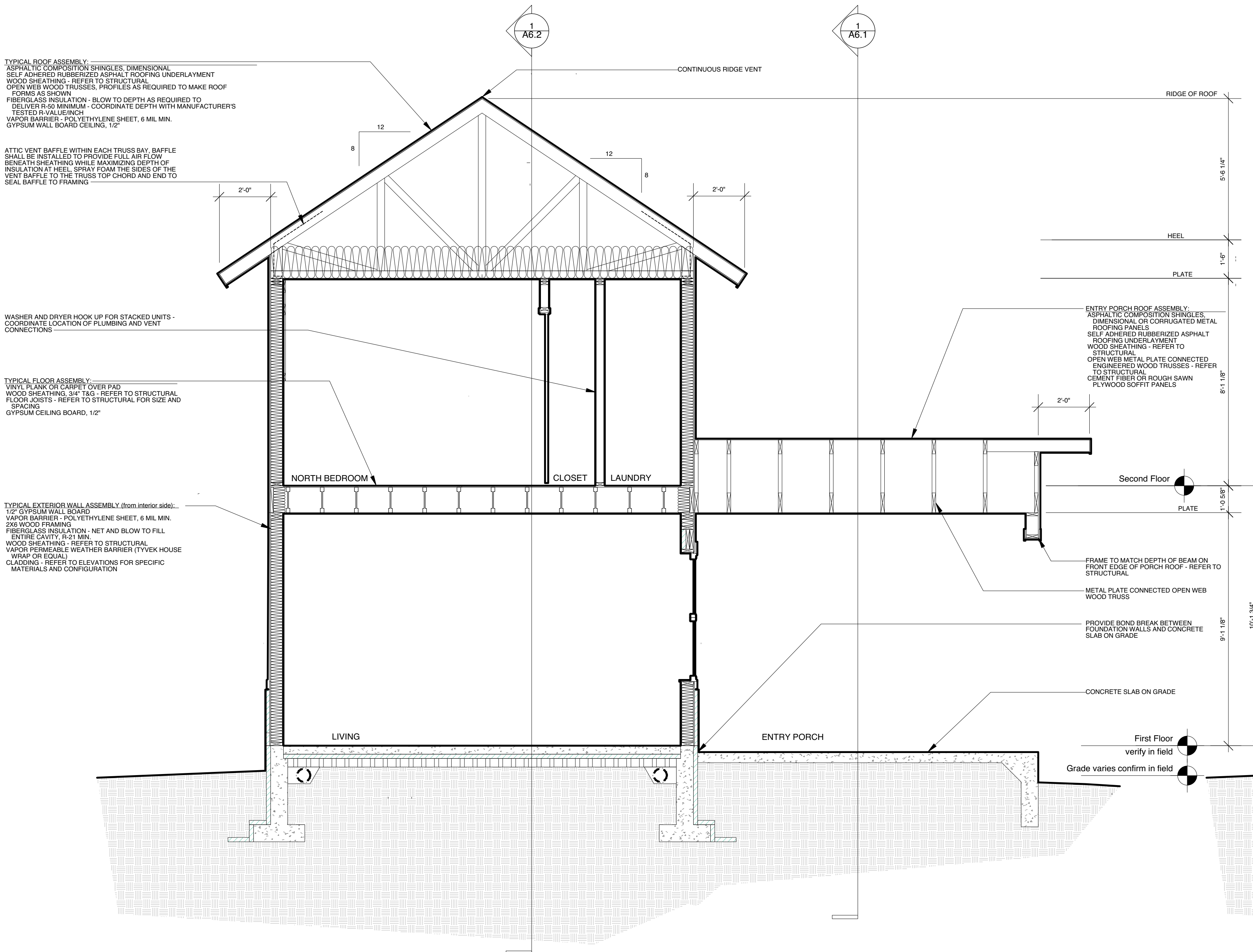
revisions:

drawing title
SECTIONS

drawing scale AS NOTED

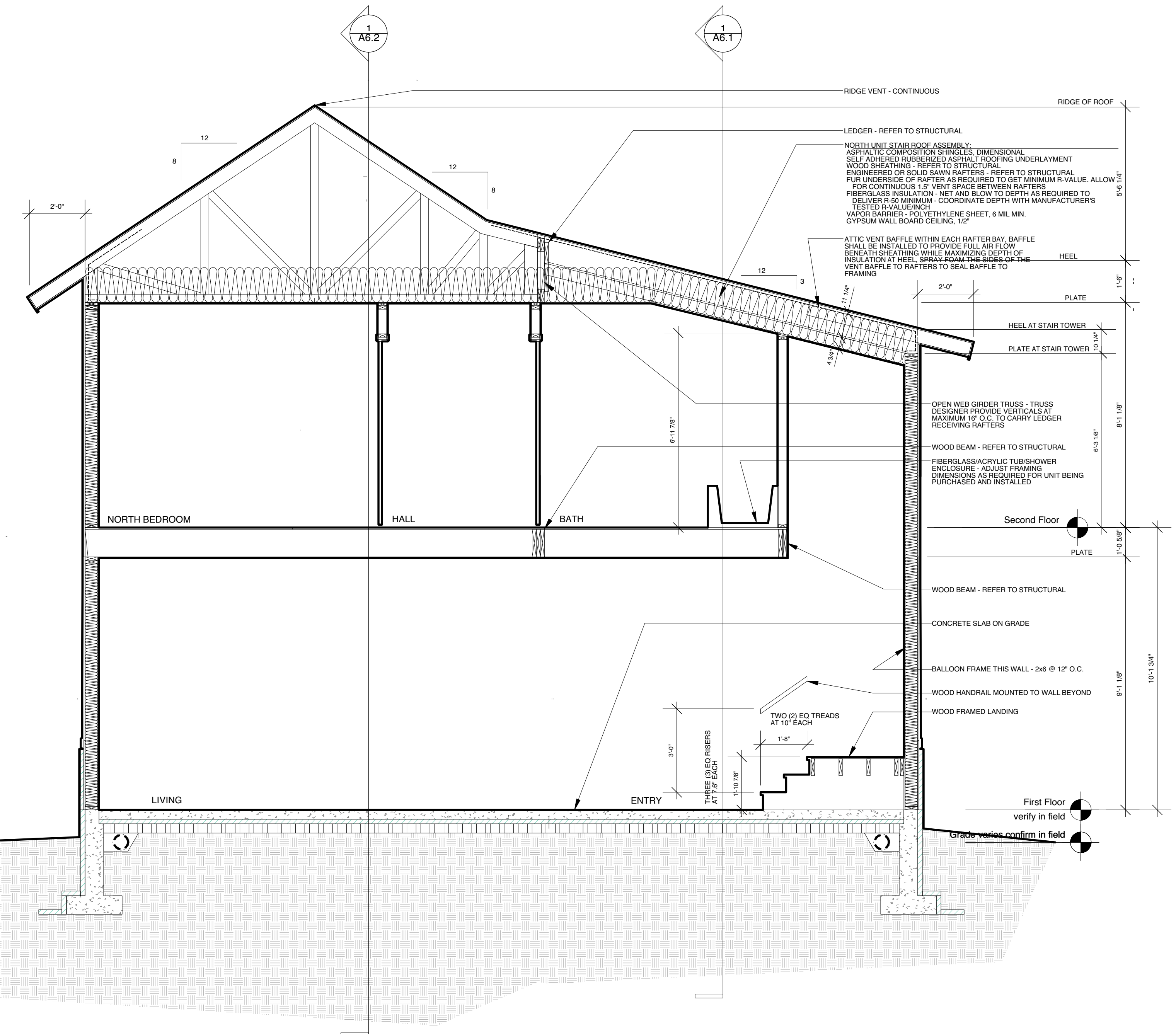
drawing number

A6.2



ALL NOTES AND DIMENSIONS ON THIS DRAWING SHALL BE CONSIDERED TYPICAL AND APPLICABLE TO ALL CONSTRUCTION UNLESS NOTED OTHERWISE

1 BUILDING/WALL SECTION
3/8" = 1'-0"



ALL NOTES AND DIMENSIONS ON THIS DRAWING SHALL BE CONSIDERED TYPICAL AND APPLICABLE TO ALL CONSTRUCTION UNLESS NOTED OTHERWISE

2 BUILDING/WALL SECTION
3/8" = 1'-0"

seal & signature

14 November 2022

ivD LLC
1910 7th Street, Third Floor
Boulder, Colorado 80302
720.301.0500
jv@ivdesousa.com

All contents of this document expresses design intent only. Final engineering and fabrication shall remain the responsibility of the contractor or fabricator. All ideas, designs, arrangements and plans indicated or presented by these drawings are the property of the Architect, and were created for use in connection with the specified project.

project

Lazy K Lot 22

Lazy K, Gunnison CO

issue date:
14 November 2022

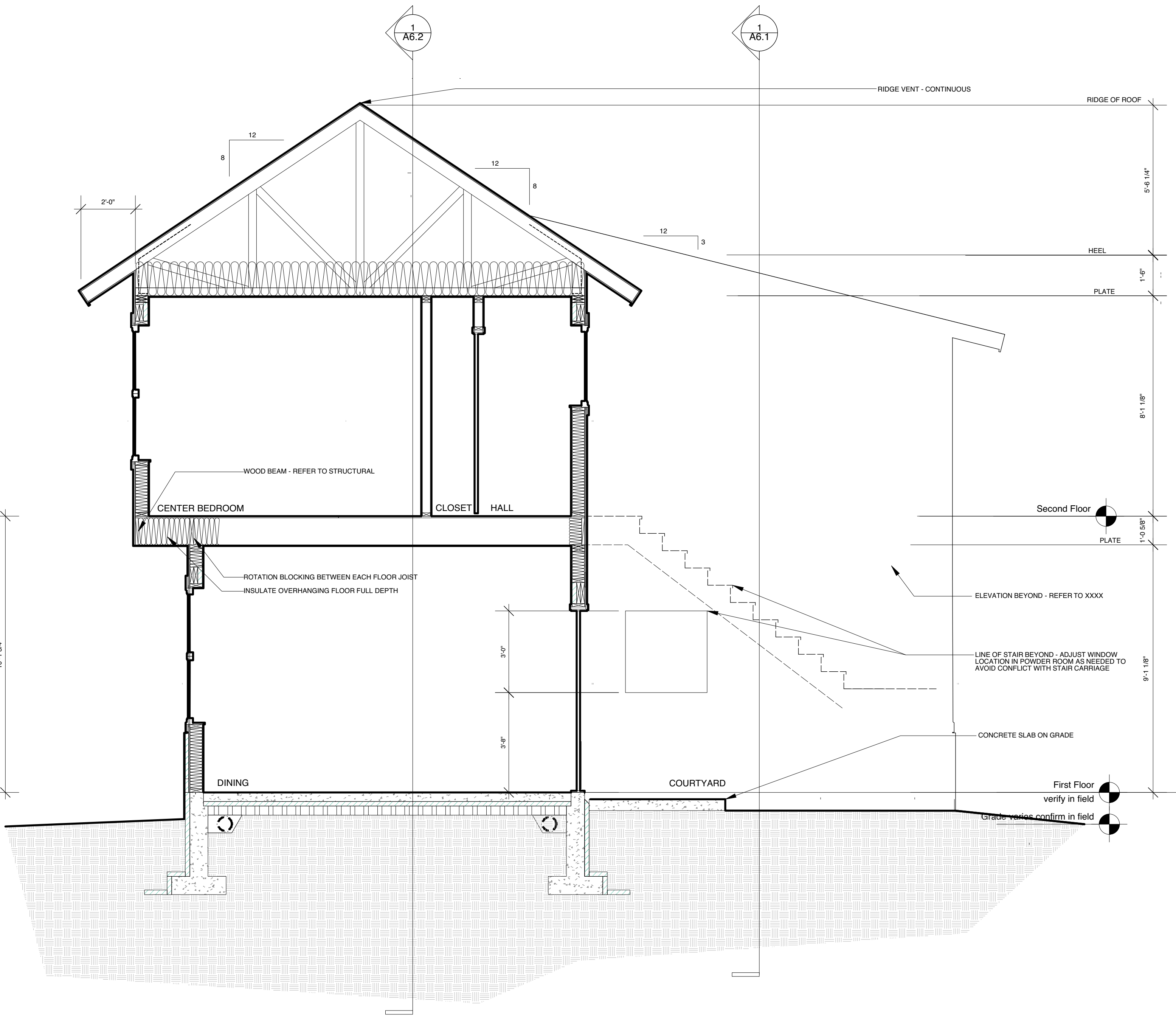
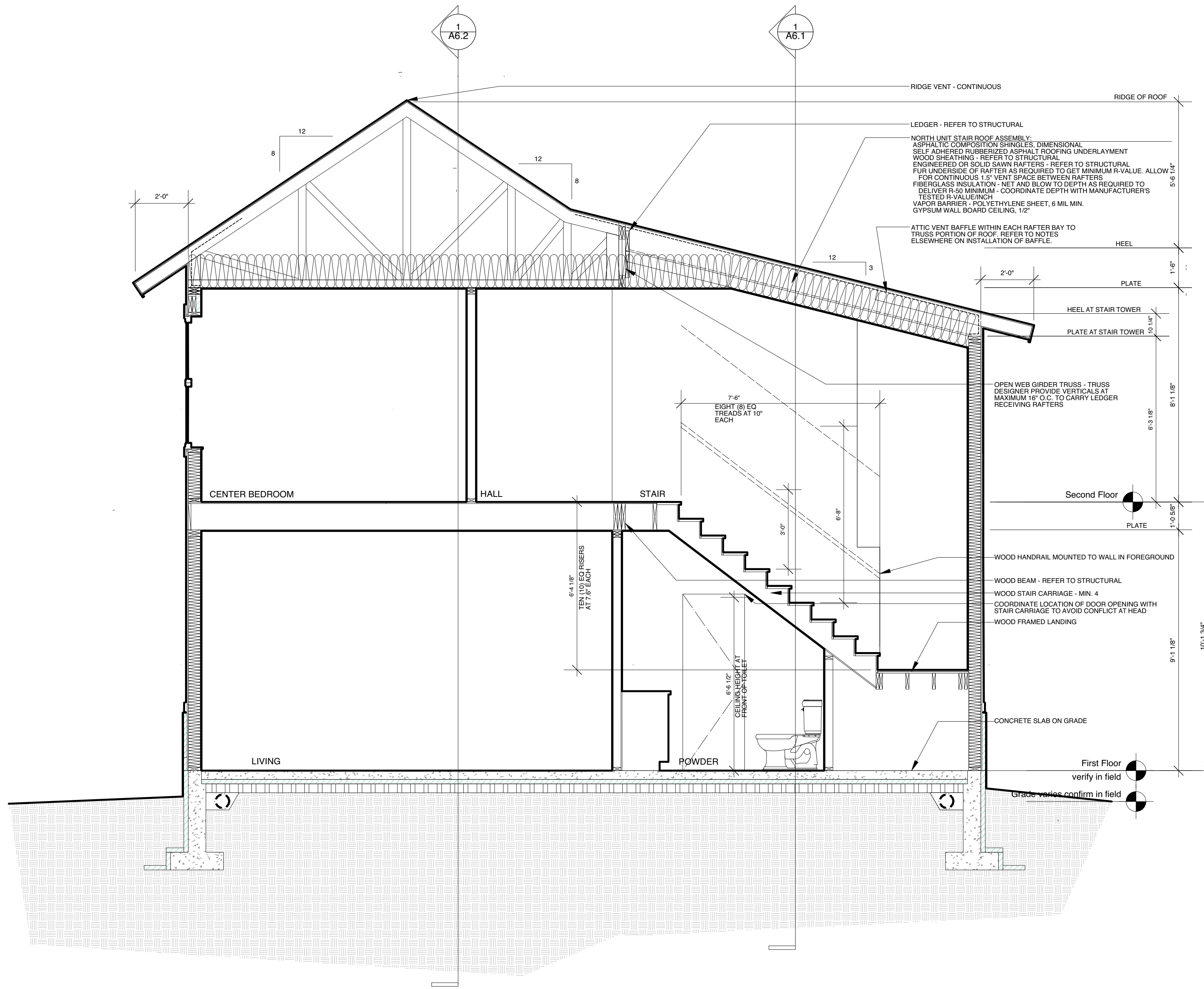
revisions:

drawing title
SECTIONS

drawing scale AS NOTED

drawing number

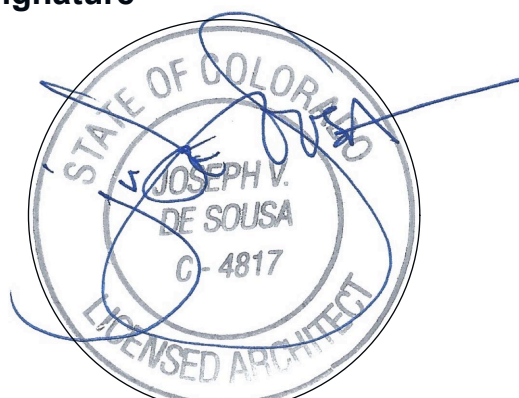
A6.3



1 BUILDING/WALL SECTION
3/8" = 1'-0"

2 BUILDING/WALL SECTION
3/8" = 1'-0"

seal & signature



14 November 2022



ivD LLC
1910 7th Street, Third Floor
Boulder, Colorado 80302
720.301.0500
iv@ivdesousa.com

All contents of this document expresses design intent only. Final engineering and fabrication shall remain the responsibility of the contractor or fabricator. All ideas, designs, arrangements and plans indicated or presented by these drawings are the property of the Architect, and were created for use in connection with the specified project.

project

Lazy K Lot 22

Lazy K, Gunnison CO

issue date:
14 November 2022

revisions:

drawing title

SECTIONS

drawing scale AS NOTED

drawing number

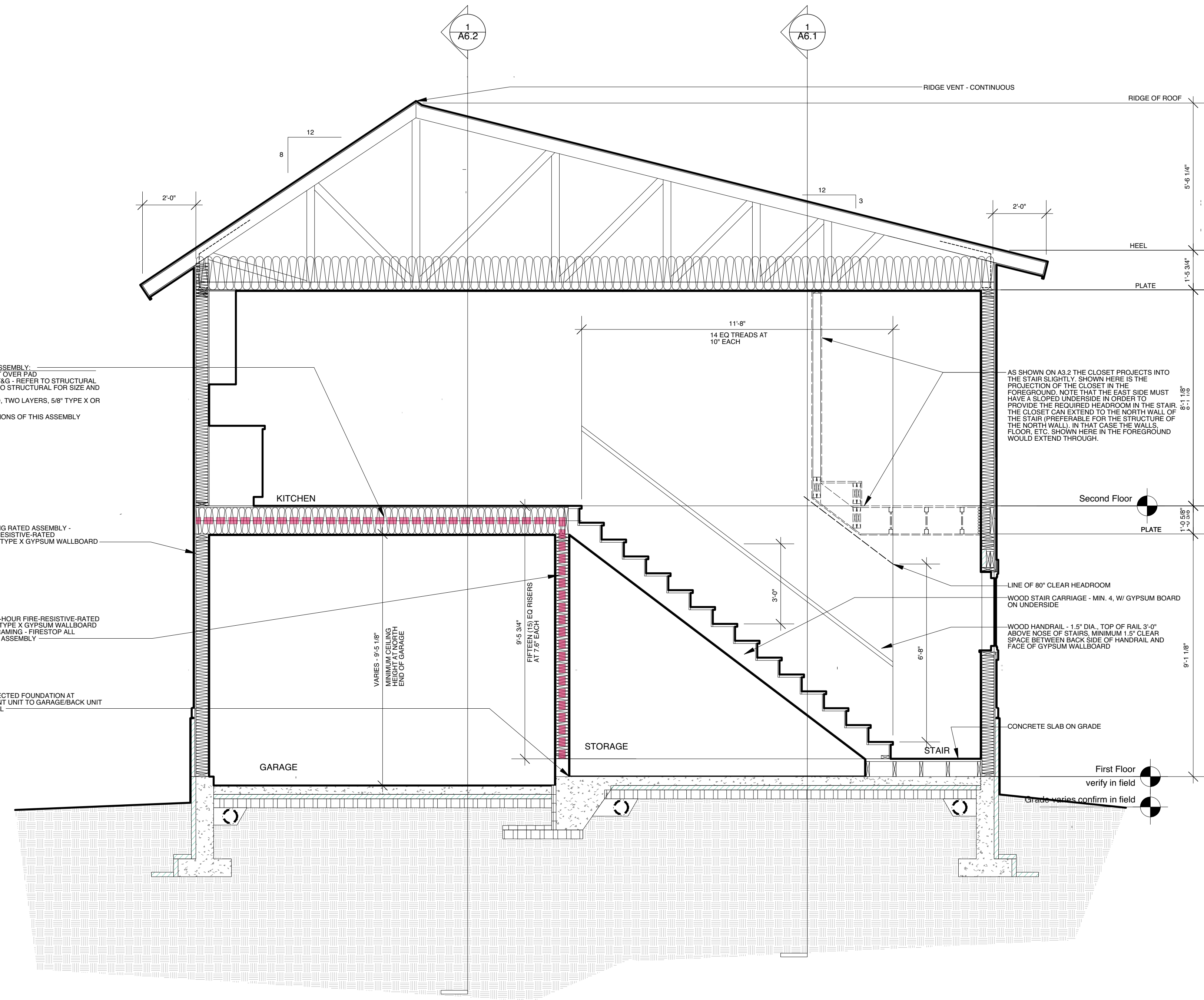
A6.4

TYPICAL RATED FLOOR ASSEMBLY - VINYL PLANK OR CARPET OVER PAD WOOD SHEATHING 3/4" TAG - REFER TO STRUCTURAL FLOOR JOISTS - REFER TO STRUCTURAL FOR SIZE AND SPACING GYPSUM CEILING BOARD, TWO LAYERS, 5/8" TYPE X OR TYPE C FIRESTOP ALL PENETRATIONS OF THIS ASSEMBLY

STRUCTURE SUPPORTING RATED ASSEMBLY - MINIMUM 1-HOUR FIRE-RESISTIVE RATED CONSTRUCTION W/ 5/8" TYPE X GYPSUM WALLBOARD

UNIT DEMISING WALL - 1-HOUR FIRE-RESISTIVE RATED CONSTRUCTION W/ 5/8" TYPE X GYPSUM WALLBOARD EACH SIDE OF WOOD FRAMING - FIRESTOP ALL PENETRATIONS OF THIS ASSEMBLY

SHALLOW FROST PROTECTED FOUNDATION AT TRANSITION FROM FRONT UNIT TO GARAGE/BACK UNIT - REFER TO STRUCTURAL



ALL NOTES AND DIMENSIONS ON THIS DRAWING SHALL BE CONSIDERED TYPICAL AND APPLICABLE TO ALL CONSTRUCTION UNLESS NOTED OTHERWISE

■■■■■■■■■■ GARAGEDWELLING UNIT SEPARATION PER IRC 308.2
 ■■■■■■■■■■ DWELLING UNIT SEPARATION PER IRC 302.3

1 BUILDING/WALL SECTION
 3/8" = 1'-0"

seal & signature

 14 November 2022

ivD
 ivD LLC
 1910 7th Street, Third Floor
 Boulder, Colorado 80302
 720.301.0500
 iv@ivdesousa.com

All contents of this document expresses design intent only. Final engineering and fabrication shall remain the responsibility of the contractor or fabricator. All ideas, designs, arrangements and plans indicated or presented by these drawings are the property of the Architect, and were created for use in connection with the specified project.

project

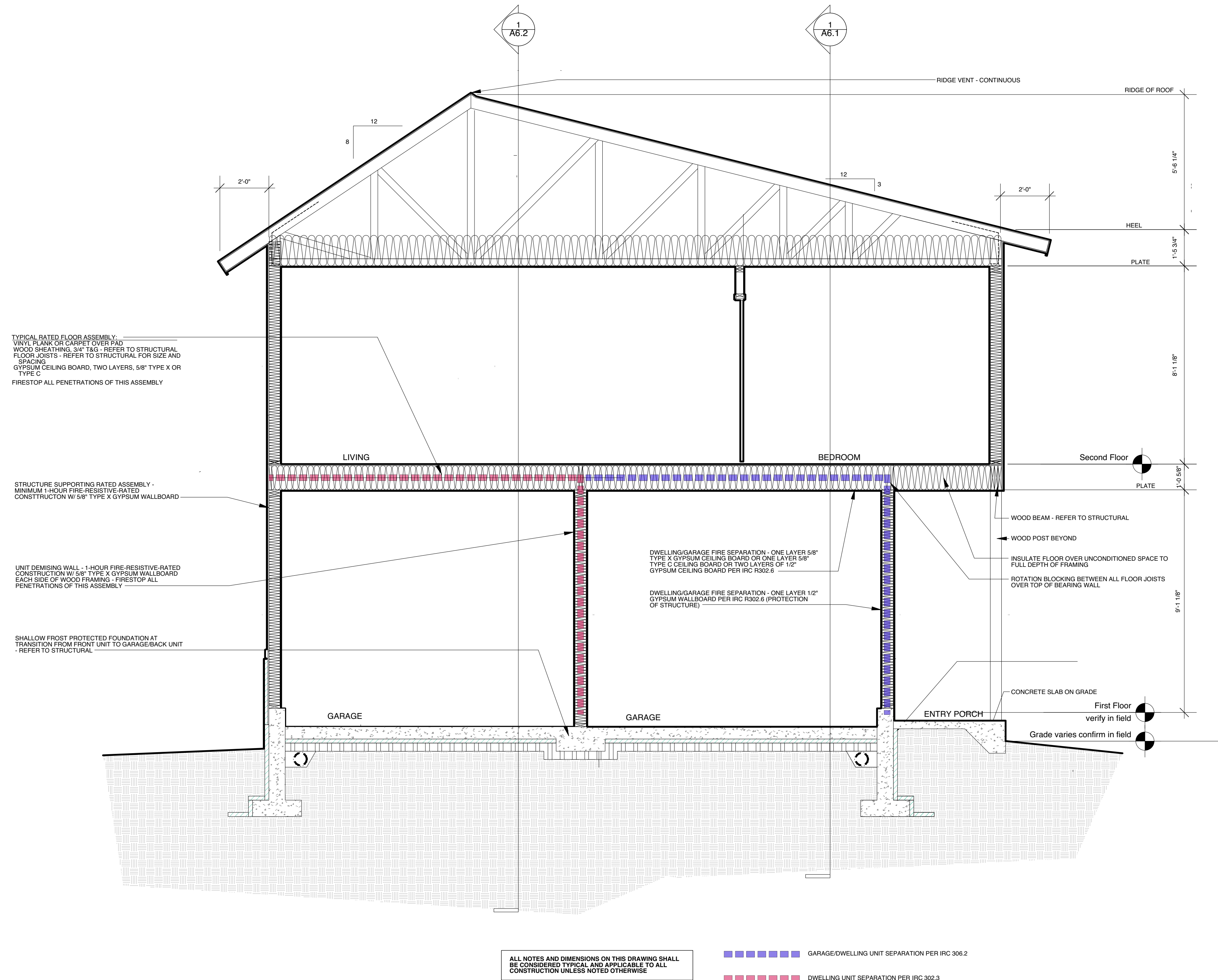
Lazy K Lot 22

Lazy K, Gunnison CO

issue date:
 14 November 2022
 revisions:

drawing title
SECTIONS
 drawing scale AS NOTED
 drawing number

A6.5



1 BUILDING/WALL SECTION
3/8" = 1'-0"

seal & signature

 14 November 2022

ivD
 ivD LLC
 1910 7th Street, Third Floor
 Boulder, Colorado 80302
 720.301.0500
 jv@ivdesousa.com

All contents of this document expresses design intent only. Final engineering and fabrication shall remain the responsibility of the contractor or fabricator. All ideas, designs, arrangements and plans indicated or presented by these drawings are the property of the Architect, and were created for use in connection with the specified project.

project

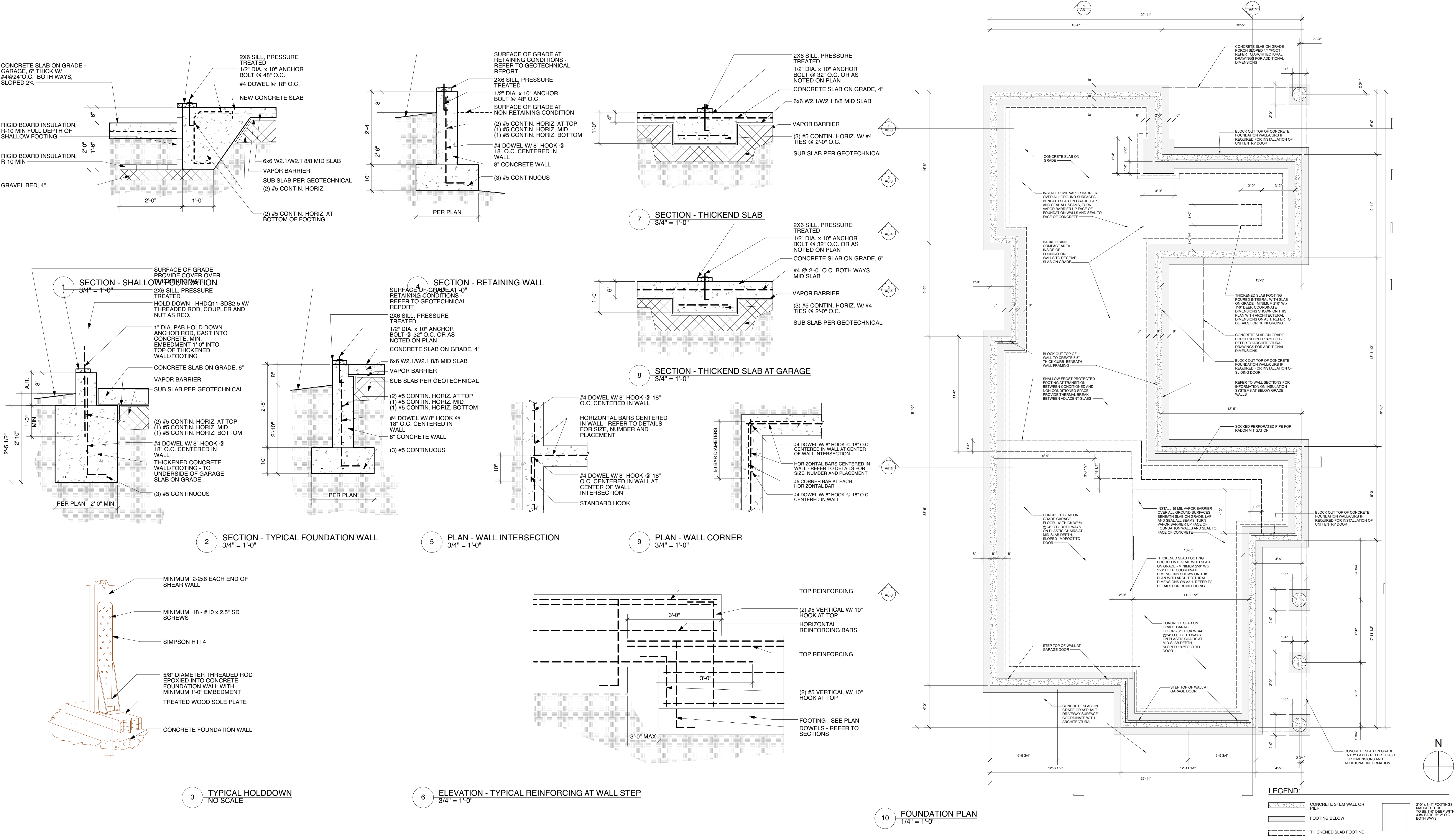
Lazy K Lot 22

Lazy K, Gunnison CO

issue date:
 14 November 2022
 revisions:

drawing title
 SECTIONS
 drawing scale AS NOTED
 drawing number

A6.6



seal & signature

30 August 2022

ivD

ivD LLC
1910 7th Street, Third Floor
Boulder, Colorado 80302
720.301.0500
iv@ivdesousa.com

All contents of this document expresses design intent only. Final engineering and fabrication shall remain the responsibility of the contractor or fabricator. All ideas, designs, arrangements and plans indicated or presented by these drawings are the property of the Architect, and were created for use in connection with the specified project.

project

Lazy K Lot 22

Lazy K, Gunnison CO

issue date:
30 August 2022

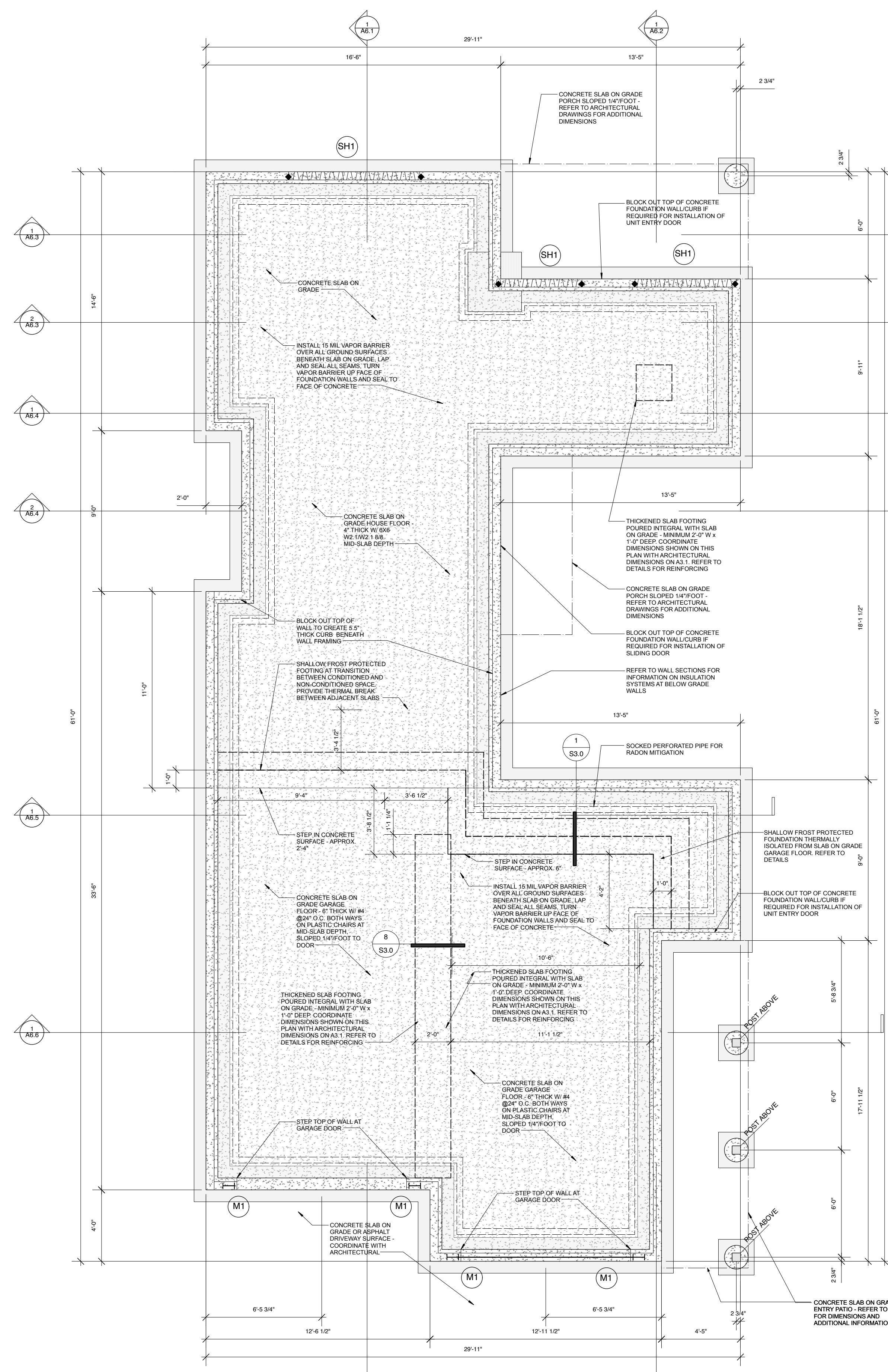
revisions:

drawing title
FOUNDATION PLAN

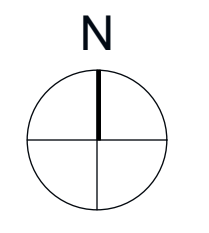
drawing scale AS NOTED

drawing number

S3.0



- LEGEND:**
- CONCRETE STEM WALL OR PIER
 - FOOTING BELOW
 - THICKENED SLAB FOOTING
 - LOAD BEARING SHEAR WALL - 7/16 WOOD SHEATHING BOTH SIDES WITH 102 @ 6" O.C. PANEL EDGES AND 9" O.C. FIELD. MINIMUM 3-2X6 EACH END
 - HOLD DOWN - HTT4 W/ 18-#10 x 2.5" SD SCREWS INTO 3-2X6 MINIMUM AND 1" DIA. THREADED ROD EXPOSED INTO CONCRETE FOUNDATION WALL WITH MINIMUM EMBEDMENT OF 1'-0"
 - LOAD BEARING SHEAR WALL - 7/16 WOOD SHEATHING BOTH SIDES WITH 106 @ 6" O.C. PANEL EDGES AND 9" O.C. FIELD. MINIMUM 3-2X6 EACH END
 - HOLD DOWN - HRC01 1-SS625 W/ 24-1/4 x 2.5" SD SCREWS INTO 3-2X6 MINIMUM AND 1" DIA. THREADED ROD EXPOSED INTO CONCRETE FOUNDATION WALL AND FOOTING WITH MINIMUM EMBEDMENT OF 9" INTO 24"x24"x12" CONCRETE FOOTING/WALL - REFER TO DETAILS
 - STEEL MOMENT FRAME - W#13 W/ FULL PEN WELDS AT TOP OF JAMB LEGS TO UNDERSIDE OF BOTTOM FLANGE OF BEAM ABOVE. BASE PLATE TYPICAL OF 2
 - BASE PLATE - W/ 1/2" DIA. EPOXY ANCHORS TO TOP OF CONCRETE FOUNDATION WALL. MINIMUM EMBEDMENT OF 9" INTO CONCRETE FOOTING/WALL - REFER TO DETAILS



seal & signature

14 November 2022

ivD

ivD LLC
1910 7th Street, Third Floor
Boulder, Colorado 80302
720.301.0500
iv@ivdesousa.com

All contents of this document expresses design intent only. Final engineering and fabrication shall remain the responsibility of the contractor or fabricator. All ideas, designs, arrangements and plans indicated or presented by these drawings are the property of the Architect, and were created for use in connection with the specified project.

project

Lazy K Lot 22

Lazy K, Gunnison CO

issue date:
14 NOVEMBER 2022

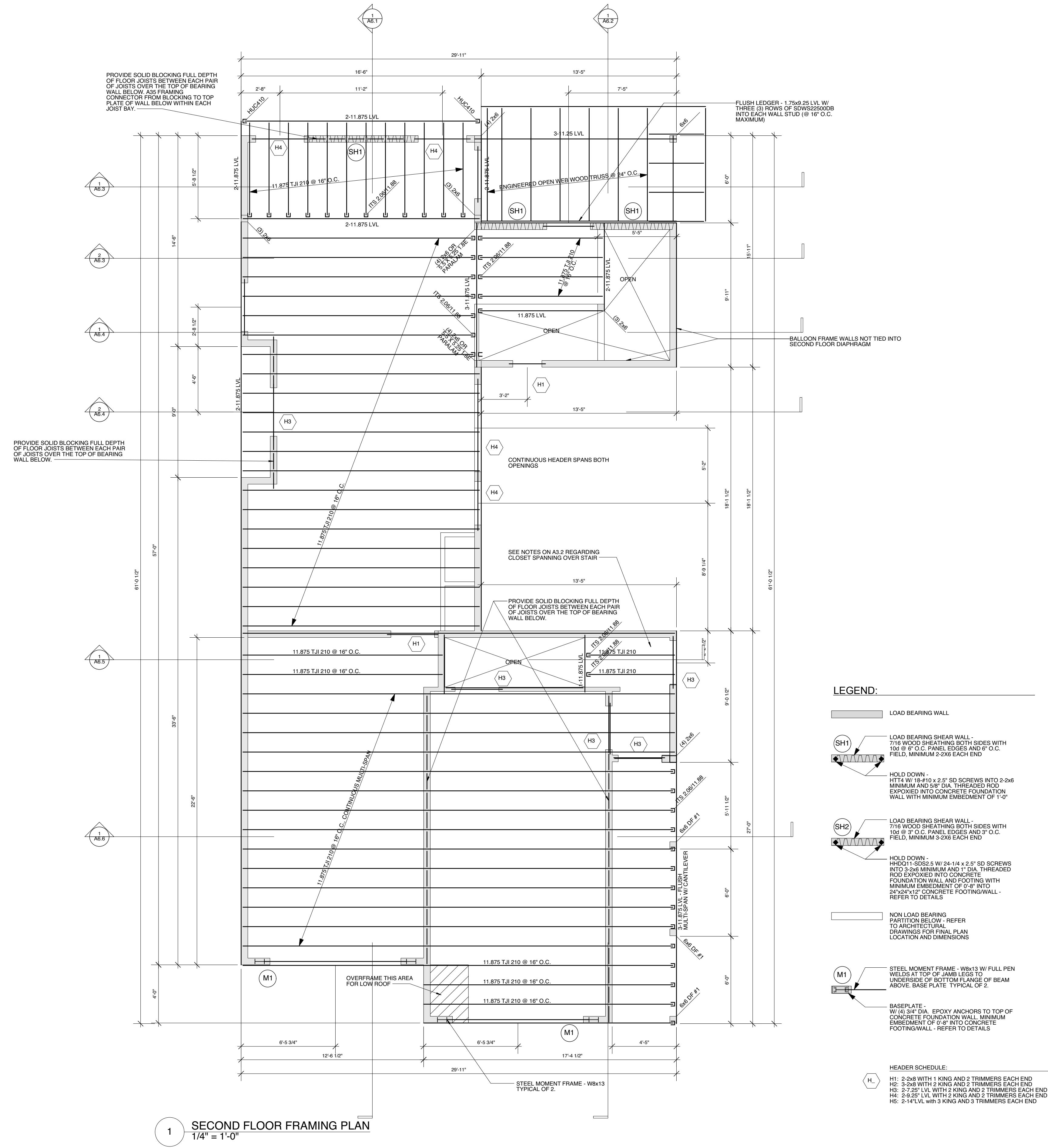
revisions:

drawing title
GROUND FLOOR SLAB PLAN

drawing scale AS NOTED

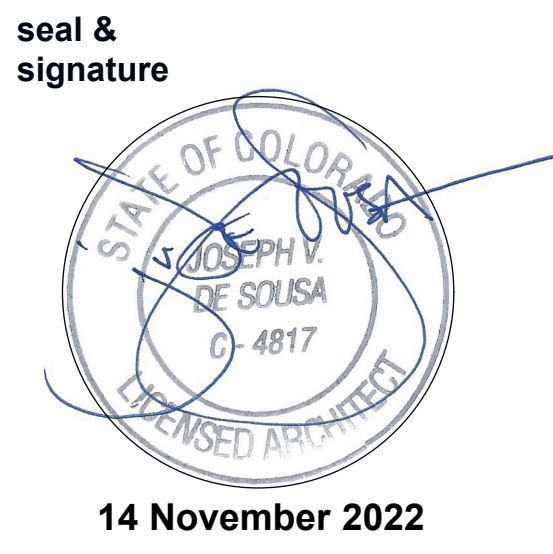
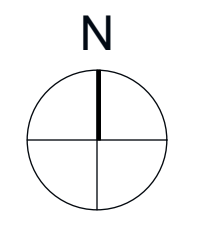
drawing number

S3.1



1 SECOND FLOOR FRAMING PLAN
1/4" = 1'-0"

- LEGEND:**
- LOAD BEARING WALL
 - LOAD BEARING SHEAR WALL - 7/16 WOOD SHEATHING BOTH SIDES WITH 10d @ 2' O.C. PANEL EDGES AND 9' O.C. FIELD, MINIMUM 2-2X6 EACH END
 - HOLD DOWN - HTF4 W/ 1.75x4.5 x 2.5' SD SCREWS INTO 2-2x6 MINIMUM AND 5/8" DIA. THREADED ROD EXPOSED INTO CONCRETE FOUNDATION WALL WITH MINIMUM EMBEDMENT OF 1'-0"
 - LOAD BEARING SHEAR WALL - 7/16 WOOD SHEATHING BOTH SIDES WITH 10d @ 2' O.C. PANEL EDGES AND 9' O.C. FIELD, MINIMUM 3-2X6 EACH END
 - HOLD DOWN - HHDO1 1-SDS2.5 W/ 24-1/4 x 2.5' SD SCREWS INTO 3-2x6 MINIMUM AND 1" DIA. THREADED ROD EXPOSED INTO CONCRETE FOUNDATION WALL AND FOOTING WITH MINIMUM EMBEDMENT OF 0'-8" INTO 24"x24"x12" CONCRETE FOOTING/WALL - REFER TO DETAILS
 - NON-LOAD BEARING PARTITION BELOW - REFER TO ARCHITECTURAL DRAWINGS FOR FINAL PLAN LOCATION AND DIMENSIONS
 - STEEL MOMENT FRAME - W8x13 W/ FULL PEN WELDS AT TOP OF JAMB LEGS TO UNDERSIDE OF BOTTOM FLANGE OF BEAM ABOVE BASE PLATE TYPICAL OF 2
 - BASEPLATE - W/ 1/2" DIA. EPOXY ANCHORS TO TOP OF CONCRETE FOUNDATION WALL. MINIMUM EMBEDMENT OF 9'-0" INTO CONCRETE FOOTING/WALL - REFER TO DETAILS
- HEADER SCHEDULE:**
- H1: 2-2x6 WITH 1 KING AND 2 TRIMMERS EACH END
 - H2: 3-2x6 WITH 2 KING AND 2 TRIMMERS EACH END
 - H3: 2-2x6 LVL WITH 2 KING AND 2 TRIMMERS EACH END
 - H4: 2-2x2 LVL WITH 2 KING AND 2 TRIMMERS EACH END
 - H5: 2-14 LVL WITH 3 KING AND 3 TRIMMERS EACH END



All contents of this document expresses design intent only. Final engineering and fabrication shall remain the responsibility of the contractor or fabricator. All ideas, designs, arrangements and plans indicated or presented by these drawings are the property of the Architect, and were created for use in connection with the specified project.

project

Lazy K Lot 22

Lazy K, Gunnison CO

issue date:
14 NOVEMBER 2022

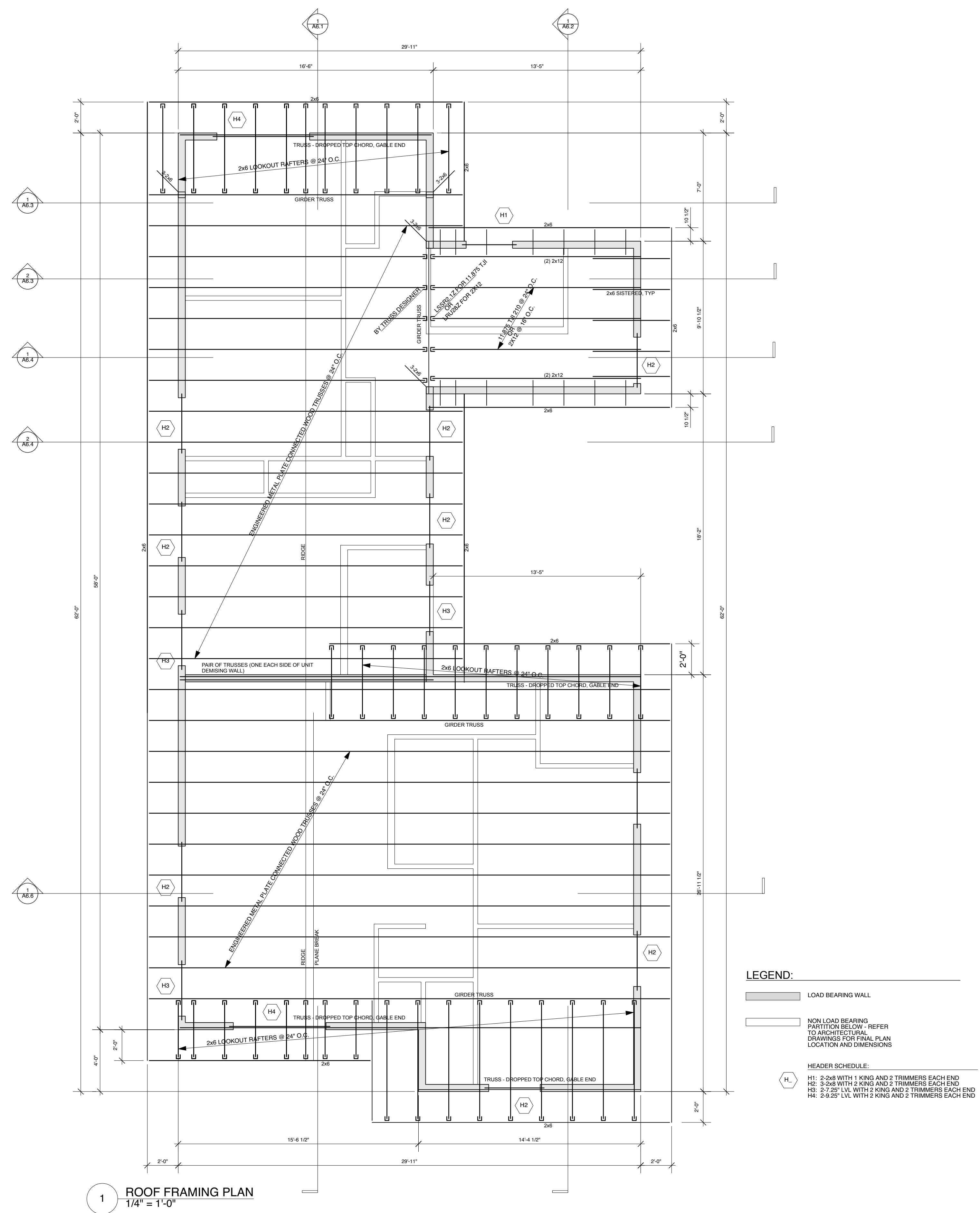
revisions:

drawing title
SECOND FLOOR FRAMING PLAN

drawing scale AS NOTED

drawing number

S3.2



1 ROOF FRAMING PLAN
1/4" = 1'-0"

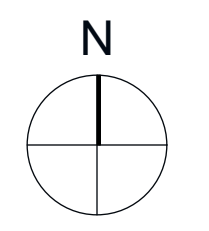
LEGEND:

LOAD BEARING WALL

NON LOAD BEARING PARTITION BELOW - REFER TO ARCHITECTURAL DRAWINGS FOR FINAL PLAN LOCATION AND DIMENSIONS

HEADER SCHEDULE:

H1- 2x8 WITH 1 KING AND 2 TRIMMERS EACH END
H2- 3x8 WITH 2 KING AND 2 TRIMMERS EACH END
H3- 2x12 LVL WITH 2 KING AND 2 TRIMMERS EACH END
H4- 2x8 LVL WITH 2 KING AND 2 TRIMMERS EACH END



seal & signature

14 November 2022

ivD

ivD LLC
1910 7th Street, Third Floor
Boulder, Colorado 80302
720.301.0500
iv@ivdesousa.com

All contents of this document expresses design intent only. Final engineering and fabrication shall remain the responsibility of the contractor or fabricator. All ideas, designs, arrangements and plans indicated or presented by these drawings are the property of the Architect, and were created for use in connection with the specified project.

project

Lazy K Lot 22

Lazy K, Gunnison CO

issue date:
14 NOVEMBER 2022

revisions:

drawing title
ROOF FRAMING PLAN

drawing scale AS NOTED
drawing number

S3.3

**First Regular Session
Seventy-fourth General Assembly
STATE OF COLORADO**

REENGROSSED

*This Version Includes All Amendments
Adopted in the House of Introduction*

LLS NO. 23-0305.01 Ed DeCecco x4216

SENATE BILL 23-303

SENATE SPONSORSHIP

Fenberg and Hansen, Bridges, Buckner, Moreno, Priola

HOUSE SPONSORSHIP

deGruy Kennedy and Weissman,

Senate Committees

Appropriations

House Committees

A BILL FOR AN ACT

101 **CONCERNING A REDUCTION IN PROPERTY TAXES, AND, IN CONNECTION**
102 **THEREWITH, CREATING A LIMIT ON ANNUAL PROPERTY TAX**
103 **INCREASES FOR CERTAIN LOCAL GOVERNMENTS; TEMPORARILY**
104 **REDUCING THE VALUATION FOR ASSESSMENT OF CERTAIN**
105 **RESIDENTIAL AND NONRESIDENTIAL PROPERTY; CREATING NEW**
106 **SUBCLASSES OF PROPERTY; PERMITTING THE STATE TO RETAIN**
107 **AND SPEND REVENUE UP TO THE PROPOSITION HH CAP;**
108 **REQUIRING THE RETAINED REVENUE TO BE USED TO REIMBURSE**
109 **CERTAIN LOCAL GOVERNMENTS FOR LOST PROPERTY TAX**
110 **REVENUE AND TO BE DEPOSITED IN THE STATE EDUCATION FUND**
111 **TO BACKFILL THE REDUCTION IN SCHOOL DISTRICT PROPERTY**
112 **TAX REVENUE; TRANSFERRING GENERAL FUND MONEY TO A**
113 **CASH FUND TO ALSO BE USED FOR THE REIMBURSEMENTS;**

Shading denotes HOUSE amendment. Double underlining denotes SENATE amendment.
Capital letters or bold & italic numbers indicate new material to be added to existing law.
Dashes through the words or numbers indicate deletions from existing law.

SENATE
3rd Reading Unamended
May 4, 2023

SENATE
Amended 2nd Reading
May 3, 2023

101 ELIMINATING THE CAP ON THE AMOUNT OF EXCESS STATE
102 REVENUES THAT MAY BE USED FOR THE REIMBURSEMENTS FOR
103 THE 2023 PROPERTY TAX YEAR; REFERRING A BALLOT ISSUE;
104 AND MAKING AN APPROPRIATION.

Bill Summary

(Note: This summary applies to this bill as introduced and does not reflect any amendments that may be subsequently adopted. If this bill passes third reading in the house of introduction, a bill summary that applies to the reengrossed version of this bill will be available at <http://leg.colorado.gov>.)

Section 3 of the bill requires the secretary of state to refer a ballot issue to voters at the November 2023 election that asks voters whether property taxes should be reduced and that seeks voter approval to retain and spend excess state revenues that will be used to backfill some of the reduced property tax revenue. Most of the bill only becomes effective if the voters approve the ballot issue.

Local government property tax revenue limit. Beginning with the 2023 property tax year, **section 6** establishes a limit on specified property tax revenue for local governments, excluding those that are home rule and school districts, that is equal to inflation above the property tax revenue from the prior property tax year (limit). A local government may establish a temporary property tax credit, which does not change the gross mill levy, that is up to the number of mills necessary to prevent the local government's property tax revenue from exceeding the limit. Alternatively, the governing board may approve a mill levy that would cause the local government to exceed the limit, if the governing board approves the mill levy at a public meeting that meets certain criteria.

Valuation changes. The valuation for assessment (valuation) of nonresidential real and personal property, excluding producing mines and lands or leaseholds producing oil or gas, is based on an assessment rate of 29% of actual value, but currently, there are temporary reductions in the valuation for certain subclasses of property. **Section 8** creates the additional temporary reductions. For the 2023 property tax year:

- For lodging property, property listed under any improved commercial subclass code, and all other nonresidential property, excluding agricultural property and renewable energy production property, the assessment rate is reduced from 27.9% to 27.85%;
- For renewable energy agricultural land, which is a newly created subclass of agricultural property that is valued under **section 7**, the assessment rate is reduced from 26.4%

to 21.9%.

Thereafter, the assessment rate for lodging property and all nonresidential property, excluding agricultural property and renewable energy production property and property that is not under a vacant land subclass, is reduced from 29% to:

- 27.85% for the 2024 through 2026 property tax years;
- 27.65% for the 2027 and 2028 property tax years;
- 26.9% for the 2029 and 2030 property tax years; and
- 25.9% or 26.9% for the 2031 and 2032 property tax years, depending on the increase in the valuation in the 32 counties with the smallest increases from the 2030 to 2031 property tax years (revenue increases).

The assessment rate for agricultural property, excluding renewable energy agricultural land, and renewable energy property is reduced from 29% to:

- 26.4% for the 2025 through 2030 property tax years; and
- 25.9% or 26.4% for the 2031 and 2032 property tax years, depending on the increase in the valuation in the 32 counties with the smallest revenue increases.

The assessment rate for renewable energy agricultural land is reduced from 29% to 21.9% for the 2024 through 2032 property tax years.

Beginning with the 2033 property tax year, all of the temporary valuation reductions expire and the valuation of all nonresidential real property is 29% of the actual value of the property.

The valuation of residential real property is based on an assessment rate of 7.15% of actual value, but currently, there are temporary reductions in the valuation. **Section 9** further reduces the valuation of residential real property. For the 2023 property tax year, the valuation is reduced from 6.765% of the amount equal to the actual value minus the lesser of \$15,000 or the amount that causes the valuation to be \$1,000 (alternate amount) to 6.7% of the amount equal to the actual value minus the lesser of \$40,000 or the alternate amount.

For the 2024 property tax year, the valuation is reduced as follows:

- For multi-family residential real property, the valuation is reduced from 6.8% of the actual value to 6.7% of the amount equal to the actual value minus the lesser of \$40,000 or the alternate amount; and
- For all other residential real property, the valuation is reduced from an estimate of 6.98% of the actual value to 6.7% of the amount equal to the actual value minus the lesser of \$40,000 or the alternate amount.

For the 2025 through 2032 property tax years:

- For multi-family residential real property and primary residence real property, including multi-family primary

residence real property, the valuation is reduced from 7.15% of the actual value to 6.7% of the actual value minus the lesser of \$40,000 or the alternate amount;

- For qualified-senior primary residence real property, including multi-family qualified-senior primary residence real property, the valuation is reduced from 7.15% of the actual value to 6.7% of the amount equal to the actual value minus \$140,000 or the alternate amount; and
- For all other residential real property, the assessment rate is reduced from 7.15% to 7.1%.

Beginning with the 2033 property tax year, all of the temporary valuation reductions expire and the valuation of all residential real property is 7.15% of the actual value of the property.

The bill also establishes that all of the temporary reductions in valuation for residential and nonresidential property created in the bill are contingent on the state's ability to retain and spend state surplus up to the proposition HH cap. If, for any reason, excluding a legislative enactment by the general assembly, the state is not permitted to retain and spend this money, then the temporary reductions in the bill do not apply.

Section 11 creates the residential subclass of primary residence real property for owner-occupiers and establishes administrative procedures related to the classification that are based on the procedures for the homestead exemption, with those procedures expanded to treat civil union partners like spouses. **Section 11** also creates the residential subclass of qualified-senior primary residence real property, which is a property with an owner-occupier who previously qualified for the senior homestead exemption for a different property and who does not qualify for the exemption for the current property tax year.

Sections 1, 12, 13, 15, and 16 delay deadlines as necessary due to the valuation changes for the 2023 property tax year.

The state is currently required to reimburse local governmental entities for property tax revenue lost as a result of the reductions in valuation enacted in Senate Bill 22-238. **Section 14** modifies this backfill mechanism by:

- Specifying that the amount of revenue lost for a property tax year is based on a local governmental entity's mill levy for the 2022 property tax year, excluding specified mills;
- Including the additional property tax revenue reductions that result from the bill in the backfill for the 2023 property tax year;
- Eliminating the maximum amount of the backfill for the 2023 property tax year that is a refund of excess state revenues;
- Extending the backfill for the 2024 through 2032 property tax years for the valuation reductions in the bill, but making

- a local governmental entity that has an increase in real property total valuation of 20% or more from the 2022 property tax year ineligible for the backfill;
- Creating the local government backfill cash fund, which includes a \$128 million general fund transfer, and requiring the money from the fund to be used to backfill revenue to local governments beginning with the 2024 property tax year; and
 - Beginning with the 2024 property tax year, proportionally reducing the amount that each eligible local government receives, if necessary to avoid exceeding the total amount that is available for the backfills statewide.

Section 14 also modifies the backfill mechanism to treat cities and counties as counties instead of municipalities, and this change is not contingent on voter-approval of the ballot issue. **Section 18** requires the department of revenue to calculate the amount of excess state revenues that will be refunded for the fiscal year 2022-23 with and without the changes from the bill.

Voter-approved revenue change. If the voters approve the referred ballot issue, then the state will be authorized to retain and spend revenues up to the proposition HH cap, created in **section 3**. For the 2023-24 fiscal year, the proposition HH cap is equal to the excess state revenues cap for the prior fiscal year, adjusted for inflation plus 1% and population changes. Thereafter, the proposition HH cap is equal to the proposition HH cap for the prior fiscal year, adjusted for inflation plus 1% and population changes. The proposition HH cap is also annually adjusted for the qualification or disqualification of enterprises and debt service changes.

If the general assembly does not enact assessment rates for the 2033 property tax year that are the same or lower than the assessment rates for the 2032 property tax year described above, then the proposition HH cap is reduced to be equal to the excess state revenues cap, and the state will retain \$0 under this authority beginning with the 2031-32 fiscal year. Thereafter, the general assembly may partially or wholly restore the proposition HH cap without additional voter approval if the general assembly enacts valuation reductions equal to or greater than those for the 2032 property tax year.

The amount retained under this authority is first used in the following fiscal year to backfill certain local governments for the reduced property tax revenue as a result of the property tax changes in the bill and Senate Bill 22-238, and the remainder is transferred to the state education fund to offset the revenue that school districts lose as a result of the property tax changes. **Section 5** requires the state controller to include the new voter-approved revenue change in the annual report on TABOR revenues.

Sections 2, 4, 10, and 17 make conforming amendments related to the valuation changes and related procedures and the voter-approved revenue changes.

Be it enacted by the General Assembly of the State of Colorado:

SECTION 1. In Colorado Revised Statutes, 22-40-102, **amend** (3) and (6) as follows:

22-40-102. Certification - tax revenues - repeal. (3) (a) The board of education of a school district which had an actual enrollment of more than fifty thousand pupils during the preceding school year may make the certification provided for in subsection (1) of this section no later than December 15.

(b) (I) FOR THE PROPERTY TAX YEAR COMMENCING ON JANUARY 1, 2023, THE DEADLINE SET FORTH IN SUBSECTION (3)(a) OF THIS SECTION IS POSTPONED FROM DECEMBER 15, 2023, TO JANUARY 5, 2024.

(II) THIS SUBSECTION (3)(b) IS REPEALED, EFFECTIVE JULY 1, 2025.

(6) (a) Each school district, with such assistance as may be required from the department of education, shall inform the county treasurer for each county within the district's boundaries no later than December 15 of each year of said district's general fund mill levy in the absence of funds estimated to be received by said district pursuant to the "Public School Finance Act of 1994", article 54 of this ~~title~~ TITLE 22, and the estimated funds to be received for the general fund of the district from the state.

(b) (I) FOR THE PROPERTY TAX YEAR COMMENCING ON JANUARY 1, 2023, THE DEADLINE SET FORTH IN SUBSECTION (6)(a) OF THIS SECTION IS POSTPONED FROM DECEMBER 15, 2023, TO JANUARY 5, 2024.

(II) THIS SUBSECTION (6)(b) IS REPEALED, EFFECTIVE JULY 1, 2025.

1 (3) "EXCESS STATE REVENUES CAP" HAS THE SAME MEANING AS
2 SET FORTH IN SECTION 24-77-103.6 (6)(b).

3 (4) "STATE REVENUES" MEANS STATE REVENUES NOT EXCLUDED
4 FROM STATE FISCAL YEAR SPENDING, AS DEFINED IN SECTION 24-77-102
5 (17).

6 (5) "STATE SURPLUS" MEANS THE AMOUNT OF STATE REVENUES
7 THAT EXCEED THE EXCESS STATE REVENUES CAP FOR A GIVEN STATE
8 FISCAL YEAR.

9 **24-77-202. Submission of ballot issue - voter-approved**
10 **revenue change.** (1) AT THE ELECTION HELD ON NOVEMBER 7, 2023, THE
11 SECRETARY OF STATE SHALL SUBMIT TO THE REGISTERED ELECTORS OF
12 THE STATE FOR THEIR APPROVAL OR REJECTION THE FOLLOWING BALLOT
13 ISSUE: "SHALL THE STATE REDUCE PROPERTY TAXES FOR HOMES AND
14 BUSINESSES, INCLUDING EXPANDING PROPERTY TAX RELIEF FOR SENIORS,
15 AND BACKFILL COUNTIES, _____ WATER DISTRICTS, FIRE DISTRICTS,
16 AMBULANCE AND HOSPITAL DISTRICTS, AND OTHER LOCAL GOVERNMENTS
17 AND FUND SCHOOL DISTRICTS BY USING A PORTION OF THE STATE SURPLUS
18 UP TO THE PROPOSITION HH CAP AS DEFINED IN THIS MEASURE?"

19 (2) FOR PURPOSES OF SECTION 1-5-407, THE BALLOT ISSUE IS A
20 PROPOSITION TO BE IDENTIFIED AS "PROPOSITION HH". SECTION 1-40-106
21 (3)(d) DOES NOT APPLY TO THE BALLOT ISSUE.

22 **24-77-203. Retention of excess state revenues - transfer to state**
23 **education fund - local government reimbursement - legislative**
24 **declaration.** (1) (a) IF A MAJORITY OF THE ELECTORS VOTING ON THE
25 BALLOT ISSUE VOTE "YES/FOR", THEN FOR EACH FISCAL YEAR
26 COMMENCING ON OR AFTER JULY 1, 2023, THE STATE IS AUTHORIZED TO
27 RETAIN AND SPEND ALL OF THE STATE SURPLUS THAT IS LESS THAN THE

1 PROPOSITION HH CAP, WHICH IS:

2 (I) FOR THE 2023-24 FISCAL YEAR, AN AMOUNT EQUAL TO THE
3 EXCESS STATE REVENUES CAP FOR THE 2022-23 FISCAL YEAR, ADJUSTED
4 FOR INFLATION PLUS ONE PERCENTAGE POINT, THE PERCENTAGE CHANGE
5 IN STATE POPULATION, THE QUALIFICATION OR DISQUALIFICATION OF
6 ENTERPRISES, AND DEBT SERVICE CHANGES; AND

7 (II) FOR THE FISCAL YEAR 2024-25 AND EACH SUCCEEDING FISCAL
8 YEAR, AN AMOUNT EQUAL TO THE PROPOSITION HH CAP FOR THE PRIOR
9 FISCAL YEAR, ADJUSTED FOR INFLATION PLUS ONE PERCENTAGE POINT, THE
10 PERCENTAGE CHANGE IN STATE POPULATION, THE QUALIFICATION OR
11 DISQUALIFICATION OF ENTERPRISES, AND DEBT SERVICE CHANGES.

12 (b) (I) NOTWITHSTANDING SUBSECTION (1)(a) OF THIS SECTION
13 AND EXCEPT AS OTHERWISE PROVIDED IN SUBSECTION (1)(b)(II) OF THIS
14 SECTION, IF THE GENERAL ASSEMBLY DOES NOT ENACT LEGISLATION TO
15 ESTABLISH VALUATIONS FOR ASSESSMENT FOR THE PROPERTY TAX YEARS
16 COMMENCING ON AND AFTER JANUARY 1, 2033, THAT ARE LESS THAN OR
17 EQUAL TO THE TEMPORARILY REDUCED VALUATIONS FOR ASSESSMENT
18 ESTABLISHED IN SECTIONS 39-1-104 (1)(b)(V), (1.8)(a)(III), (1.8)(a)(IV),
19 AND (1.8)(b)(VI) AND 39-1-104.2 (3)(q)(II) AND (3)(r)(IV) IN THIS
20 SENATE BILL 23-____ FOR THE PROPERTY TAX YEAR COMMENCING ON
21 JANUARY 1, 2032, FOR THE SAME CLASSES OF PROPERTY, THEN, FOR THE
22 FISCAL YEAR COMMENCING ON JULY 1, 2032, AND EACH FISCAL YEAR
23 THEREAFTER, THE PROPOSITION HH CAP IS AN AMOUNT EQUAL TO THE
24 EXCESS STATE REVENUES CAP.

25 (II) IF THE PROPOSITION HH CAP IS REDUCED BY OPERATION OF
26 SUBSECTION (1)(b)(I) OF THIS SECTION, THE GENERAL ASSEMBLY MAY,
27 WITHOUT ADDITIONAL VOTER APPROVAL, ENACT LEGISLATION TO RESTORE

1 THE CAP FOR A FISCAL YEAR TO AN AMOUNT THAT IS LESS THAN OR EQUAL
2 TO THE AMOUNT THAT THE PROPOSITION HH CAP WOULD HAVE BEEN FOR
3 THE FISCAL YEAR UNDER SUBSECTION (1)(a)(II) OF THIS SECTION IF
4 SUBSECTION (1)(b)(I) OF THIS SECTION HAD NOT APPLIED IF, FOR THE
5 PROPERTY TAX YEAR THAT ENDS DURING THE FISCAL YEAR, THE GENERAL
6 ASSEMBLY:

7 (A) ESTABLISHES VALUATIONS FOR ASSESSMENT THAT ARE LESS
8 THAN OR EQUAL TO THE TEMPORARILY REDUCED VALUATIONS FOR
9 ASSESSMENT ESTABLISHED IN SECTIONS 39-1-104 (1)(b)(V), (1.8)(a)(III),
10 (1.8)(a)(IV), AND (1.8)(b)(VI) AND 39-1-104.2 (3)(q)(II) AND (3)(r)(IV)
11 IN THIS SENATE BILL 23-____ FOR THE PROPERTY TAX YEAR COMMENCING
12 ON JANUARY 1, 2032, FOR THE SAME CLASSES OF PROPERTY; OR

13 (B) REDUCES THE VALUATIONS FOR ASSESSMENT DIFFERENTLY
14 FROM THE VALUATIONS FOR ASSESSMENT ESTABLISHED IN THIS SENATE
15 BILL 23-____, BUT THE AGGREGATE REDUCTION IN THE VALUATION FOR
16 ASSESSMENT STATEWIDE FROM THE REDUCTIONS IS GREATER THAN OR
17 EQUAL TO THE ESTIMATED AGGREGATE REDUCTION IN THE VALUATION FOR
18 ASSESSMENTS FROM THE MINIMUM REDUCTIONS IN VALUATION FOR
19 ASSESSMENT NECESSARY TO MEET THE CONDITION SPECIFIED IN
20 SUBSECTION (1)(b)(II)(A) OF THIS SECTION.

21 (c) FOR PURPOSES OF THE CALCULATION SET FORTH IN THIS
22 SUBSECTION (1):

23 (I) INFLATION AND THE PERCENTAGE CHANGE IN STATE
24 POPULATION ARE THE SAME RATES THAT ARE USED IN CALCULATING THE
25 MAXIMUM ANNUAL PERCENTAGE CHANGE IN STATE FISCAL YEAR SPENDING
26 PURSUANT TO SECTION 24-77-103; AND

27 (II) THE QUALIFICATION OR DISQUALIFICATION OF AN ENTERPRISE

1 OR A DEBT SERVICE CHANGE AFFECTS THE PROPOSITION HH CAP IN THE
2 SAME MANNER AS THE CHANGE AFFECTS THE LIMITATION ON STATE FISCAL
3 YEAR SPENDING.

4 (2) THIS SECTION DOES NOT AFFECT THE AMOUNT THAT THE STATE
5 IS PERMITTED TO RETAIN AND SPEND UNDER THE AUTHORITY CONFERRED
6 BY THE VOTERS' APPROVAL OF SECTION 24-77-103.6.

7 (3) (a) THE PROPOSITION HH GENERAL FUND EXEMPT ACCOUNT IS
8 HEREBY CREATED IN THE GENERAL FUND. THE ACCOUNT CONSISTS OF AN
9 AMOUNT EQUAL TO THE AMOUNT OF STATE SURPLUS THAT THE STATE IS
10 AUTHORIZED TO RETAIN AND SPEND UNDER THIS PART 2 FOR THE PRIOR
11 FISCAL YEAR, IF ANY. THE STATE TREASURER SHALL CREDIT ALL INTEREST
12 AND INCOME DERIVED FROM THE DEPOSIT AND INVESTMENT OF MONEY IN
13 THE PROPOSITION HH GENERAL FUND EXEMPT ACCOUNT TO THE ACCOUNT.

14 (b) THE MONEY IN THE ACCOUNT FOR EACH FISCAL YEAR
15 BEGINNING WITH THE 2023-24 FISCAL YEAR MUST BE USED AS FOLLOWS:

16 (I) THE MONEY IS FIRST USED TO PROVIDE REIMBURSEMENTS TO
17 LOCAL GOVERNMENTS UNDER SECTION 39-3-210 (4)(a)(II); AND

18 (II) AS SOON AS POSSIBLE AFTER RECEIVING THE REPORT FROM THE
19 PROPERTY TAX ADMINISTRATOR IN ACCORDANCE WITH SECTION 39-3-210
20 (3), THE STATE TREASURER SHALL TRANSFER THE AMOUNT, IF ANY, IN THE
21 ACCOUNT THAT IS IN EXCESS OF THE AMOUNT THAT WILL BE USED IN
22 ACCORDANCE WITH SUBSECTION (3)(b)(I) OF THIS SECTION TO THE STATE
23 EDUCATION FUND CREATED IN SECTION 17 OF ARTICLE IX OF THE STATE
24 CONSTITUTION.

25 (4) THE GENERAL ASSEMBLY HEREBY FINDS AND DECLARES THAT:

26 (a) PUBLIC SCHOOL FUNDING CONSISTS OF A COMBINATION OF
27 STATE AND LOCAL SCHOOL DISTRICT REVENUE;

1 (b) UNDER THE CURRENT SCHOOL FINANCE FORMULA, AN
2 INCREASE IN STATE FUNDING CAN BACKFILL A DECREASE IN LOCAL
3 PROPERTY TAX REVENUE;

4 (c) REDUCTIONS IN PROPERTY TAX VALUATIONS REDUCE THE
5 LOCAL PROPERTY TAX REVENUE COLLECTED FOR LOCAL GOVERNMENTS,
6 INCLUDING SCHOOL DISTRICTS;

7 (d) MONEY IN THE STATE EDUCATION FUND IS USED TO PROVIDE
8 FUNDING FOR LOCAL SCHOOL DISTRICTS; AND

9 (e) IT IS THE INTENT OF THE GENERAL ASSEMBLY THAT
10 TRANSFERRING A PORTION OF THE MONEY FROM THE ACCOUNT TO THE
11 STATE EDUCATION FUND IN ACCORDANCE WITH SUBSECTION (3) OF THIS
12 SECTION PROVIDES ADDITIONAL FUNDING TO LOCAL SCHOOL DISTRICTS IN
13 ORDER TO BACKFILL PROPERTY TAX REVENUE REDUCTIONS RESULTING
14 FROM PROPERTY TAX CHANGES ENACTED IN THIS SENATE BILL 23-____.

15 **24-77-204. Repeal.** (1) IF A MAJORITY OF THE ELECTORS VOTING
16 ON THE BALLOT ISSUE VOTE "NO/AGAINST", THEN THIS PART 2 IS
17 REPEALED, EFFECTIVE JULY 1, 2024.

18 (2) IF A MAJORITY OF THE ELECTORS VOTING ON THE BALLOT ISSUE
19 VOTE "YES/FOR", THEN THIS SECTION IS REPEALED, EFFECTIVE JULY 1,
20 2024.

21 **SECTION 4.** In Colorado Revised Statutes, 22-55-103, **amend**
22 (1) as follows:

23 **22-55-103. State education fund - creation - transfers to fund**
24 **- use of money in fund - permitted investments - exempt from**
25 **spending limitations.** (1) In accordance with section 17 (4) of article IX
26 of the state constitution, there is hereby created in the state treasury the
27 state education fund. The fund ~~shall consist~~ CONSISTS of state education

1 fund revenues, MONEY TRANSFERRED TO THE FUND IN ACCORDANCE WITH
2 SECTION 24-77-203 (3)(b)(II), all interest and income earned on the
3 deposit and investment of ~~moneys~~ MONEY in the fund, and any gifts or
4 other ~~moneys~~ MONEY that are exempt from the limitation on state fiscal
5 year spending set forth in section 20 (7)(a) of article X of the state
6 constitution and section 24-77-103 ~~C.R.S.~~, that may be credited to the
7 fund. All interest and income derived from the deposit and investment of
8 ~~moneys~~ MONEY in the fund ~~shall be~~ ARE credited to the fund. At the end
9 of any state fiscal year, all unexpended and unencumbered ~~moneys~~
10 MONEY in the fund ~~shall remain~~ REMAINS in the fund and shall not revert
11 to the general fund or any other fund.

12 **SECTION 5.** In Colorado Revised Statutes, 24-77-106.5, **amend**
13 (1) as follows:

14 **24-77-106.5. Annual financial report - certification of excess**
15 **state revenues.** (1) (a) For each fiscal year, the controller shall prepare
16 a financial report for the state for purposes of ascertaining compliance
17 with the provisions of this article. Any financial report prepared pursuant
18 to this section shall include, but shall not be limited to, state fiscal year
19 spending, reserves, revenues, revenues that the state is authorized to
20 retain and spend pursuant to voter approval of section 24-77-103.6 OR
21 PURSUANT TO PART 2 OF THIS ARTICLE 77, and debt. ~~Such~~ THE financial
22 report shall be audited by the state auditor.

23 (b) Notwithstanding section 24-1-136 (11)(a)(I), based upon the
24 financial report prepared in accordance with subsection (1)(a) of this
25 section for any given fiscal year, the controller shall certify to the
26 governor, the general assembly, and the executive director of the
27 department of revenue no later than September 1 following the end of a

1 fiscal year the amount of state revenues in excess of the limitation on
2 state fiscal year spending imposed by section 20 (7)(a) of article X of the
3 state constitution, if any, for such fiscal year and the state revenues in
4 excess of such limitation that the state is authorized to retain and spend
5 pursuant to voter approval of section 24-77-103.6 OR PURSUANT TO PART
6 2 OF THIS ARTICLE 77.

7 **SECTION 6.** In Colorado Revised Statutes, **add** 29-1-306 as
8 follows:

9 **29-1-306. Limitation on property tax revenue - temporary**
10 **property tax credit - governing body override - notice - definitions.**

11 (1) AS USED IN THIS SECTION, UNLESS THE CONTEXT OTHERWISE
12 REQUIRES:

13 (a) "INFLATION" MEANS THE ANNUAL PERCENTAGE CHANGE IN THE
14 UNITED STATES DEPARTMENT OF LABOR'S BUREAU OF LABOR STATISTICS
15 CONSUMER PRICE INDEX FOR DENVER-AURORA-LAKEWOOD FOR ALL
16 ITEMS PAID BY ALL URBAN CONSUMERS, OR ITS APPLICABLE SUCCESSOR
17 INDEX.

18 (b) "LOCAL GOVERNMENT" MEANS A GOVERNMENTAL ENTITY
19 AUTHORIZED BY LAW TO IMPOSE AD VALOREM TAXES ON TAXABLE
20 PROPERTY LOCATED WITHIN ITS TERRITORIAL LIMITS; EXCEPT THAT THE
21 TERM EXCLUDES SCHOOL DISTRICTS AND ANY COUNTY, CITY AND COUNTY,
22 CITY, OR TOWN THAT HAS ADOPTED A HOME RULE CHARTER.

23 (c) "PROPERTY TAX LIMIT" MEANS THE LIMIT ESTABLISHED IN
24 SUBSECTION (2) OF THIS SECTION ON A LOCAL GOVERNMENT'S PROPERTY
25 TAX REVENUE FOR A PROPERTY TAX YEAR.

26 (2) (a) FOR PROPERTY TAX YEARS COMMENCING ON AND AFTER
27 JANUARY 1, 2023, A LOCAL GOVERNMENT'S PROPERTY TAX REVENUE FOR

1 A PROPERTY TAX YEAR SHALL NOT INCREASE BY MORE THAN INFLATION
2 FROM THE LOCAL GOVERNMENT'S PROPERTY TAX REVENUE FOR THE PRIOR
3 PROPERTY TAX YEAR, UNLESS THE GOVERNING BODY OF THE LOCAL
4 GOVERNMENT APPROVES THE INCREASE IN ACCORDANCE WITH
5 SUBSECTION (4) OF THIS SECTION. THE GOVERNING BODY MAY ENACT A
6 TEMPORARY PROPERTY TAX CREDIT THAT IS UP TO THE NUMBER OF MILLS
7 NECESSARY TO PREVENT THE LOCAL GOVERNMENT'S PROPERTY TAX
8 REVENUE FROM EXCEEDING THIS PROPERTY TAX LIMIT.

9 (b) THE LIMIT SET FORTH IN SUBSECTION (2)(a) OF THIS SECTION
10 IS BASED ON THE UNITED STATES DEPARTMENT OF LABOR'S BUREAU OF
11 LABOR STATISTICS MOST RECENTLY PUBLISHED ESTIMATE OF INFLATION
12 FOR THE PRIOR CALENDAR YEAR THAT IS AVAILABLE AS OF DECEMBER 15
13 OF THE PROPERTY TAX YEAR FOR WHICH THE LIMIT IS BEING CALCULATED.

14 (3) (a) FOR PURPOSES OF CALCULATING THE PROPERTY TAX LIMIT,
15 PROPERTY TAX REVENUE THAT IS FROM THE FOLLOWING SOURCES OR IS
16 USED FOR THE FOLLOWING PURPOSES IS EXCLUDED FROM PROPERTY TAX
17 REVENUE FOR THE PROPERTY TAX YEAR:

18 (I) PROPERTY TAX REVENUE FROM THE INCREASED VALUATION FOR
19 ASSESSMENT WITHIN THE TAXING ENTITY FOR THE PRECEDING YEAR THAT
20 IS ATTRIBUTABLE TO NEW CONSTRUCTION AND PERSONAL PROPERTY
21 CONNECTED THEREWITH, AS DEFINED BY THE PROPERTY TAX
22 ADMINISTRATOR IN MANUALS PREPARED PURSUANT TO SECTION 39-2-109
23 (1)(e);

24 (II) PROPERTY TAX REVENUE FROM THE INCREASED VALUATION
25 FOR ASSESSMENT ATTRIBUTABLE TO A CHANGE IN LAW FOR A PROPERTY
26 TAX CLASSIFICATION OR TO THE ANNEXATION OR INCLUSION OF
27 ADDITIONAL LAND, THE IMPROVEMENTS THEREON, AND PERSONAL

1 PROPERTY CONNECTED THEREWITH WITHIN THE TAXING ENTITY FOR THE
2 PRECEDING YEAR;

3 (III) PROPERTY TAX REVENUE FOR PROPERTY THAT HAD
4 PREVIOUSLY BEEN OMITTED FROM THE ASSESSMENT ROLL;

5 (IV) PROPERTY TAX REVENUE ABATED OR REFUNDED BY THE
6 LOCAL GOVERNMENT DURING THE PROPERTY TAX YEAR;

7 (V) PROPERTY TAX REVENUE ATTRIBUTABLE TO PREVIOUSLY
8 LEGALLY EXEMPT FEDERAL PROPERTY THAT BECOMES TAXABLE IF SUCH
9 PROPERTY CAUSES AN INCREASE IN THE LEVEL OF SERVICES PROVIDED BY
10 THE LOCAL GOVERNMENT; AND

11 (VI) ANY AMOUNT FOR THE PAYMENT OF EXPENSES INCURRED IN
12 THE REAPPRAISAL OF CLASSES OR SUBCLASSES ORDERED OR CONDUCTED
13 BY THE STATE BOARD OF EQUALIZATION FOR THE PAYMENT TO THE STATE
14 OF EXCESS STATE EQUALIZATION PAYMENTS TO SCHOOL DISTRICTS, WHICH
15 EXCESS IS DUE TO THE UNDERVALUATION OF TAXABLE PROPERTY.

16 (b) FOR PURPOSES OF CALCULATING THE PROPERTY TAX LIMIT,
17 PROPERTY TAX REVENUE THAT IS FROM THE FOLLOWING SOURCES OR IS
18 USED FOR THE FOLLOWING PURPOSES IS EXCLUDED FROM PROPERTY TAX
19 REVENUE FOR THE PROPERTY TAX YEAR AND THE PRIOR PROPERTY TAX
20 YEAR:

21 (I) PROPERTY TAX REVENUE FROM PRODUCING MINES OR LANDS OR
22 LEASEHOLDS PRODUCING OIL OR GAS; AND

23 (II) AN AMOUNT TO PROVIDE FOR THE PAYMENT OF BONDS AND
24 INTEREST THEREON, OR FOR THE PAYMENT OF ANY OTHER CONTRACTUAL
25 OBLIGATION THAT HAS BEEN APPROVED BY A MAJORITY OF THE LOCAL
26 GOVERNMENT'S VOTERS VOTING THEREON AT ANY ELECTION HELD
27 BEFORE, ON, OR AFTER NOVEMBER 7, 2023; AND

1 (III) ANY REVENUE FROM A MILL LEVY THAT HAS BEEN APPROVED
2 BY VOTERS OF THE LOCAL GOVERNMENT AT ANY ELECTION HELD BEFORE,
3 ON, OR AFTER NOVEMBER 7, 2023.

4 (c) A TEMPORARY PROPERTY TAX CREDIT CREATED UNDER
5 SUBSECTION (2) OF THIS SECTION DOES NOT CHANGE THE UNDERLYING
6 MILL LEVY IMPOSED BY A LOCAL GOVERNMENT. REDUCING OR
7 ELIMINATING A TEMPORARY PROPERTY TAX CREDIT DOES NOT REQUIRE
8 PRIOR VOTER APPROVAL UNDER SECTION 20 (4)(a) OF ARTICLE X OF THE
9 STATE CONSTITUTION.

10 (4) A LOCAL GOVERNMENT MAY IMPOSE A MILL LEVY THAT WOULD
11 EXCEED THE PROPERTY TAX LIMIT IF THE FOLLOWING PROCEDURES ARE
12 FOLLOWED:

13 (a) THE GOVERNING BODY OF THE LOCAL GOVERNMENT MUST
14 PUBLISH NOTICE OF ITS PROPOSED INTENT TO EXCEED THE PROPERTY TAX
15 LIMIT IN A NEWSPAPER IN EACH COUNTY IN WHICH THE LOCAL
16 GOVERNMENT IS LOCATED AND ON THE WEBSITE OF THE GOVERNING BODY,
17 IF THE GOVERNING BODY MAINTAINS A WEBSITE, AT LEAST TEN DAYS IN
18 ADVANCE OF THE PUBLIC HEARING AT WHICH THE MILL LEVY IS TO BE
19 APPROVED;

20 (b) THE NOTICE MUST INCLUDE:

21 (I) THE PROPOSED MILL LEVY IF THE GOVERNING BODY APPROVES
22 A MILL LEVY THAT WOULD EXCEED THE PROPERTY TAX LIMIT;

23 (II) ANY TEMPORARY PROPERTY TAX CREDITS; AND

24 (III) THE DATE, TIME, AND LOCATION OF THE PUBLIC HEARING;

25 (c) THE GOVERNING BODY OF THE LOCAL GOVERNMENT MUST
26 PROVIDE THE PUBLIC AN OPPORTUNITY TO PRESENT ORAL TESTIMONY AT
27 AN OPEN MEETING WITHIN REASONABLE TIME LIMITS AND WITHOUT AN

1 UNREASONABLE RESTRICTION ON THE NUMBER OF INDIVIDUALS ALLOWED
2 TO MAKE PUBLIC COMMENT; AND

3 (d) THE GOVERNING BODY OF THE LOCAL GOVERNMENT MUST
4 ADOPT A RESOLUTION OR ORDINANCE TO APPROVE A MILL LEVY THAT
5 EXCEEDS THE PROPERTY TAX LIMIT AT THE PUBLIC HEARING AFTER THE
6 GOVERNING BODY HAS HEARD FROM INTERESTED TAXPAYERS.

7 (5) THE FINAL DECISION BY A GOVERNING BODY TO IMPOSE A MILL
8 LEVY THAT EXCEEDS THE PROPERTY TAX LIMIT IN ACCORDANCE WITH THE
9 PROCEDURES SET FORTH IN SUBSECTION (4) OF THIS SECTION IS DEEMED TO
10 BE FINAL AND CONCLUSIVE AND IS NOT SUBJECT TO APPEAL TO COURT.

11 (6) IF A LOCAL GOVERNMENT EXCEEDS THE PROPERTY TAX LIMIT
12 FOR A PROPERTY TAX YEAR AND DOES NOT COMPLY WITH SUBSECTION (4)
13 OF THIS SECTION, THEN THE LOCAL GOVERNMENT SHALL REFUND TO
14 TAXPAYERS ANY PROPERTY TAXES COLLECTED ABOVE THE PROPERTY TAX
15 LIMIT.

16 **SECTION 7.** In Colorado Revised Statutes, 39-1-103, **add** (5)(g)
17 as follows:

18 **39-1-103. Actual value determined - when - legislative**
19 **declaration.** (5) (g) THE ACTUAL VALUE OF RENEWABLE ENERGY
20 AGRICULTURAL LAND IS BASED ON THE WASTE LAND SUBCLASS
21 VALUATION FORMULA PROVIDED BY THE ADMINISTRATOR. IF ANY PORTION
22 OF THE LAND IS USED FOR NONAGRICULTURAL COMMERCIAL OR
23 NONAGRICULTURAL RESIDENTIAL PURPOSES, THAT PORTION IS VALUED
24 ACCORDING TO THE USE, AS REQUIRED BY SUBSECTION (5)(a) OF THIS
25 SECTION.

26 **SECTION 8.** In Colorado Revised Statutes, 39-1-104, **amend** (1),
27 (1.6)(c), and (1.8); and **add** (1.9) as follows:

1 **39-1-104. Valuation for assessment - definitions.**

2 (1) (a) EXCEPT AS SET FORTH IN SUBSECTION (1)(b) OF THIS SECTION, the
3 valuation for assessment of ~~all taxable property~~ REAL AND PERSONAL
4 PROPERTY THAT IS CLASSIFIED AS LODGING PROPERTY in the state ~~shall be~~
5 IS twenty-nine percent of the actual value thereof. ~~as determined by the~~
6 ~~assessor and the administrator in the manner prescribed by law, and that~~
7 ~~percentage shall be uniformly applied, without exception, to the actual~~
8 ~~value, so determined, of the real and personal property located within the~~
9 ~~territorial limits of the authority levying a property tax, and all property~~
10 ~~taxes shall be levied against the aggregate valuation for assessment~~
11 ~~resulting from the application of that percentage.~~

12 (b) (I) ~~Notwithstanding subsection (1)(a) of this section,~~ For the
13 property tax year commencing on January 1, 2023, the valuation for
14 assessment of nonresidential property that is classified as lodging
15 property is temporarily reduced to ~~twenty-seven and nine-tenths~~
16 TWENTY-SEVEN AND EIGHTY-FIVE ONE-HUNDREDTHS percent of an
17 amount equal to the actual value minus the lesser of thirty thousand
18 dollars or the amount that ~~reduces~~ CAUSES the valuation for assessment
19 to BE one thousand dollars.

20 (II) FOR THE PROPERTY TAX YEARS COMMENCING ON AND AFTER
21 JANUARY 1, 2024, BUT BEFORE JANUARY 1, 2027, THE VALUATION FOR
22 ASSESSMENT OF REAL AND PERSONAL PROPERTY THAT IS CLASSIFIED AS
23 LODGING PROPERTY IS TEMPORARILY REDUCED TO TWENTY-SEVEN AND
24 EIGHTY-FIVE ONE-HUNDREDTHS PERCENT OF THE ACTUAL VALUE THEREOF.

25 (III) FOR THE PROPERTY TAX YEARS COMMENCING ON JANUARY 1,
26 2027, AND JANUARY 1, 2028, THE VALUATION FOR ASSESSMENT OF REAL
27 AND PERSONAL PROPERTY THAT IS CLASSIFIED AS LODGING PROPERTY IS

1 TEMPORARILY REDUCED TO TWENTY-SEVEN AND SIXTY-FIVE
2 ONE-HUNDREDTHS PERCENT OF THE ACTUAL VALUE THEREOF.

3 (IV) FOR THE PROPERTY TAX YEARS COMMENCING ON JANUARY 1,
4 2029, AND JANUARY 1, 2030, THE VALUATION FOR ASSESSMENT OF REAL
5 AND PERSONAL PROPERTY THAT IS CLASSIFIED AS LODGING PROPERTY IS
6 TEMPORARILY REDUCED TO TWENTY-SIX AND NINE-TENTHS PERCENT OF
7 THE ACTUAL VALUE THEREOF.

8 (V) FOR THE PROPERTY TAX YEARS COMMENCING ON JANUARY 1,
9 2031, AND JANUARY 1, 2032, THE VALUATION FOR ASSESSMENT OF REAL
10 AND PERSONAL PROPERTY THAT IS CLASSIFIED AS LODGING PROPERTY IS
11 TEMPORARILY REDUCED TO:

12 (A) TWENTY-FIVE AND NINE-TENTHS PERCENT OF THE ACTUAL
13 VALUE THEREOF, IF, FOR THE PROPERTY TAX YEAR COMMENCING ON
14 JANUARY 1, 2031, THE AVERAGE INCREASE IN TOTAL VALUATION FOR
15 ASSESSMENT OF TAXABLE REAL PROPERTY WITHIN THE THIRTY-TWO
16 COUNTIES WITH THE SMALLEST INCREASES IN TOTAL VALUATION IS
17 GREATER THAN OR EQUAL TO THREE AND SEVEN-TENTHS PERCENT FROM
18 THE PRIOR PROPERTY TAX YEAR; OR

19 (B) TWENTY-SIX AND NINE-TENTHS PERCENT OF THE ACTUAL
20 VALUE THEREOF, IF, FOR THE PROPERTY TAX YEAR COMMENCING ON
21 JANUARY 1, 2031, THE AVERAGE INCREASE IN TOTAL VALUATION FOR
22 ASSESSMENT OF TAXABLE REAL PROPERTY WITHIN THE THIRTY-TWO
23 COUNTIES WITH THE SMALLEST INCREASES IN TOTAL VALUATION IS LESS
24 THAN THREE AND SEVEN-TENTHS PERCENT FROM THE PRIOR PROPERTY TAX
25 YEAR.

26 (c) ~~This subsection (1) only applies to nonresidential property that~~
27 ~~is classified as lodging property.~~

1 (1.6) (c) Real and personal agricultural property is a subclass of
2 nonresidential property for purposes of the valuation for assessment.
3 REAL PROPERTY THAT IS CLASSIFIED AS AGRICULTURAL LAND THAT
4 CONTAINS A RENEWABLE ENERGY FACILITY, AS DESCRIBED IN SECTION
5 39-4-102 (1.5), IF THE LAND WAS CLASSIFIED BY THE ASSESSOR AS
6 AGRICULTURAL LAND AT THE TIME THE FACILITY WAS CONSTRUCTED
7 UNDER SECTION 39-1-102 (1.6)(a), IS CLASSIFIED AS RENEWABLE ENERGY
8 AGRICULTURAL PROPERTY, WHICH IS A SUBCLASS OF AGRICULTURAL
9 PROPERTY FOR PURPOSES OF THE VALUATION FOR ASSESSMENT. THIS
10 CLASSIFICATION APPLIES FOR A PROPERTY TAX YEAR THAT THE REAL
11 PROPERTY IS STILL USED FOR AGRICULTURAL PURPOSES AND TO THE
12 PORTION OF THE LAND THAT IS ATTRIBUTABLE TO OR USED IN
13 CONJUNCTION WITH THE RENEWABLE ENERGY FACILITY.

14 (1.8) (a) The valuation for assessment of real and personal
15 property that is classified as agricultural property or renewable energy
16 production property is twenty-nine percent of the actual value thereof;
17 except that THE VALUATION FOR ASSESSMENT OF THIS PROPERTY IS
18 TEMPORARILY REDUCED AS FOLLOWS:

19 (I) For THE property tax years commencing on January 1, 2022,
20 AND January 1, 2023, and January 1, 2024, the valuation for assessment
21 of this property is ~~temporarily reduced to~~ twenty-six and four-tenths
22 percent of the actual value thereof;

23 (II) FOR THE PROPERTY TAX YEARS COMMENCING ON AND AFTER
24 JANUARY 1, 2024, BUT BEFORE JANUARY 1, 2031, THE VALUATION FOR
25 ASSESSMENT OF THIS PROPERTY, EXCLUDING RENEWABLE ENERGY
26 AGRICULTURAL LAND, IS TWENTY-SIX AND FOUR-TENTHS PERCENT OF THE
27 ACTUAL VALUE THEREOF;

1 (III) FOR THE PROPERTY TAX YEARS COMMENCING ON JANUARY 1,
2 2031, AND JANUARY 1, 2032, THE VALUATION FOR ASSESSMENT OF THIS
3 PROPERTY, EXCLUDING RENEWABLE ENERGY AGRICULTURAL LAND, IS:

4 (A) TWENTY-FIVE AND NINE-TENTHS PERCENT OF THE ACTUAL
5 VALUE THEREOF, IF, FOR THE PROPERTY TAX YEAR COMMENCING ON
6 JANUARY 1, 2031, THE AVERAGE INCREASE IN TOTAL VALUATION FOR
7 ASSESSMENT OF TAXABLE REAL PROPERTY WITHIN THE THIRTY-TWO
8 COUNTIES WITH THE SMALLEST INCREASES IN TOTAL VALUATION IS
9 GREATER THAN OR EQUAL TO THREE AND SEVEN-TENTHS PERCENT FROM
10 THE PRIOR PROPERTY TAX YEAR; OR

11 (B) TWENTY-SIX AND FOUR-TENTHS PERCENT OF THE ACTUAL
12 VALUE THEREOF, IF, FOR THE PROPERTY TAX YEAR COMMENCING ON
13 JANUARY 1, 2031, THE AVERAGE INCREASE IN TOTAL VALUATION FOR
14 ASSESSMENT OF TAXABLE REAL PROPERTY WITHIN THE THIRTY-TWO
15 COUNTIES WITH THE SMALLEST INCREASES IN TOTAL VALUATION IS LESS
16 THAN THREE AND SEVEN-TENTHS PERCENT FROM THE PRIOR PROPERTY TAX
17 YEAR; AND

18 (IV) FOR THE PROPERTY TAX YEARS COMMENCING ON AND AFTER
19 JANUARY 1, 2024, BUT BEFORE JANUARY 1, 2033, THE VALUATION FOR
20 ASSESSMENT OF RENEWABLE ENERGY AGRICULTURAL LAND IS
21 TWENTY-ONE AND NINE-TENTHS PERCENT OF THE ACTUAL VALUE
22 THEREOF.

23 (b) The valuation for assessment of all nonresidential property that
24 is not specified in subsection (1) or (1.8)(a) of this section is twenty-nine
25 percent of the actual value thereof; except that ~~for the property tax year~~
26 ~~commencing on January 1, 2023~~, the valuation for assessment of this
27 property is temporarily reduced to:

1 (I) FOR THE PROPERTY TAX YEAR COMMENCING ON JANUARY 1,
2 2023, for all of the property listed by the assessor under any improved
3 commercial subclass codes, twenty-seven and ~~nine-tenths~~ EIGHTY-FIVE
4 ONE-HUNDREDTHS percent of an amount equal to the actual value minus
5 the lesser of thirty thousand dollars or the amount that ~~reduces~~ CAUSES the
6 valuation for assessment to BE one thousand dollars; ~~and~~

7 (II) FOR THE PROPERTY TAX YEAR COMMENCING ON JANUARY 1,
8 2023, twenty-seven and ~~nine-tenths~~ EIGHTY-FIVE ONE-HUNDREDTHS
9 percent of the actual value of all other nonresidential property that is not
10 specified in ~~subsections~~ SUBSECTION (1), (1.8)(a), ~~and~~ OR (1.8)(b)(I) of
11 this section;

12 (III) FOR THE PROPERTY TAX YEARS COMMENCING ON AND AFTER
13 JANUARY 1, 2024, BUT BEFORE JANUARY 1, 2027, TWENTY-SEVEN AND
14 EIGHTY-FIVE ONE-HUNDREDTHS PERCENT OF THE ACTUAL VALUE OF ALL
15 OTHER NONRESIDENTIAL PROPERTY THAT IS NOT SPECIFIED IN SUBSECTION
16 (1) OR (1.8)(a) OF THIS SECTION OR THAT IS NOT UNDER A VACANT LAND
17 SUBCLASS;

18 (IV) FOR THE PROPERTY TAX YEARS COMMENCING ON JANUARY 1,
19 2027, AND JANUARY 1, 2028, TWENTY-SEVEN AND SIXTY-FIVE
20 ONE-HUNDREDTHS PERCENT OF THE ACTUAL VALUE OF ALL OTHER
21 NONRESIDENTIAL PROPERTY THAT IS NOT SPECIFIED IN SUBSECTION (1) OR
22 (1.8)(a) OF THIS SECTION OR THAT IS NOT UNDER A VACANT LAND
23 SUBCLASS;

24 (V) FOR THE PROPERTY TAX YEARS COMMENCING ON JANUARY 1,
25 2029, AND JANUARY 1, 2030, TWENTY-SIX AND NINE-TENTHS PERCENT OF
26 THE ACTUAL VALUE OF ALL OTHER NONRESIDENTIAL PROPERTY THAT IS
27 NOT SPECIFIED IN SUBSECTION (1) OR (1.8)(a) OF THIS SECTION OR THAT IS

1 NOT UNDER A VACANT LAND SUBCLASS; AND

2 (VI) FOR THE PROPERTY TAX YEARS COMMENCING ON JANUARY 1,
3 2031, AND JANUARY 1, 2032:

4 (A) TWENTY-FIVE AND NINE-TENTHS PERCENT OF THE ACTUAL
5 VALUE OF ALL OTHER NONRESIDENTIAL PROPERTY THAT IS NOT SPECIFIED
6 IN SUBSECTION (1) OR (1.8)(a) OF THIS SECTION OR THAT IS NOT UNDER A
7 VACANT LAND SUBCLASS, IF, FOR THE PROPERTY TAX YEAR COMMENCING
8 ON JANUARY 1, 2031, THE AVERAGE INCREASE IN TOTAL VALUATION FOR
9 ASSESSMENT OF TAXABLE REAL PROPERTY WITHIN THE THIRTY-TWO
10 COUNTIES WITH THE SMALLEST INCREASES IN TOTAL VALUATION IS
11 GREATER THAN OR EQUAL TO THREE AND SEVEN-TENTHS PERCENT FROM
12 THE PRIOR PROPERTY TAX YEAR; OR

13 (B) TWENTY-SIX AND NINE-TENTHS PERCENT OF THE ACTUAL
14 VALUE OF ALL OTHER NONRESIDENTIAL PROPERTY THAT IS NOT SPECIFIED
15 IN SUBSECTION (1) OR (1.8)(a) OF THIS SECTION OR THAT IS NOT UNDER A
16 VACANT LAND SUBCLASS, IF, FOR THE PROPERTY TAX YEAR COMMENCING
17 ON JANUARY 1, 2031, THE AVERAGE INCREASE IN TOTAL VALUATION FOR
18 ASSESSMENT OF TAXABLE REAL PROPERTY WITHIN THE THIRTY-TWO
19 COUNTIES WITH THE SMALLEST INCREASES IN TOTAL VALUATION IS LESS
20 THAN THREE AND SEVEN-TENTHS PERCENT FROM THE PRIOR PROPERTY TAX
21 YEAR.

22 (b.5) (I) FOR PURPOSES OF SUBSECTIONS (1)(b)(V), (1.8)(a)(III),
23 AND (1.8)(b)(VI) OF THIS SECTION, THE TOTAL VALUATION FOR
24 ASSESSMENT OF TAXABLE REAL PROPERTY FOR ASSESSMENT EXCLUDES
25 THE VALUATION FOR ASSESSMENT FROM PRODUCING MINES AND LANDS OR
26 LEASEHOLDS PRODUCING OIL OR GAS.

27 (II) THE ADMINISTRATOR SHALL CALCULATE THE AVERAGE

1 INCREASE IN TOTAL VALUATION FOR ASSESSMENT OF TAXABLE REAL
2 PROPERTY WITHIN THE THIRTY-TWO COUNTIES WITH THE SMALLEST
3 INCREASES FOR PURPOSES OF SUBSECTIONS (1)(b)(V), (1.8)(a)(III), AND
4 (1.8)(b)(VI) OF THIS SECTION BASED ON INFORMATION PROVIDED BY
5 COUNTY ASSESSORS IN ACCORDANCE WITH SUBSECTION (1.8)(b.5)(III) OF
6 THIS SECTION AND THE ABSTRACT OF ASSESSMENT FOR THE PROPERTY TAX
7 YEAR COMMENCING ON JANUARY 1, 2030.

8 (III) NO LATER THAN MAY 5, 2031, EACH ASSESSOR SHALL
9 PROVIDE THE ADMINISTRATOR WITH AN ESTIMATE OF THE TOTAL
10 VALUATION FOR ASSESSMENT OF TAXABLE REAL PROPERTY LOCATED
11 WITHIN THE COUNTY BASED ON THE NOTICES OF VALUATION FOR THE
12 PROPERTY TAX YEAR.

13 (IV) ON OR BEFORE JULY 1, 2031, THE ADMINISTRATOR SHALL
14 PUBLISH ON THE WEBSITE MAINTAINED BY THE DIVISION OF PROPERTY
15 TAXATION IN THE DEPARTMENT OF LOCAL AFFAIRS WHETHER THE RATES
16 SET FORTH IN SUBSECTIONS (1)(b)(V)(A), (1.8)(a)(III)(A), AND
17 (1.8)(b)(VI)(A) OF THIS SECTION OR WHETHER THE RATES SET FORTH IN
18 SUBSECTIONS (1)(b)(V)(B), (1.8)(a)(III)(B), AND (1.8)(b)(VI)(B) OF THIS
19 SECTION APPLY FOR PROPERTY TAX YEARS COMMENCING ON JANUARY 1,
20 2031, AND JANUARY 1, 2032.

21 (c) The actual value of real and personal property specified in
22 ~~subsection (1.8)(a) or (1.8)(b)~~ SUBSECTION (1), (1.8)(a), OR (1.8)(b) of this
23 section is determined by the assessor and the administrator in the manner
24 prescribed by law, and a valuation for assessment percentage is uniformly
25 applied, without exception, to the actual value, AS SO DETERMINED OR AS SO
26 DETERMINED AND THEN REDUCED, of the various classes and subclasses
27 of real and personal property located within the territorial limits of the

1 authority levying a property tax, and all property taxes are levied against
2 the aggregate valuation for assessment resulting from the application of
3 the percentage.

4 (d) As used in this section, unless the context otherwise requires,
5 "nonresidential property" means all taxable real and personal property in
6 the state other than residential real property, producing mines, or lands or
7 leaseholds producing oil or gas. Nonresidential property includes the
8 subclasses of agricultural property, lodging property, and renewable
9 energy production property, for purposes of the ~~ratio of~~ valuation for
10 assessment.

11 (1.9) (a) THE TEMPORARY REDUCTIONS IN THE VALUATIONS FOR
12 ASSESSMENT SET FORTH IN SUBSECTIONS (1)(b) AND (1.8) OF THIS SECTION
13 MADE IN THIS SENATE BILL 23-____ ARE CONTINGENT ON THE STATE'S
14 AUTHORITY TO RETAIN AND SPEND STATE SURPLUS UP TO THE PROPOSITION
15 HH CAP UNDER PART 2 OF ARTICLE 77 OF TITLE 24. NOTWITHSTANDING
16 ANY PROVISION OF SUBSECTIONS (1)(b) AND (1.8) OF THIS SECTION TO THE
17 CONTRARY, IF, FOR A FISCAL YEAR COMMENCING ON OR AFTER JULY 1,
18 2023, THE STATE IS NOT PERMITTED TO RETAIN AND SPEND STATE SURPLUS
19 UP TO THE PROPOSITION HH CAP FOR THE FISCAL YEAR FOR ANY REASON,
20 EXCLUDING A LEGISLATIVE ENACTMENT BY THE GENERAL ASSEMBLY,
21 THEN FOR THE PROPERTY TAX YEAR THAT BEGINS DURING THE FISCAL
22 YEAR AND ALL PROPERTY TAX YEARS THEREAFTER, THE TEMPORARY
23 REDUCTIONS IN THE VALUATION FOR ASSESSMENT SET FORTH IN
24 SUBSECTIONS (1)(b) AND (1.8) OF THIS SECTION MADE IN THIS SENATE
25 BILL 23-____ DO NOT APPLY.

26 (b) THE STATE CONTROLLER SHALL NOTIFY THE ADMINISTRATOR
27 IF SUBSECTION (1.9)(a) OF THIS SECTION APPLIES, AND THE

1 ADMINISTRATOR SHALL PUBLISH NOTICE ON THE WEBSITE MAINTAINED BY
2 THE DIVISION OF PROPERTY TAXATION IN THE DEPARTMENT OF LOCAL
3 AFFAIRS THAT THE APPLICABLE TEMPORARY REDUCTIONS SET FORTH IN
4 SUBSECTIONS (1)(b) AND (1.8) OF THIS SECTION MADE IN THIS SENATE
5 BILL 23-____ DO NOT APPLY.

6 **SECTION 9.** In Colorado Revised Statutes, 39-1-104.2, **amend**
7 (3)(q) and (3)(r); and **add** (1)(a.3), (1)(a.7), and (3.5) as follows:

8 **39-1-104.2. Residential real property - valuation for**
9 **assessment - legislative declaration - definitions.** (1) As used in this
10 section, unless the context otherwise requires:

11 (a.3) "PRIMARY RESIDENCE REAL PROPERTY" MEANS PROPERTY
12 THAT IS CLASSIFIED AS SUCH UNDER SECTION 39-1-104.6.

13 (a.7) "QUALIFIED-SENIOR PRIMARY RESIDENCE REAL PROPERTY"
14 MEANS PROPERTY THAT IS CLASSIFIED AS SUCH UNDER SECTION 39-1-104.7
15 (2).

16 (3) (q) The ~~ratio of~~ valuation for assessment for multi-family
17 residential real property is 7.15 percent of THE actual value THEREOF for
18 property tax years commencing on or after January 1, 2019; except that
19 THE VALUATION FOR ASSESSMENT IS TEMPORARILY REDUCED AS FOLLOWS:

20 (I) For the property tax ~~years~~ YEAR commencing on January 1,
21 2022, ~~and January 1, 2024~~, the ~~ratio of~~ valuation for assessment for
22 multi-family residential real property is ~~temporarily reduced to~~ 6.8
23 percent of THE actual value THEREOF; AND

24 (II) For the property tax ~~year~~ YEARS commencing on January 1,
25 2023, BUT BEFORE JANUARY 1, 2033, the ~~ratio of~~ valuation for assessment
26 for multi-family residential real property is ~~temporarily reduced to 6.765~~
27 ~~percent~~ 6.7 PERCENT of THE AMOUNT EQUAL TO THE actual value OF THE

1 PROPERTY MINUS THE LESSER OF FORTY THOUSAND DOLLARS OR THE
2 AMOUNT THAT CAUSES THE VALUATION FOR ASSESSMENT OF THE
3 PROPERTY TO BE ONE THOUSAND DOLLARS.

4 (r) The ~~ratio of~~ valuation for assessment for all residential real
5 property other than multi-family residential real property is 7.15 percent
6 of THE actual value THEREOF; except that THE VALUATION FOR
7 ASSESSMENT IS TEMPORARILY REDUCED AS FOLLOWS:

8 (I) For the property tax year commencing on January 1, 2022, the
9 ~~ratio of~~ valuation for assessment for all residential real property other
10 than multi-family residential real property is ~~temporarily reduced to~~ 6.95
11 percent of THE actual value THEREOF;

12 (II) For the property tax year commencing on January 1, 2023, the
13 ~~ratio of~~ valuation for assessment for all residential real property other
14 than multi-family residential real property is ~~6.765 percent~~ 6.7 PERCENT
15 of THE AMOUNT EQUAL TO THE actual value ~~and~~ OF THE PROPERTY MINUS
16 THE LESSER OF FORTY THOUSAND DOLLARS OR THE AMOUNT THAT CAUSES
17 THE VALUATION FOR ASSESSMENT OF THE PROPERTY TO BE ONE THOUSAND
18 DOLLARS;

19 (III) For the property tax year commencing on January 1, 2024,
20 the ~~ratio of~~ valuation for assessment for all residential real property other
21 than multi-family residential real property is ~~temporarily established as~~
22 ~~the percentage calculated in accordance with section 39-1-104.4~~ 6.7
23 PERCENT OF THE AMOUNT EQUAL TO THE ACTUAL VALUE OF THE PROPERTY
24 MINUS THE LESSER OF FORTY THOUSAND DOLLARS OR THE AMOUNT THAT
25 CAUSES THE VALUATION FOR ASSESSMENT OF THE PROPERTY TO BE ONE
26 THOUSAND DOLLARS; AND

27 (IV) FOR PROPERTY TAX YEARS COMMENCING ON OR AFTER

1 JANUARY 1, 2025, BUT BEFORE JANUARY 1, 2033:

2 (A) THE VALUATION FOR ASSESSMENT FOR PRIMARY RESIDENCE
3 REAL PROPERTY, INCLUDING MULTI-FAMILY PRIMARY RESIDENCE REAL
4 PROPERTY, IS 6.7 PERCENT OF THE AMOUNT EQUAL TO THE ACTUAL VALUE
5 OF THE PROPERTY MINUS THE LESSER OF FORTY THOUSAND DOLLARS OR
6 THE AMOUNT THAT CAUSES THE VALUATION FOR ASSESSMENT OF THE
7 PROPERTY TO BE ONE THOUSAND DOLLARS;

8 (B) THE VALUATION FOR ASSESSMENT FOR QUALIFIED-SENIOR
9 PRIMARY RESIDENCE REAL PROPERTY, INCLUDING MULTI-FAMILY
10 QUALIFIED-SENIOR PRIMARY RESIDENCE REAL PROPERTY, IS 6.7 PERCENT
11 OF THE AMOUNT EQUAL TO THE ACTUAL VALUE OF THE PROPERTY MINUS
12 THE LESSER OF ONE HUNDRED FORTY THOUSAND DOLLARS OR THE
13 AMOUNT THAT CAUSES THE VALUATION FOR ASSESSMENT OF THE
14 PROPERTY TO BE ONE THOUSAND DOLLARS; AND

15 (C) THE VALUATION FOR ASSESSMENT FOR ALL RESIDENTIAL REAL
16 PROPERTY THAT IS NOT SPECIFIED IN SUBSECTION (3)(q)(II), (3)(r)(IV)(A),
17 OR (3)(r)(IV)(B) OF THIS SECTION IS 6.7 PERCENT OF THE ACTUAL VALUE
18 THEREOF.

19 (3.5) (a) THE TEMPORARY REDUCTIONS IN THE VALUATIONS FOR
20 ASSESSMENT SET FORTH IN SUBSECTION (3) OF THIS SECTION MADE IN THIS
21 SENATE BILL 23-____ ARE CONTINGENT ON THE STATE'S AUTHORITY TO
22 RETAIN AND SPEND STATE SURPLUS UP TO THE PROPOSITION HH CAP
23 UNDER PART 2 OF ARTICLE 77 OF TITLE 24. NOTWITHSTANDING ANY
24 PROVISION OF SUBSECTION (3) OF THIS SECTION TO THE CONTRARY, IF, FOR
25 A FISCAL YEAR COMMENCING ON OR AFTER JULY 1, 2023, THE STATE IS
26 NOT PERMITTED TO RETAIN AND SPEND STATE SURPLUS UP TO THE
27 PROPOSITION HH CAP FOR THE FISCAL YEAR FOR ANY REASON, EXCLUDING

1 A LEGISLATIVE ENACTMENT BY THE GENERAL ASSEMBLY, THEN FOR THE
2 PROPERTY TAX YEAR THAT BEGINS DURING THE FISCAL YEAR AND ALL
3 PROPERTY TAX YEARS THEREAFTER, THE TEMPORARY REDUCTIONS IN THE
4 VALUATION FOR ASSESSMENT SET FORTH IN SUBSECTION (3) OF THIS
5 SECTION MADE IN THIS SENATE BILL 23-____ DO NOT APPLY.

6 (b) THE STATE CONTROLLER SHALL NOTIFY THE ADMINISTRATOR
7 IF SUBSECTION (3.5)(a) OF THIS SECTION APPLIES, AND THE
8 ADMINISTRATOR SHALL PUBLISH NOTICE ON THE WEBSITE MAINTAINED BY
9 THE DIVISION OF PROPERTY TAXATION IN THE DEPARTMENT OF LOCAL
10 AFFAIRS THAT THE APPLICABLE TEMPORARY REDUCTIONS SET FORTH IN
11 SUBSECTION (3) OF THIS SECTION MADE IN THIS SENATE BILL 23-____ DO
12 NOT APPLY.

13 **SECTION 10.** In Colorado Revised Statutes, **repeal** 39-1-104.3
14 and 39-1-104.4 as follows:

15 **39-1-104.3. Partial real property tax reductions - residential**
16 **property - definitions - repeal.** ~~(1) As used in this section, unless the~~
17 ~~context otherwise requires, "residential real property" means property~~
18 ~~listed by the assessor under any residential real property classification~~
19 ~~code.~~

20 ~~(2) For the property tax year commencing on January 1, 2023, the~~
21 ~~valuation for assessment for residential real property is six and seven~~
22 ~~hundred sixty-five thousandths percent, as set forth in section 39-1-104.2~~
23 ~~(3)(q)(II) and (3)(r)(II), of the amount equal to the actual value,~~
24 ~~determined pursuant to section 39-1-103, minus the lesser of fifteen~~
25 ~~thousand dollars or the amount that reduces the valuation for assessment~~
26 ~~to one thousand dollars.~~

27 ~~(3) This adjustment does not apply to any other class of property.~~

1 ~~(4) This section is repealed, effective July 1, 2025.~~

2 ~~**39-1-104.4. Adjustment of residential rate.** (1) The ratio of~~
3 ~~valuation for assessment for residential real property other than~~
4 ~~multi-family residential real property for the property tax year~~
5 ~~commencing on January 1, 2024, is equal to the percentage necessary for~~
6 ~~the following to equal a total of seven hundred million dollars:~~

7 ~~(a) The aggregate reduction of local government property tax~~
8 ~~revenue during the property tax year commencing on January 1, 2023, as~~
9 ~~a result of the changes made in Senate Bill 22-238, enacted in 2022, that~~
10 ~~reduced valuations for assessment set forth pursuant to sections 39-1-104~~
11 ~~(1)(b) and (1.8)(b), 39-1-104.2 (3)(q)(II) and (3)(r)(II), and 39-3-104.3~~
12 ~~(2); and~~

13 ~~(b) The aggregate reduction of local government property tax~~
14 ~~revenue during the property tax year commencing on January 1, 2024, as~~
15 ~~a result of the reduced valuations for assessment set forth pursuant to~~
16 ~~sections 39-1-104 (1.8)(a) and 39-1-104.2 (3)(q)(I) and (3)(r)(III) for the~~
17 ~~property tax year commencing on January 1, 2024.~~

18 ~~(2) On or before March 21, 2024, based on the information~~
19 ~~available on that date, the property tax administrator shall submit a report~~
20 ~~to the general assembly calculating the ratio of valuation for assessment~~
21 ~~specified in subsection (1) of this section.~~

22 **SECTION 11.** In Colorado Revised Statutes, **add** 39-1-104.6 and
23 39-1-104.7 as follows:

24 **39-1-104.6. Primary residence real property. (1) Definitions.**

25 AS USED IN THIS SECTION, UNLESS THE CONTEXT OTHERWISE REQUIRES:

- 26 (a) (I) "OWNER-OCCUPIER" MEANS AN INDIVIDUAL WHO:
27 (A) IS AN OWNER OF RECORD OF RESIDENTIAL REAL PROPERTY

1 THAT THE INDIVIDUAL OCCUPIES AS THE INDIVIDUAL'S PRIMARY
2 RESIDENCE;

3 (B) IS NOT AN OWNER OF RECORD OF THE RESIDENTIAL REAL
4 PROPERTY THAT THE INDIVIDUAL OCCUPIES AS THE INDIVIDUAL'S PRIMARY
5 RESIDENCE, BUT EITHER IS A SPOUSE OR CIVIL UNION PARTNER OF AN
6 OWNER OF RECORD OF THE RESIDENTIAL REAL PROPERTY AND WHO ALSO
7 OCCUPIES THE RESIDENTIAL REAL PROPERTY AS THE OWNER OF RECORD'S
8 PRIMARY RESIDENCE, OR IS THE SURVIVING SPOUSE OR PARTNER OF AN
9 INDIVIDUAL WHO WAS AN OWNER OF RECORD OF THE RESIDENTIAL REAL
10 PROPERTY AND WHO OCCUPIED THE RESIDENTIAL REAL PROPERTY WITH
11 THE SURVIVING SPOUSE OR PARTNER AS THEIR PRIMARY RESIDENCE UNTIL
12 THE OWNER OF RECORD'S DEATH; OR

13 (C) IS NOT AN OWNER OF RECORD OF THE RESIDENTIAL REAL
14 PROPERTY THAT THE INDIVIDUAL OCCUPIES AS THE INDIVIDUAL'S PRIMARY
15 RESIDENCE, ONLY BECAUSE THE PROPERTY HAS BEEN PURCHASED BY OR
16 TRANSFERRED TO A TRUST, A CORPORATE PARTNERSHIP, OR ANY OTHER
17 LEGAL ENTITY SOLELY FOR ESTATE PLANNING PURPOSES AND IS THE
18 MAKER OF THE TRUST OR A PRINCIPAL OF THE CORPORATE PARTNERSHIP OR
19 OTHER LEGAL ENTITY;

20 (D) OCCUPIES RESIDENTIAL REAL PROPERTY AS THE INDIVIDUAL'S
21 PRIMARY RESIDENCE AND IS THE SPOUSE OR CIVIL UNION PARTNER OF A
22 PERSON WHO ALSO OCCUPIES THE RESIDENTIAL REAL PROPERTY, WHO IS
23 NOT THE OWNER OF RECORD OF THE PROPERTY ONLY BECAUSE THE
24 PROPERTY HAS BEEN PURCHASED BY OR TRANSFERRED TO A TRUST, A
25 CORPORATE PARTNERSHIP, OR ANY OTHER LEGAL ENTITY SOLELY FOR
26 ESTATE PLANNING PURPOSES, AND WHO IS THE MAKER OF THE TRUST OR A
27 PRINCIPAL OF THE CORPORATE PARTNERSHIP OR OTHER LEGAL ENTITY; OR

1 (E) OCCUPIES RESIDENTIAL REAL PROPERTY AS THE INDIVIDUAL'S
2 PRIMARY RESIDENCE AND IS THE SURVIVING SPOUSE OR PARTNER OF A
3 PERSON WHO OCCUPIED THE RESIDENTIAL REAL PROPERTY WITH THE
4 SURVIVING SPOUSE OR PARTNER UNTIL THE PERSON'S DEATH, WHO WAS
5 NOT THE OWNER OF RECORD OF THE PROPERTY AT THE TIME OF THE
6 PERSON'S DEATH ONLY BECAUSE THE PROPERTY HAD BEEN PURCHASED BY
7 OR TRANSFERRED TO A TRUST, A CORPORATE PARTNERSHIP, OR ANY OTHER
8 LEGAL ENTITY SOLELY FOR ESTATE PLANNING PURPOSES PRIOR TO THE
9 PERSON'S DEATH, AND WHO WAS THE MAKER OF THE TRUST OR A PRINCIPAL
10 OF THE CORPORATE PARTNERSHIP OR OTHER LEGAL ENTITY PRIOR TO THE
11 PERSON'S DEATH.

12 (II) "OWNER-OCCUPIER" ALSO INCLUDES ANY INDIVIDUAL WHO,
13 BUT FOR THE CONFINEMENT OF THE INDIVIDUAL TO A HOSPITAL, NURSING
14 HOME, OR ASSISTED LIVING FACILITY, WOULD OCCUPY THE RESIDENTIAL
15 REAL PROPERTY AS THE INDIVIDUAL'S PRIMARY RESIDENCE AND WOULD
16 MEET ONE OR MORE OF THE OWNERSHIP CRITERIA SPECIFIED IN
17 SUBSECTION (1)(a)(I) OF THIS SECTION, IF THE RESIDENTIAL REAL
18 PROPERTY:

19 (A) IS TEMPORARILY UNOCCUPIED; OR

20 (B) IS OCCUPIED BY THE SPOUSE, CIVIL UNION PARTNER, OR A
21 FINANCIAL DEPENDENT OF THE INDIVIDUAL.

22 (b) "OWNER OF RECORD" MEANS AN INDIVIDUAL WHOSE NAME
23 APPEARS ON A VALID RECORDED DEED TO RESIDENTIAL REAL PROPERTY AS
24 AN OWNER OF THE PROPERTY.

25 (c) "QUALIFIED-SENIOR PRIMARY RESIDENCE REAL PROPERTY"
26 MEANS A PROPERTY THAT IS CLASSIFIED AS SUCH UNDER SECTION
27 39-1-104.7.

1 (d) "SURVIVING SPOUSE OR PARTNER" MEANS AN INDIVIDUAL WHO
2 WAS LEGALLY MARRIED TO ANOTHER INDIVIDUAL, OR WAS A PARTNER IN
3 A CIVIL UNION WITH ANOTHER INDIVIDUAL, AT THE TIME OF THE OTHER
4 INDIVIDUAL'S DEATH AND WHO HAS NOT REMARRIED OR ENTERED INTO
5 ANOTHER CIVIL UNION.

6 (2) **Classification.** (a) EXCEPT AS SET FORTH IN SECTION
7 39-1-104.7, FOR PROPERTY TAX YEARS COMMENCING ON OR AFTER
8 JANUARY 1, 2025, RESIDENTIAL REAL PROPERTY THAT AS OF THE
9 ASSESSMENT DATE IS USED AS THE PRIMARY RESIDENCE OF AN
10 OWNER-OCCUPIER IS CLASSIFIED AS PRIMARY RESIDENCE REAL PROPERTY,
11 WHICH IS A SUBCLASS OF RESIDENTIAL REAL PROPERTY, IF:

12 (I) THE OWNER-OCCUPIER COMPLETES AND FILES AN APPLICATION
13 IN THE MANNER REQUIRED BY SUBSECTION (3) OF THIS SECTION; AND

14 (II) THE CIRCUMSTANCES THAT QUALIFY THE PROPERTY FOR THE
15 CLASSIFICATION HAVE NOT CHANGED SINCE THE FILING OF THE
16 APPLICATION.

17 (b) UNDER NO CIRCUMSTANCES IS THE CLASSIFICATION ALLOWED
18 FOR PROPERTY TAXES ASSESSED DURING ANY PROPERTY TAX YEAR PRIOR
19 TO THE YEAR IN WHICH AN OWNER-OCCUPIER FIRST FILES AN APPLICATION
20 IN THE MANNER REQUIRED BY SUBSECTION (3) OF THIS SECTION. IF
21 OWNERSHIP OF RESIDENTIAL REAL PROPERTY THAT QUALIFIED AS PRIMARY
22 RESIDENCE REAL PROPERTY AS OF THE ASSESSMENT DATE CHANGES AFTER
23 THE ASSESSMENT DATE, THE CLASSIFICATION IS ALLOWED ONLY IF AN
24 OWNER-OCCUPIER WHOSE STATUS AS AN OWNER-OCCUPIER QUALIFIED THE
25 PROPERTY FOR THE CLASSIFICATION HAS FILED AN APPLICATION BY THE
26 DEADLINE SPECIFIED IN SUBSECTION (3)(a) OF THIS SECTION.

27 (c) IF AN INDIVIDUAL OWNS AND OCCUPIES A DWELLING UNIT IN A

1 COMMON INTEREST COMMUNITY, AS DEFINED IN SECTION 38-33.3-103 (8),
2 AS THE INDIVIDUAL'S PRIMARY RESIDENCE, ONLY THE DWELLING UNIT
3 THAT THE INDIVIDUAL OCCUPIES AS THE INDIVIDUAL'S PRIMARY
4 RESIDENCE MAY QUALIFY AS PRIMARY RESIDENCE REAL PROPERTY OR
5 QUALIFIED-SENIOR PRIMARY RESIDENCE REAL PROPERTY.

6 (d) FOR PURPOSES OF THIS SUBSECTION (2), TWO INDIVIDUALS WHO
7 ARE LEGALLY MARRIED OR ARE CIVIL UNION PARTNERS, BUT WHO OWN
8 MORE THAN ONE PARCEL OF RESIDENTIAL REAL PROPERTY, ARE DEEMED
9 TO OCCUPY THE SAME PRIMARY RESIDENCE AND ONLY THAT PROPERTY
10 MAY BE CLASSIFIED AS PRIMARY RESIDENCE REAL PROPERTY. IF AN
11 INDIVIDUAL IS AN OWNER-OCCUPIER OF A RESIDENTIAL REAL PROPERTY
12 AND AN OWNER OF RECORD ON ANOTHER PROPERTY ALONG WITH A
13 MEMBER OF THE INDIVIDUAL'S FAMILY OTHER THAN THE INDIVIDUAL'S
14 SPOUSE, THEN THE OTHER FAMILY MEMBER MAY BE AN OWNER-OCCUPIER
15 OF THE OTHER PROPERTY.

16 (e) REAL PROPERTY THAT MIGHT OTHERWISE BE CLASSIFIED AS
17 MULTI-FAMILY RESIDENTIAL REAL PROPERTY THAT CONTAINS A UNIT THAT
18 QUALIFIES AS PRIMARY RESIDENCE REAL PROPERTY UNDER THIS SECTION
19 IS CLASSIFIED AS MULTI-FAMILY PRIMARY RESIDENCE REAL PROPERTY.

20 (3) **Applications.** (a) FOR A PROPERTY TO BE CLASSIFIED AS
21 PRIMARY RESIDENCE REAL PROPERTY OR AS QUALIFIED-SENIOR PRIMARY
22 RESIDENCE REAL PROPERTY, AN INDIVIDUAL MUST FILE WITH THE
23 ASSESSOR A COMPLETED APPLICATION NO LATER THAN MARCH 15 OF THE
24 FIRST PROPERTY TAX YEAR FOR WHICH THE CLASSIFICATION IS SOUGHT.
25 AN APPLICATION RETURNED BY MAIL IS DEEMED FILED ON THE DATE IT IS
26 POSTMARKED.

27 (b) (I) AN APPLICANT MUST COMPLETE AN APPLICATION FOR

1 PROPERTY TO BE CLASSIFIED AS PRIMARY RESIDENCE REAL PROPERTY OR
2 AS QUALIFIED-SENIOR PRIMARY RESIDENCE REAL PROPERTY ON A FORM
3 PRESCRIBED BY THE ADMINISTRATOR THAT INCLUDES THE FOLLOWING
4 INFORMATION:

5 (A) THE APPLICANT'S NAME, MAILING ADDRESS, AND SOCIAL
6 SECURITY NUMBER;

7 (B) THE ADDRESS AND SCHEDULE OR PARCEL NUMBER OF THE
8 PROPERTY;

9 (C) THE NAME AND SOCIAL SECURITY NUMBER OF THE APPLICANT'S
10 SPOUSE OR CIVIL UNION PARTNER WHO OCCUPIES THE PROPERTY AS THE
11 SPOUSE OR CIVIL UNION PARTNER'S PRIMARY RESIDENCE;

12 (D) IF A TRUST IS THE OWNER OF RECORD OF THE PROPERTY, THE
13 NAMES OF THE MAKER OF THE TRUST, THE TRUSTEE, AND THE
14 BENEFICIARIES OF THE TRUST;

15 (E) IF A CORPORATE PARTNERSHIP OR OTHER LEGAL ENTITY IS THE
16 OWNER OF RECORD OF THE PROPERTY, THE NAMES OF THE PRINCIPALS OR
17 THE CORPORATE PARTNERSHIP OR OTHER LEGAL ENTITY;

18 (F) A STATEMENT OF WHETHER THE APPLICANT PREVIOUSLY
19 QUALIFIED FOR THE PROPERTY TAX EXEMPTION FOR QUALIFYING SENIORS
20 ALLOWED BY SECTION 39-3-203 (1) FOR A DIFFERENT PROPERTY THAN THE
21 PROPERTY THAT THE APPLICANT CURRENTLY OCCUPIES AS THE
22 APPLICANT'S PRIMARY RESIDENCE;

23 (G) AN AFFIRMATION, IN A FORM PRESCRIBED BY THE
24 ADMINISTRATOR, THAT THE APPLICANT BELIEVES, UNDER PENALTY OF
25 PERJURY IN THE SECOND DEGREE AS DEFINED IN SECTION 18-8-503, THAT
26 ALL INFORMATION PROVIDED BY THE APPLICANT IS CORRECT; AND

27 (H) ANY OTHER INFORMATION THAT THE ADMINISTRATOR

1 REASONABLY DEEMS NECESSARY.

2 (II) THE ADMINISTRATOR SHALL ALSO INCLUDE IN THE
3 APPLICATION A STATEMENT THAT AN APPLICANT, OR, IF APPLICABLE, THE
4 TRUSTEE, HAS A LEGAL OBLIGATION TO INFORM THE ASSESSOR WITHIN
5 SIXTY DAYS OF ANY CHANGE IN THE OWNERSHIP OR OCCUPANCY OF THE
6 RESIDENTIAL REAL PROPERTY FOR WHICH CLASSIFICATION AS PRIMARY
7 RESIDENCE REAL PROPERTY OR AS QUALIFIED-SENIOR PRIMARY RESIDENCE
8 REAL PROPERTY HAS BEEN APPLIED FOR OR ALLOWED THAT WOULD
9 PREVENT THE CLASSIFICATION FROM BEING ALLOWED FOR THE PROPERTY.

10 (c) FOR PURPOSES OF THE APPLICATION AND RELATED PROVISIONS
11 IN THIS SECTION, REAL PROPERTY THAT IS MULTI-FAMILY PRIMARY
12 RESIDENCE REAL PROPERTY IS TREATED AS PRIMARY RESIDENCE REAL
13 PROPERTY AND MULTI-FAMILY QUALIFIED-SENIOR PRIMARY REAL
14 RESIDENCE IS TREATED AS QUALIFIED-SENIOR PRIMARY RESIDENCE REAL
15 PROPERTY.

16 (4) **Penalties.** (a) IN ADDITION TO ANY PENALTIES PRESCRIBED BY
17 LAW FOR PERJURY IN THE SECOND DEGREE, AN APPLICANT WHO
18 KNOWINGLY PROVIDES FALSE INFORMATION ON AN APPLICATION OR
19 ATTEMPTS TO CLAIM MORE THAN ONE PROPERTY AS PRIMARY RESIDENCE
20 REAL PROPERTY OR QUALIFIED-SENIOR PRIMARY RESIDENCE REAL
21 PROPERTY FOR THE SAME PROPERTY TAX YEAR SHALL:

22 (I) NOT BE ABLE TO CLAIM THE PROPERTY AS PRIMARY RESIDENCE
23 REAL PROPERTY OR QUALIFIED-SENIOR PRIMARY RESIDENCE REAL
24 PROPERTY FOR THE PROPERTY TAX YEAR;

25 (II) PAY, TO THE TREASURER OF A COUNTY IN WHICH PROPERTY
26 WAS IMPROPERLY CLASSIFIED AS PRIMARY RESIDENCE REAL PROPERTY OR
27 QUALIFIED-SENIOR PRIMARY RESIDENCE REAL PROPERTY DUE TO THE

1 PROVISION BY THE APPLICANT OF FALSE INFORMATION OR THE FILING OF
2 MORE THAN ONE APPLICATION, AN AMOUNT EQUAL TO THE AMOUNT OF
3 PROPERTY TAXES NOT PAID AS A RESULT OF THE IMPROPER CLASSIFICATION
4 AS PRIMARY RESIDENCE REAL PROPERTY OR QUALIFIED-SENIOR PRIMARY
5 RESIDENCE REAL PROPERTY; AND

6 (III) UPON CONVICTION OF PERJURY, BE REQUIRED TO PAY TO THE
7 TREASURER OF ANY COUNTY IN WHICH AN INVALID APPLICATION WAS
8 FILED AN ADDITIONAL AMOUNT EQUAL TO TWICE THE AMOUNT OF THE
9 PROPERTY TAXES IDENTIFIED IN SUBSECTION (4)(a)(II) OF THIS SECTION
10 PLUS INTEREST, CALCULATED AT THE ANNUAL RATE CALCULATED
11 PURSUANT TO SECTION 39-21-110.5 FROM THE DATE THE INVALID
12 APPLICATION WAS FILED UNTIL THE DATE THE APPLICANT MAKES THE
13 PAYMENT REQUIRED BY THIS SUBSECTION (4)(a)(III).

14 (b) IF AN APPLICANT OR A TRUSTEE FAILS TO INFORM THE
15 ASSESSOR WITHIN SIXTY DAYS OF ANY CHANGE IN THE OWNERSHIP OR
16 OCCUPANCY OF RESIDENTIAL REAL PROPERTY FOR CLASSIFICATION AS A
17 PRIMARY RESIDENCE REAL PROPERTY OR A QUALIFIED-SENIOR PRIMARY
18 RESIDENCE REAL PROPERTY THAT HAS BEEN APPLIED FOR OR ALLOWED
19 THAT WOULD PREVENT THE CLASSIFICATION FROM BEING ALLOWED FOR
20 THE PROPERTY AS REQUIRED BY SUBSECTION (3)(b) OF THIS SECTION:

21 (I) THE CLASSIFICATION IS NOT ALLOWED WITH RESPECT TO THE
22 RESIDENTIAL REAL PROPERTY FOR THE SUBSEQUENT PROPERTY TAX YEAR;
23 AND

24 (II) THE APPLICANT OR TRUSTEE SHALL PAY, TO THE TREASURER
25 OF ANY COUNTY IN WHICH THE CLASSIFICATION WAS IMPROPERLY
26 ALLOWED DUE TO THE APPLICANT'S OR TRUSTEE'S FAILURE TO
27 IMMEDIATELY INFORM THE ASSESSOR OF ANY CHANGE IN THE OWNERSHIP

1 OR OCCUPANCY OF RESIDENTIAL REAL PROPERTY, AN AMOUNT EQUAL TO
2 THE AMOUNT OF PROPERTY TAXES NOT PAID AS A RESULT OF THE
3 IMPROPER CLASSIFICATION AS PRIMARY RESIDENCE REAL PROPERTY OR
4 QUALIFIED-SENIOR PRIMARY RESIDENCE REAL PROPERTY PLUS INTEREST,
5 CALCULATED AT THE ANNUAL RATE SPECIFIED IN SECTION 39-21-110.5
6 FROM THE DATE ON WHICH THE CHANGE IN THE OWNERSHIP OR
7 OCCUPANCY OCCURRED UNTIL THE DATE THE APPLICANT MAKES THE
8 PAYMENT REQUIRED BY THIS SUBSECTION (4)(b)(II).

9 (c) ANY AMOUNT REQUIRED TO BE PAID TO A TREASURER
10 PURSUANT TO SUBSECTION (4)(a) OR (4)(b) OF THIS SECTION IS DEEMED
11 PART OF THE LIEN OF GENERAL TAXES IMPOSED ON THE PERSON REQUIRED
12 TO PAY THE AMOUNT AND HAS THE PRIORITY SPECIFIED IN SECTION
13 39-1-107 (2).

14 (5) **Confidentiality.** (a) COMPLETED APPLICATIONS FOR
15 CLASSIFICATION AS PRIMARY RESIDENCE REAL PROPERTY OR AS
16 QUALIFIED-SENIOR PRIMARY RESIDENCE REAL PROPERTY ARE
17 CONFIDENTIAL; EXCEPT THAT:

18 (I) (A) AN ASSESSOR OR THE ADMINISTRATOR MAY RELEASE
19 STATISTICAL COMPILATIONS OR INFORMATIONAL SUMMARIES OF ANY
20 INFORMATION CONTAINED IN THE APPLICATIONS AND SHALL PROVIDE A
21 COPY OF AN APPLICATION TO THE APPLICANT WHO RETURNED THE
22 APPLICATION AND THE TREASURER OF THE SAME COUNTY AS THE
23 ASSESSOR;

24 (B) AN ASSESSOR OR THE ADMINISTRATOR MAY INTRODUCE A
25 COPY OF AN APPLICATION AS EVIDENCE IN ANY ADMINISTRATIVE HEARING
26 OR LEGAL PROCEEDING IN WHICH THE ACCURACY OR VERACITY OF THE
27 APPLICATION IS AT ISSUE SO LONG AS NEITHER THE APPLICANT'S SOCIAL

1 SECURITY NUMBER NOR ANY OTHER SOCIAL SECURITY NUMBER SET FORTH
2 IN THE APPLICATION ARE DIVULGED.

3 (II) A TREASURER SHALL KEEP CONFIDENTIAL EACH INDIVIDUAL
4 APPLICATION RECEIVED FROM AN ASSESSOR BUT MAY RELEASE
5 STATISTICAL COMPILATIONS OR INFORMATIONAL SUMMARIES OF ANY
6 INFORMATION CONTAINED IN APPLICATIONS AND MAY INTRODUCE A COPY
7 OF AN APPLICATION AS EVIDENCE IN ANY ADMINISTRATIVE HEARING OR
8 LEGAL PROCEEDING IN WHICH THE ACCURACY OR VERACITY OF THE
9 APPLICATION IS AT ISSUE SO LONG AS NEITHER THE APPLICANT'S SOCIAL
10 SECURITY NUMBER NOR ANY OTHER SOCIAL SECURITY NUMBER SET FORTH
11 IN THE APPLICATION IS DIVULGED.

12 (III) THE ADMINISTRATOR MAY SHARE INFORMATION CONTAINED
13 IN AN APPLICATION, INCLUDING ANY SOCIAL SECURITY NUMBER SET FORTH
14 IN THE APPLICATION, WITH THE DEPARTMENT OF REVENUE TO THE EXTENT
15 NECESSARY TO ENABLE THE ADMINISTRATOR TO VERIFY THAT THE
16 APPLICANT SATISFIES LEGAL REQUIREMENTS FOR THE CLASSIFICATION.

17 (b) NOTWITHSTANDING THE PROVISIONS OF SUBSECTION (5)(a) OF
18 THIS SECTION, THE ADMINISTRATOR, AN ASSESSOR, OR A TREASURER
19 SHALL NOT GIVE ANY OTHER PERSON ANY LISTING OF APPLICANTS OR ANY
20 OTHER INFORMATION THAT WOULD ENABLE A PERSON TO EASILY
21 ASSEMBLE A MAILING LIST OF APPLICANTS FOR THE PRIMARY RESIDENCE
22 REAL PROPERTY CLASSIFICATION OR QUALIFIED-SENIOR PRIMARY
23 RESIDENCE REAL PROPERTY CLASSIFICATION.

24 (c) IN ACCORDANCE WITH SECTION 25-2-103 (4.7), THE
25 ADMINISTRATOR SHALL ANNUALLY PROVIDE TO THE STATE REGISTRAR OF
26 VITAL STATISTICS OF THE DEPARTMENT OF PUBLIC HEALTH AND
27 ENVIRONMENT A LIST, BY NAME AND SOCIAL SECURITY NUMBER, OF EVERY

1 INDIVIDUAL WHO HAD PROPERTY CLASSIFIED AS PRIMARY RESIDENCE REAL
2 PROPERTY OR QUALIFIED-SENIOR PRIMARY RESIDENCE REAL PROPERTY FOR
3 THE IMMEDIATELY PRECEDING YEAR SO THAT THE REGISTRAR CAN
4 PROVIDE TO THE ADMINISTRATOR A LIST OF ALL THE INDIVIDUALS ON THE
5 LIST WHO HAVE DIED. NO LATER THAN APRIL 1, 2026, AND APRIL 1 OF
6 EACH YEAR THEREAFTER, THE ADMINISTRATOR SHALL FORWARD TO THE
7 ASSESSOR OF EACH COUNTY THE NAME AND SOCIAL SECURITY NUMBER OF
8 EACH DECEASED INDIVIDUAL WHO HAD RESIDENTIAL REAL PROPERTY
9 LOCATED WITHIN THE COUNTY THAT WAS SO CLASSIFIED FOR THE
10 IMMEDIATELY PRECEDING YEAR, SO THAT THE ASSESSOR CAN CHANGE THE
11 CLASSIFICATION OF THE PROPERTY, IF NECESSARY.

12 (6) **Notice.** (a) AS SOON AS PRACTICABLE AFTER JANUARY 1,
13 2025, AND AFTER JANUARY 1 OF EACH YEAR THEREAFTER, EACH COUNTY
14 TREASURER SHALL, AT THE TREASURER'S DISCRETION, MAIL OR
15 ELECTRONICALLY SEND TO EACH PERSON WHOSE NAME APPEARS ON THE
16 TAX LIST AND WARRANT AS AN OWNER OF RESIDENTIAL REAL PROPERTY
17 NOTICE OF THE PRIMARY RESIDENCE REAL PROPERTY AND THE
18 QUALIFIED-SENIOR PRIMARY RESIDENCE REAL PROPERTY CLASSIFICATIONS.
19 THE TREASURER SHALL MAIL OR ELECTRONICALLY SEND THE NOTICE EACH
20 YEAR ON OR BEFORE THE DATE ON WHICH THE TREASURER MAILES THE
21 PROPERTY TAX STATEMENT FOR THE PREVIOUS PROPERTY TAX YEAR
22 PURSUANT TO SECTION 39-10-103. THE ADMINISTRATOR SHALL PRESCRIBE
23 THE FORM OF THE NOTICE, WHICH MUST INCLUDE A STATEMENT OF THE
24 ELIGIBILITY CRITERIA FOR THE PRIMARY RESIDENCE REAL PROPERTY AND
25 QUALIFIED-SENIOR PRIMARY RESIDENCE REAL PROPERTY CLASSIFICATIONS
26 AND INSTRUCTIONS FOR OBTAINING A RELATED APPLICATION.

27 (b) TO REDUCE MAILING COSTS, AN ASSESSOR MAY COORDINATE

1 WITH THE TREASURER OF THE SAME COUNTY TO INCLUDE NOTICE WITH THE
2 TAX STATEMENT FOR THE PREVIOUS PROPERTY TAX YEAR MAILED
3 PURSUANT TO SECTION 39-10-103, OR MAY INCLUDE NOTICE WITH THE
4 NOTICE OF VALUATION MAILED PURSUANT TO SECTION 39-5-121 (1)(a).

5 (7) **Notice of classification - appeal.** (a) (I) EXCEPT AS
6 OTHERWISE PROVIDED IN SUBSECTION (7)(b) OF THIS SECTION, AN
7 ASSESSOR SHALL ONLY CLASSIFY PROPERTY AS PRIMARY RESIDENCE REAL
8 PROPERTY OR QUALIFIED-SENIOR PRIMARY RESIDENCE REAL PROPERTY IF
9 AN APPLICANT HAS TIMELY RETURNED AN APPLICATION IN ACCORDANCE
10 WITH SUBSECTION (3) OF THIS SECTION THAT ESTABLISHES THAT EITHER
11 CLASSIFICATION IS APPROPRIATE.

12 (II) IF THE INFORMATION PROVIDED ON OR WITH AN APPLICATION
13 INDICATES THAT THE APPLICANT IS NOT ENTITLED TO THE CLASSIFICATION,
14 OR IS INSUFFICIENT TO ALLOW THE ASSESSOR TO DETERMINE WHETHER THE
15 PROPERTY MEETS THE CLASSIFICATION, THE ASSESSOR SHALL DENY THE
16 APPLICATION AND MAIL TO THE APPLICANT A STATEMENT PROVIDING THE
17 REASONS FOR THE DENIAL AND INFORMING THE APPLICANT OF THE
18 APPLICANT'S RIGHT TO CONTEST THE DENIAL PURSUANT TO SUBSECTION
19 (7)(b) OF THIS SECTION. THE ASSESSOR SHALL MAIL THE STATEMENT NO
20 LATER THAN AUGUST 1 OF THE PROPERTY TAX YEAR FOR WHICH THE
21 APPLICATION WAS FILED.

22 (b) (I) AN APPLICANT WHOSE APPLICATION HAS BEEN DENIED MAY
23 CONTEST THE DENIAL BY REQUESTING A HEARING BEFORE THE COUNTY
24 COMMISSIONERS SITTING AS THE COUNTY BOARD OF EQUALIZATION NO
25 LATER THAN AUGUST 15 OF THE PROPERTY TAX YEAR FOR WHICH THE
26 APPLICATION WAS FILED. THE HEARING SHALL BE HELD ON OR AFTER
27 AUGUST 1 AND NO LATER THAN SEPTEMBER 1 OF THE PROPERTY TAX YEAR

1 FOR WHICH THE APPLICATION WAS FILED, AND THE DECISION OF THE
2 COUNTY BOARD OF EQUALIZATION IS NOT SUBJECT TO FURTHER
3 ADMINISTRATIVE APPEAL BY EITHER THE APPLICANT OR THE ASSESSOR.

4 (II) AN INDIVIDUAL WHO HAS NOT TIMELY FILED AN APPLICATION
5 WITH THE ASSESSOR BY MARCH 15 MAY FILE A LATE APPLICATION NO
6 LATER THAN THE JULY 15 THAT IMMEDIATELY FOLLOWS THAT DEADLINE.
7 THE ASSESSOR SHALL ACCEPT ANY SUCH APPLICATION BUT MAY NOT
8 ACCEPT ANY LATE APPLICATION FILED AFTER JULY 15. A DECISION OF AN
9 ASSESSOR TO DISALLOW THE FILING OF A LATE APPLICATION AFTER JULY
10 15 OR TO GRANT OR DENY THE CLASSIFICATION TO AN APPLICANT WHO HAS
11 FILED A LATE APPLICATION AFTER MARCH 15 BUT NO LATER THAN JULY 15
12 IS FINAL, AND AN APPLICANT WHO IS DENIED LATE FILING OR AN
13 EXEMPTION MAY NOT CONTEST THE DENIAL.

14 (III) THE COUNTY BOARD OF EQUALIZATION MAY APPOINT
15 INDEPENDENT REFEREES TO CONDUCT HEARINGS REQUESTED PURSUANT
16 TO SUBSECTION (7)(b)(I) OF THIS SECTION ON BEHALF OF THE COUNTY
17 BOARD AND TO MAKE FINDINGS AND SUBMIT RECOMMENDATIONS TO THE
18 COUNTY BOARD FOR ITS FINAL ACTION.

19 (8) **Reporting to administrator.** (a) NO LATER THAN SEPTEMBER
20 10, 2025, AND SEPTEMBER 10 OF EACH YEAR THEREAFTER, EACH
21 ASSESSOR SHALL FORWARD TO THE ADMINISTRATOR A REPORT ON THE
22 RESIDENTIAL REAL PROPERTY IN THE ASSESSOR'S COUNTY THAT QUALIFIES
23 AS PRIMARY RESIDENCE REAL PROPERTY OR QUALIFIED-SENIOR PRIMARY
24 RESIDENCE REAL PROPERTY FOR THE CURRENT PROPERTY TAX YEAR. FOR
25 EACH UNIT OF RESIDENTIAL REAL PROPERTY, THE REPORT MUST INCLUDE:

- 26 (I) THE LEGAL DESCRIPTION OF THE PROPERTY;
- 27 (II) THE SCHEDULE OR PARCEL NUMBER FOR THE PROPERTY; AND

1 (III) THE NAME AND SOCIAL SECURITY NUMBER OF THE APPLICANT
2 WHO CLAIMED AN EXEMPTION FOR THE PROPERTY AND, IF APPLICABLE, THE
3 APPLICANT'S SPOUSE OR CIVIL UNION PARTNER WHO OCCUPIES THE
4 PROPERTY.

5 (b) (I) NO LATER THAN NOVEMBER 1, 2025, AND NOVEMBER 1 OF
6 EACH YEAR THEREAFTER, THE ADMINISTRATOR SHALL PROVIDE WRITTEN
7 NOTICE TO AN APPLICANT THAT THE APPLICANT IS INELIGIBLE AND THE
8 REASON FOR THE INELIGIBILITY. THE NOTICE MUST ALSO INCLUDE A
9 STATEMENT SPECIFYING THE DEADLINE AND PROCEDURES FOR PROTESTING
10 THE DENIAL OF THE CLASSIFICATION.

11 (II) AN APPLICANT WHOSE CLAIMS FOR THE CLASSIFICATION ARE
12 DENIED BY THE ADMINISTRATOR PURSUANT TO SUBSECTION (8)(b)(I) OF
13 THIS SECTION MAY FILE A WRITTEN PROTEST WITH THE ADMINISTRATOR NO
14 LATER THAN NOVEMBER 15 OF THE YEAR IN WHICH THE CLASSIFICATION
15 WAS DENIED. AN APPLICATION RETURNED BY MAIL IS DEEMED FILED ON
16 THE DATE IT IS POSTMARKED. IF THE GROUND FOR THE DENIAL IS THAT THE
17 APPLICANT, OR THE APPLICANT AND THE APPLICANT'S SPOUSE OR CIVIL
18 UNION PARTNER, CLAIMED MULTIPLE CLASSIFICATIONS, THE SOLE GROUND
19 FOR A PROTEST IS THAT THE APPLICANT, OR THE APPLICANT AND THE
20 APPLICANT'S SPOUSE OR CIVIL UNION PARTNER, FILED ONLY ONE CLAIM
21 FOR THE CLASSIFICATION, AND THE PROTEST MUST SPECIFY THE PROPERTY
22 IDENTIFIED BY THE ADMINISTRATOR IN THE NOTICE DENYING THE
23 CLASSIFICATION FOR WHICH NO CLASSIFICATION WAS CLAIMED. IF THE
24 GROUND FOR THE DENIAL IS THAT THE APPLICANT IS NOT AN
25 OWNER-OCCUPIER OF THE RESIDENTIAL REAL PROPERTY FOR WHICH THE
26 CLASSIFICATION IS CLAIMED, THE SOLE GROUNDS FOR A PROTEST ARE THAT
27 THE APPLICANT ACTUALLY IS AN OWNER-OCCUPIER AND THAT THE

1 APPLICANT QUALIFIES FOR THE CLASSIFICATION.

2 (c) NO LATER THAN DECEMBER 1, 2025, AND EACH DECEMBER 1
3 THEREAFTER, AND AFTER EXAMINING THE REPORTS SENT BY EACH
4 ASSESSOR, DENYING CLAIMS FOR CLASSIFICATIONS, AND DECIDING
5 PROTESTS IN ACCORDANCE WITH SUBSECTION (8)(b) OF THIS SECTION, THE
6 ADMINISTRATOR SHALL PROVIDE WRITTEN NOTICE TO THE ASSESSOR OF
7 EACH COUNTY IN WHICH AN APPLICATION HAS BEEN DENIED BECAUSE THE
8 APPLICANT WAS INELIGIBLE.

9 **39-1-104.7. Qualified-senior primary residence real property**
10 **- definitions.** (1) AS USED IN THIS SECTION, UNLESS THE CONTEXT
11 OTHERWISE REQUIRES:

12 (a) "OWNER-OCCUPIER" HAS THE SAME MEANING AS SET FORTH IN
13 SECTION 39-1-104.6 (1)(a).

14 (b) "SENIOR HOMESTEAD EXEMPTION" MEANS THE PROPERTY TAX
15 EXEMPTION FOR QUALIFYING SENIORS ALLOWED BY SECTION 39-3-203 (1).

16 (2) (a) FOR PROPERTY TAX YEARS COMMENCING ON OR AFTER
17 JANUARY 1, 2025, RESIDENTIAL REAL PROPERTY THAT AS OF THE
18 ASSESSMENT DATE IS USED AS THE PRIMARY RESIDENCE OF AN
19 OWNER-OCCUPIER IS CLASSIFIED AS QUALIFIED-SENIOR PRIMARY
20 RESIDENCE REAL PROPERTY, WHICH IS A SUBCLASS OF RESIDENTIAL REAL
21 PROPERTY, IF:

22 (I) THE REAL PROPERTY WOULD OTHERWISE BE CLASSIFIED AS
23 PRIMARY RESIDENCE REAL PROPERTY UNDER SECTION 39-1-104.6; AND

24 (II) THE OWNER-OCCUPIER OF THE PROPERTY PREVIOUSLY
25 QUALIFIED FOR THE SENIOR HOMESTEAD EXEMPTION FOR A DIFFERENT
26 PROPERTY AND DOES NOT QUALIFY FOR THE SENIOR HOMESTEAD
27 EXEMPTION FOR THE CURRENT PROPERTY TAX YEAR.

1 (b) REAL PROPERTY THAT MIGHT OTHERWISE BE CLASSIFIED AS
2 MULTI-FAMILY RESIDENTIAL REAL PROPERTY THAT CONTAINS A UNIT THAT
3 QUALIFIES AS QUALIFIED-SENIOR PRIMARY RESIDENCE REAL PROPERTY
4 UNDER THIS SECTION IS CLASSIFIED AS MULTI-FAMILY QUALIFIED-SENIOR
5 PRIMARY RESIDENCE REAL PROPERTY.

6 **SECTION 12.** In Colorado Revised Statutes, 39-1-111, **amend**
7 (1) and (5) as follows:

8 **39-1-111. Taxes levied by board of county commissioners -**
9 **repeal.** (1) (a) No later than December 22 in each year, the board of
10 county commissioners in each county of the state, or such other body in
11 the city and county of Denver as shall be authorized by law to levy taxes,
12 or the city council of the city and county of Broomfield, shall, either by
13 an order to be entered in the record of its proceedings or by written
14 approval, levy against the valuation for assessment of all taxable property
15 located in the county on the assessment date, and in the various towns,
16 cities, school districts, and special districts within such county, the
17 requisite property taxes for all purposes required by law.

18 (b) (I) FOR THE PROPERTY TAX YEAR COMMENCING ON JANUARY
19 1, 2023, THE DEADLINE SET FORTH IN SUBSECTION (1)(a) OF THIS SECTION
20 IS POSTPONED FROM DECEMBER 22, 2023, TO JANUARY 12, 2024.

21 (II) THIS SUBSECTION (1)(b) IS REPEALED, EFFECTIVE JULY 1, 2025.

22 (5) (a) If, after certification of the valuation for assessment
23 pursuant to section 39-5-128 and notification of total actual value
24 pursuant to section 39-5-121 (2)(b) but prior to December 10, changes in
25 such valuation for assessment or total actual value are made by the
26 assessor, the assessor shall send a single notification to the board of
27 county commissioners or other body authorized by law to levy property

1 taxes, to the division of local government, and to the department of
2 education that includes all of such changes that have occurred during said
3 specified period of time. Upon receipt of such notification, such board or
4 body shall make adjustments in the tax levies to ensure compliance with
5 section 29-1-301, ~~C.R.S.~~, if applicable, and may make adjustments in
6 order that the same amount of revenue be raised. A copy of any
7 adjustment to tax levies shall be transmitted to the administrator and
8 assessor. Nothing in this subsection (5) shall be construed as conferring
9 the authority to exceed statutorily imposed mill levy or revenue-raising
10 limits.

11 (b) (I) FOR THE PROPERTY TAX YEAR COMMENCING ON JANUARY
12 1, 2023, THE DEADLINE SET FORTH IN SUBSECTION (5)(a) OF THIS SECTION
13 IS POSTPONED FROM DECEMBER 10, 2023, TO DECEMBER 29, 2023.

14 (II) THIS SUBSECTION (5)(b) IS REPEALED, EFFECTIVE JULY 1, 2025.

15 **SECTION 13.** In Colorado Revised Statutes, 39-5-128, **amend**
16 (1) as follows:

17 **39-5-128. Certification of valuation for assessment - repeal.**

18 (1) (a) No later than August 25 of each year, the assessor shall certify to
19 the department of education, to the clerk of each town and city, to the
20 secretary of each school district, and to the secretary of each special
21 district within the assessor's county the total valuation for assessment of
22 all taxable property located within the territorial limits of each such town,
23 city, school district, or special district and shall notify each such clerk,
24 secretary, and board to officially certify the levy of such town, city,
25 school district, or special district to the board of county commissioners no
26 later than December 15. The assessor shall also certify to the secretary of
27 each school district the actual value of the taxable property in the district.

1 (b) (I) FOR THE PROPERTY TAX YEAR COMMENCING ON JANUARY
2 1, 2023, THE DEADLINE SET FORTH IN SUBSECTION (1)(a) OF THIS SECTION
3 FOR OFFICIALLY CERTIFYING A LEVY IS POSTPONED FROM DECEMBER 15,
4 2023, TO JANUARY 5, 2024.

5 (II) THIS SUBSECTION (1)(b) IS REPEALED, EFFECTIVE JULY 1, 2025.

6 **SECTION 14.** In Colorado Revised Statutes, 39-3-210, **amend**
7 (1)(a), (1)(e), (3), (4)(b), (5), and (6); **repeal and reenact, with**
8 **amendments**, (2) and (4)(a); and **add** (1)(a.3), (1)(b.5), (1)(d.5),
9 (1)(e.5), (1)(f.3), (1)(f.7), (2.5), (4.5), and (5.5) as follows:

10 **39-3-210. Reporting of property tax revenue reductions -**
11 **reimbursement of local governmental entities - definitions - local**
12 **government backfill cash fund - creation - repeal.** (1) As used in this
13 section, unless the context otherwise requires:

14 (a) "Additional state revenues" means the ~~lesser of two hundred~~
15 ~~forty million dollars or the total amount of the~~ state revenues in excess of
16 the limitation on state fiscal year spending imposed by section 20 (7)(a)
17 of article X of the state constitution that the state is required to refund
18 under section 20 (7)(d) of article X of the state constitution, including any
19 amount specified in section 24-77-103.8, that ~~exceeds~~ EXCEED the
20 ~~amounts~~ AMOUNT projected to be refunded as required by ~~sections~~
21 ~~39-3-209 and 39-22-627~~ SECTION 39-3-209 for the state fiscal year
22 commencing on July 1, 2022.

23 (a.3) "COUNTY" INCLUDES A CITY AND COUNTY.

24 (b.5) "FUND" MEANS THE LOCAL GOVERNMENT BACKFILL CASH
25 FUND CREATED IN SUBSECTION (5.5)(a) OF THIS SECTION.

26 (d.5) "LOCAL GOVERNMENTAL ENTITY" MEANS A GOVERNMENTAL
27 ENTITY AUTHORIZED BY LAW TO IMPOSE AD VALOREM TAXES ON TAXABLE

1 PROPERTY LOCATED WITHIN ITS TERRITORIAL LIMITS.

2 (e) "Municipality" means a home rule or statutory city, town, OR
3 territorial charter city. ~~or city and county.~~

4 (e.5) "PROPOSITION HH GENERAL FUND EXEMPT ACCOUNT" MEANS
5 THE PROPOSITION HH GENERAL FUND EXEMPT ACCOUNT CREATED IN
6 SECTION 24-77-203 (3)(a).

7 (f.3) "SELECT SPECIAL DISTRICT" MEANS A FIRE DISTRICT, HEALTH
8 SERVICE DISTRICT, WATER DISTRICT, SANITATION DISTRICT, OR LIBRARY
9 DISTRICT.

10 (f.7) "TOTAL PROPERTY TAX REVENUE REDUCTION" MEANS THE
11 AMOUNT THAT A TREASURER CALCULATES FOR A LOCAL GOVERNMENTAL
12 ENTITY IN ACCORDANCE WITH SUBSECTION (2) OF THIS SECTION.

13 (2) (a) (I) FOR THE PROPERTY TAX YEARS COMMENCING ON
14 JANUARY 1, 2023, AND JANUARY 1, 2024, EACH TREASURER SHALL
15 CALCULATE THE TOTAL PROPERTY TAX REVENUE REDUCTION FOR EACH
16 LOCAL GOVERNMENTAL ENTITY, EXCLUDING SCHOOL DISTRICTS, WITHIN
17 THE TREASURER'S COUNTY AS A RESULT OF ALL OF THE CUMULATIVE
18 TEMPORARY REDUCTIONS IN VALUATION FOR ASSESSMENT MADE IN
19 SENATE BILL 22-238, ENACTED IN 2022, AND THIS SENATE BILL 23-____.

20 (II) FOR THE PROPERTY TAX YEARS COMMENCING ON AND AFTER
21 JANUARY 1, 2025, BUT BEFORE JANUARY 1, 2033, EACH TREASURER SHALL
22 CALCULATE THE TOTAL PROPERTY TAX REVENUE REDUCTION FOR EACH
23 LOCAL GOVERNMENTAL ENTITY, EXCLUDING SCHOOL DISTRICTS, WITHIN
24 THE TREASURER'S COUNTY AS A RESULT OF ALL OF THE TEMPORARY
25 REDUCTIONS IN VALUATION FOR ASSESSMENT MADE IN THIS SENATE BILL
26 23-____.

27 (b) (I) WHEN CALCULATING THE TOTAL PROPERTY TAX REVENUE

1 REDUCTION FOR A LOCAL GOVERNMENTAL ENTITY FOR A PROPERTY TAX
2 YEAR AS REQUIRED BY THIS SECTION, A TREASURER SHALL USE THE LOCAL
3 GOVERNMENTAL ENTITY'S MILL LEVY FOR THE PROPERTY TAX YEAR
4 COMMENCING ON JANUARY 1, 2022, EXCLUDING ANY MILLS LEVIED TO
5 PROVIDE FOR THE PAYMENT OF BONDS AND INTEREST THEREON OR FOR
6 THE PAYMENT OF ANY OTHER CONTRACTUAL OBLIGATION THAT HAS BEEN
7 APPROVED BY A MAJORITY OF THE QUALIFIED ELECTORS OF THE LOCAL
8 GOVERNMENTAL ENTITY.

9 (II) NOTWITHSTANDING SUBSECTION (2)(a) OF THIS SECTION, A
10 TREASURER IS NOT REQUIRED TO DETERMINE THE TOTAL PROPERTY TAX
11 REVENUE REDUCTION FOR A LOCAL GOVERNMENTAL ENTITY THAT IS
12 INELIGIBLE TO RECEIVE A REIMBURSEMENT FROM THE STATE FOR A
13 PROPERTY TAX YEAR IN ACCORDANCE WITH SUBSECTION (4.5)(b)(II) OF
14 THIS SECTION.

15 (c) (I) FOR THE PROPERTY TAX YEARS COMMENCING ON AND AFTER
16 JANUARY 1, 2023, BUT BEFORE JANUARY 1, 2033, EACH ASSESSOR SHALL
17 CALCULATE THE DIFFERENCE IN ASSESSED VALUE OF REAL PROPERTY FOR
18 EACH LOCAL GOVERNMENTAL ENTITY WITHIN THE ASSESSOR'S COUNTY
19 FOR THE PROPERTY TAX YEAR COMMENCING ON JANUARY 1, 2022, AND
20 THE PROPERTY TAX YEAR.

21 (II) NOTWITHSTANDING SUBSECTION (2)(c)(I) OF THIS SECTION, AN
22 ASSESSOR IS NOT REQUIRED TO CALCULATE THE DIFFERENCE IN ASSESSED
23 VALUE OF REAL PROPERTY FOR A LOCAL GOVERNMENTAL ENTITY,
24 EXCLUDING A COUNTY, THAT IS INELIGIBLE TO RECEIVE A REIMBURSEMENT
25 FROM THE STATE FOR A PROPERTY TAX YEAR IN ACCORDANCE WITH
26 SUBSECTION (4.5)(b)(II) OF THIS SECTION.

27 (d) FOR PURPOSES OF THIS SECTION, A LOCAL GOVERNMENTAL

1 ENTITY WITHIN A COUNTY INCLUDES THE COUNTY ITSELF.

2 (2.5) (a) ON OR BEFORE SEPTEMBER 15, 2023, EACH TREASURER
3 SHALL REPORT THE FOLLOWING ESTIMATES TO THE ADMINISTRATOR FOR
4 ALL LOCAL GOVERNMENTAL ENTITIES WITHIN THE TREASURER'S COUNTY:

5 (I) THE TOTAL PROPERTY TAX REVENUE REDUCTION FOR THE
6 PROPERTY TAX YEAR COMMENCING ON JANUARY 1, 2023, THAT IS BASED
7 ON THE:

8 (A) TEMPORARY REDUCTIONS IN THE VALUATION FOR ASSESSMENT
9 MADE IN SENATE BILL 22-238, ENACTED IN 2022; AND

10 (B) CUMULATIVE TEMPORARY REDUCTIONS IN THE VALUATION
11 FOR ASSESSMENT MADE IN SENATE BILL 22-238, ENACTED IN 2022, AND
12 THIS SENATE BILL 23-_____, IF A MAJORITY OF VOTERS APPROVE THE
13 BALLOT ISSUE REFERRED IN ACCORDANCE WITH SECTION 24-77-202; AND

14 (II) THE INCREASE IN ASSESSED VALUE FROM THE PROPERTY TAX
15 YEAR COMMENCING ON JANUARY 1, 2022, TO THE PROPERTY TAX YEAR
16 COMMENCING ON JANUARY 1, 2023, THAT IS BASED ON THE:

17 (A) TEMPORARY REDUCTIONS IN THE VALUATION FOR ASSESSMENT
18 MADE IN SENATE BILL 22-238, ENACTED IN 2022; AND

19 (B) CUMULATIVE TEMPORARY REDUCTIONS IN THE VALUATION
20 FOR ASSESSMENT MADE IN SENATE BILL 22-238, ENACTED IN 2022, AND
21 THIS SENATE BILL 23-_____, IF A MAJORITY OF VOTERS APPROVE THE
22 BALLOT ISSUE REFERRED IN ACCORDANCE WITH SECTION 24-77-202.

23 (b) THE ADMINISTRATOR SHALL PROVIDE THE ESTIMATES
24 RECEIVED IN ACCORDANCE WITH SUBSECTION (2.5)(a) OF THIS SECTION TO
25 THE DEPARTMENT OF REVENUE AND LEGISLATIVE COUNCIL STAFF.

26 (3) No later than March 1, 2024, ~~each~~ AND MARCH 1 OF THE NEXT
27 NINE YEARS THEREAFTER, A treasurer shall report the ~~amounts specified~~

1 ~~in subsection (2) of this section, as applicable~~ TOTAL PROPERTY TAX
2 REVENUE REDUCTION AND THE INCREASE IN ASSESSED VALUE FROM THE
3 PROPERTY TAX YEAR COMMENCING ON JANUARY 1, 2022, TO THE PRIOR
4 PROPERTY TAX YEAR FOR EACH LOCAL GOVERNMENTAL ENTITY WITHIN
5 THE TREASURER'S COUNTY and the basis for the amounts to the
6 administrator. ~~and~~ The administrator may require a treasurer to provide
7 additional information as necessary to evaluate the accuracy of the
8 amounts reported. The administrator shall confirm that the reported
9 amounts are correct or rectify the amounts, if necessary. The
10 administrator shall then forward the correct amounts for ~~each~~ A county to
11 the state treasurer to enable the state treasurer to issue a reimbursement
12 warrant to ~~each~~ A treasurer in accordance with subsection (4) of this
13 section.

14 (4) (a) (I) NO LATER THAN APRIL 15, 2024, THE STATE TREASURER
15 SHALL ISSUE A WARRANT, TO BE PAID UPON DEMAND FROM ADDITIONAL
16 STATE REVENUES FOR THE STATE FISCAL YEAR COMMENCING ON JULY 1,
17 2022, AND, IF NECESSARY, FROM OTHER MONEY IN THE GENERAL FUND, TO
18 EACH TREASURER THAT IS EQUAL TO THE TOTAL REIMBURSEMENT
19 AMOUNTS SET FORTH IN SUBSECTION (4.5) OF THIS SECTION FOR ALL
20 LOCAL GOVERNMENTAL ENTITIES WITHIN THE TREASURER'S COUNTY FOR
21 THE PROPERTY TAX YEAR COMMENCING ON JANUARY 1, 2023.

22 (II) NO LATER THAN APRIL 15, 2025, AND APRIL 15 OF THE NEXT
23 EIGHT YEARS THEREAFTER, THE STATE TREASURER SHALL ISSUE A
24 WARRANT, TO BE PAID UPON DEMAND FIRST FROM THE FUND, AND, IF
25 NECESSARY, FROM STATE REVENUES IN THE PROPOSITION HH GENERAL
26 FUND EXEMPT ACCOUNT TO EACH TREASURER THAT IS EQUAL TO THE
27 TOTAL REIMBURSEMENT AMOUNTS SET FORTH IN SUBSECTION (4.5) OF

1 THIS SECTION FOR ALL LOCAL GOVERNMENTAL ENTITIES WITHIN THE
2 TREASURER'S COUNTY FOR THE PRIOR PROPERTY TAX YEAR.

3 (b) Each treasurer shall distribute the total amount received from
4 the state treasurer to the local governmental entities, excluding school
5 districts, within the treasurer's county as if the revenues had been
6 regularly paid as property tax, but so that the local governmental entities
7 only receive the amounts determined pursuant to ~~subsection (4)(a)~~ of this
8 section.

9 (4.5) (a) EXCEPT AS SET FORTH IN SUBSECTIONS (4.5)(b) AND
10 (4.5)(c) OF THIS SECTION, THE REIMBURSEMENT FOR A LOCAL
11 GOVERNMENTAL ENTITY, EXCLUDING SCHOOL DISTRICTS, FOR A PROPERTY
12 TAX YEAR COMMENCING ON OR AFTER JANUARY 1, 2023, BUT BEFORE
13 JANUARY 1, 2033, IS EQUAL TO:

14 (I) FOR COUNTIES WITH A POPULATION THAT IS THREE HUNDRED
15 THOUSAND OR LESS:

16 (A) THE ENTIRE AMOUNT OF THE TOTAL PROPERTY TAX REVENUE
17 REDUCTION FOR EACH LOCAL GOVERNMENTAL ENTITY WITHIN A COUNTY
18 THAT HAD AN INCREASE OF LESS THAN TEN PERCENT IN THE ASSESSED
19 VALUE OF REAL PROPERTY FROM THE PROPERTY TAX YEAR COMMENCING
20 ON JANUARY 1, 2022, TO THE PROPERTY TAX YEAR FOR WHICH THE
21 REIMBURSEMENT IS BEING CALCULATED; AND

22 (B) NINETY PERCENT OF THE TOTAL PROPERTY TAX REVENUE
23 REDUCTION FOR EACH LOCAL GOVERNMENTAL ENTITY THAT HAD AN
24 INCREASE OF TEN PERCENT OR MORE IN THE ASSESSED VALUE OF REAL
25 PROPERTY FROM THE PROPERTY TAX YEAR COMMENCING ON JANUARY 1,
26 2022, TO THE PROPERTY TAX YEAR FOR WHICH THE REIMBURSEMENT IS
27 BEING CALCULATED;

1 (II) FOR COUNTIES WITH A POPULATION GREATER THAN THREE
2 HUNDRED THOUSAND:

3 (A) THE ENTIRE AMOUNT OF THE TOTAL PROPERTY TAX REVENUE
4 REDUCTION FOR EACH MUNICIPALITY OR SELECT SPECIAL DISTRICT THAT
5 HAD AN INCREASE OF LESS THAN TEN PERCENT IN THE ASSESSED VALUE OF
6 REAL PROPERTY FROM THE PROPERTY TAX YEAR COMMENCING ON
7 JANUARY 1, 2022, TO THE PROPERTY TAX YEAR FOR WHICH THE
8 REIMBURSEMENT IS BEING CALCULATED;

9 (B) NINETY PERCENT OF THE TOTAL PROPERTY TAX REVENUE
10 REDUCTION FOR EACH MUNICIPALITY OR SELECT SPECIAL DISTRICT THAT
11 HAD AN INCREASE OF TEN PERCENT OR MORE IN THE ASSESSED VALUE OF
12 REAL PROPERTY FROM THE PROPERTY TAX YEAR COMMENCING ON
13 JANUARY 1, 2022, TO THE PROPERTY TAX YEAR FOR WHICH THE
14 REIMBURSEMENT IS BEING CALCULATED; AND

15 (C) SIXTY-FIVE PERCENT OF THE TOTAL PROPERTY TAX REVENUE
16 REDUCTION FOR ALL LOCAL GOVERNMENTAL ENTITIES BESIDES A
17 MUNICIPALITY OR A SELECT SPECIAL DISTRICT.

18 (b) FOR PROPERTY TAX YEARS COMMENCING ON AND AFTER
19 JANUARY 1, 2024, A LOCAL GOVERNMENTAL ENTITY IS INELIGIBLE TO
20 RECEIVE REIMBURSEMENT UNDER THIS SECTION IF:

21 (I) THE LOCAL GOVERNMENTAL ENTITY HAS AN INCREASE OF
22 TWENTY PERCENT OR MORE IN THE ASSESSED VALUE OF REAL PROPERTY
23 FROM THE PROPERTY TAX YEAR COMMENCING ON JANUARY 1, 2022, TO
24 THE PROPERTY TAX YEAR FOR WHICH A REIMBURSEMENT AMOUNT IS
25 CALCULATED; OR

26 (II) THE LOCAL GOVERNMENTAL ENTITY WAS INELIGIBLE TO
27 RECEIVE A REIMBURSEMENT UNDER SUBSECTION (4.5)(b)(I) OF THIS

1 SECTION FOR A PRIOR PROPERTY TAX YEAR.

2 (c) (I) THE TOTAL STATEWIDE REIMBURSEMENT SET FORTH IN
3 SUBSECTION (4.5)(a) OF THIS SECTION SHALL NOT EXCEED:

4 (A) FOR THE PROPERTY TAX YEAR COMMENCING ON JANUARY 1,
5 2024, THE TOTAL OF THE AMOUNT IN THE FUND AND AN AMOUNT EQUAL
6 TO FIFTEEN PERCENT OF THE AMOUNT IN THE PROPOSITION HH GENERAL
7 FUND EXEMPT ACCOUNT FOR THE 2023-24 FISCAL YEAR; AND

8 (B) FOR A PROPERTY TAX YEAR COMMENCING ON OR AFTER
9 JANUARY 1, 2025, BUT BEFORE JANUARY 1, 2033, THE TOTAL OF THE
10 AMOUNT IN THE FUND AND IN THE PROPOSITION HH GENERAL FUND
11 EXEMPT ACCOUNT THAT IS AVAILABLE FOR THE REIMBURSEMENT
12 WARRANTS FOR THE PROPERTY TAX YEAR.

13 (II) IF THE TOTAL OF ALL REIMBURSEMENTS STATEWIDE WOULD
14 OTHERWISE EXCEED THE LIMIT SET FORTH IN SUBSECTION (4.5)(c)(I) OF
15 THIS SECTION FOR A PROPERTY TAX YEAR, THE STATE TREASURER SHALL
16 PROPORTIONALLY REDUCE THE REIMBURSEMENT AMOUNT FOR EACH
17 ELIGIBLE LOCAL GOVERNMENTAL ENTITY SO THAT THE TOTAL OF ALL
18 REIMBURSEMENTS STATEWIDE EQUALS THE LIMIT FOR THE PROPERTY TAX
19 YEAR.

20 (III) THE STATE TREASURER SHALL REDUCE A LOCAL
21 GOVERNMENTAL ENTITY'S REIMBURSEMENT AS NECESSARY TO AVOID THE
22 LOCAL GOVERNMENTAL ENTITY EXCEEDING ITS FISCAL YEAR SPENDING
23 LIMIT UNDER SECTION 20 (7)(b) OF ARTICLE X OF THE STATE
24 CONSTITUTION FOR THE FISCAL YEAR.

25 (d) THE REIMBURSEMENT AMOUNTS SET FORTH IN THIS SECTION
26 ARE BASED ON THE AMOUNTS THAT THE ADMINISTRATOR REPORTS TO THE
27 TREASURER IN ACCORDANCE WITH SUBSECTION (3) OF THIS SECTION. FOR

1 PURPOSES OF THIS SUBSECTION (4.5), POPULATION IS DETERMINED
2 PURSUANT TO THE MOST RECENTLY PUBLISHED POPULATION ESTIMATES
3 FROM THE STATE DEMOGRAPHER APPOINTED BY THE EXECUTIVE DIRECTOR
4 OF THE DEPARTMENT OF LOCAL AFFAIRS.

5 (e) IF A LOCAL GOVERNMENTAL ENTITY IS LOCATED IN MORE THAN
6 ONE COUNTY, THEN THE PART LOCATED IN EACH COUNTY IS TREATED LIKE
7 ANY OTHER LOCAL GOVERNMENTAL ENTITY LOCATED WITHIN THE COUNTY
8 FOR THE PURPOSE OF DETERMINING THE REIMBURSEMENT AMOUNT UNDER
9 SUBSECTION (4.5)(a) OF THIS SECTION, BUT, FOR THE PURPOSE OF
10 APPLYING SUBSECTION (4.5)(b) OF THIS SECTION, THE ENTIRE LOCAL
11 GOVERNMENTAL ENTITY IS CONSIDERED.

12 (5) On or before March 21, 2024, based on the information
13 available as of that date, the property tax administrator shall submit a
14 report to the general assembly describing the ~~aggregate reduction of local~~
15 ~~government~~ TOTAL property tax revenue ~~during~~ REDUCTION FOR ALL
16 LOCAL GOVERNMENTAL ENTITIES STATEWIDE FOR the property tax year
17 commencing on January 1, 2023. ~~as a result of the changes made in~~
18 ~~Senate Bill 22-238, enacted in 2022, that reduced valuations for~~
19 ~~assessment set forth pursuant to sections 39-1-104 (1)(b) and (1.8)(b);~~
20 ~~39-1-104.2 (3)(q)(II) and (3)(r)(II), and 39-3-104.3 (2).~~

21 (5.5) (a) THE LOCAL GOVERNMENT BACKFILL CASH FUND IS
22 HEREBY CREATED IN THE STATE TREASURY. THE FUND CONSISTS OF
23 MONEY TRANSFERRED TO THE FUND IN ACCORDANCE WITH SUBSECTION
24 (5.5)(b) OF THIS SECTION. THE STATE TREASURER SHALL CREDIT ALL
25 INTEREST AND INCOME DERIVED FROM THE DEPOSIT AND INVESTMENT OF
26 MONEY IN THE LOCAL GOVERNMENT BACKFILL CASH FUND TO THE FUND.

27 (b) ON FEBRUARY 1, 2024, THE STATE TREASURER SHALL

1 TRANSFER ONE HUNDRED TWENTY-EIGHT MILLION DOLLARS FROM THE
2 GENERAL FUND TO THE FUND.

3 (c) THE MONEY IN THE FUND IS AVAILABLE FOR THE STATE
4 TREASURER TO PAY THE WARRANTS REQUIRED TO BE ISSUED IN
5 ACCORDANCE WITH SUBSECTION (4)(a)(II) OF THIS SECTION.

6 (6) This section is repealed, effective ~~July 1, 2025~~ JULY 1, 2035.

7 **SECTION 15.** In Colorado Revised Statutes, **amend** 39-5-129 as
8 follows:

9 **39-5-129. Delivery of tax warrant - public inspection - repeal.**

10 (1) As soon as practicable after the requisite taxes for the year have been
11 levied but in no event later than January 10 of each year, the assessor
12 shall deliver the tax warrant under ~~his~~ THE hand and official seal OF THE
13 ASSESSOR to the treasurer, which shall be made readily available to the
14 general public during the collection year in a convenient location in the
15 courthouse. The assessor shall retain one or more true copies thereof,
16 which shall be made readily available to the general public during the
17 collection year in a convenient location in the courthouse. Such tax
18 warrant shall set forth the assessment roll, reciting the persons in whose
19 names taxable property in the county has been listed, the class of such
20 taxable property and the valuation for assessment thereof, the several
21 taxes levied against such valuation, and the amount of such taxes
22 extended against each separate valuation. At the end of the warrant, the
23 aggregate of all taxes levied shall be totaled, balanced, and prorated to the
24 several funds of each levying authority, and the treasurer shall be
25 commanded to collect all such taxes.

26 (2) (a) FOR THE PROPERTY TAX YEAR COMMENCING ON JANUARY
27 1, 2023, THE DEADLINE SET FORTH IN SUBSECTION (1) OF THIS SECTION IS

1 POSTPONED FROM JANUARY 10, 2024, TO FEBRUARY 2, 2024.

2 (b) THIS SUBSECTION (2) IS REPEALED, EFFECTIVE JULY 1, 2025.

3 **SECTION 16.** In Colorado Revised Statutes, 39-10-103, **add**

4 (1)(c) as follows:

5 **39-10-103. Tax statement - repeal.** (1) (c) (I) FOR THE
6 PROPERTY TAX YEAR COMMENCING ON JANUARY 1, 2023, THE TREASURER
7 SHALL MAIL THE STATEMENT AS SOON AS PRACTICABLE AFTER FEBRUARY
8 1, 2024.

9 (II) THIS SUBSECTION (1)(c) IS REPEALED, EFFECTIVE JULY 1, 2025.

10 **SECTION 17.** In Colorado Revised Statutes, 39-21-113, **amend**

11 (24) as follows:

12 **39-21-113. Reports and returns - rule - repeal.**

13 (24) Notwithstanding any other provision of this section, the executive
14 director, after receiving from the property tax administrator a list of
15 individuals who are claiming EITHER the property tax exemptions for
16 qualifying seniors and disabled veterans allowed under part 2 of article
17 3 of this ~~title~~ TITLE 39 OR THE PRIMARY RESIDENCE REAL PROPERTY OR
18 QUALIFIED-SENIOR PRIMARY RESIDENCE REAL PROPERTY CLASSIFICATION
19 FOR THE PROPERTY, shall provide to the property tax administrator
20 information pertaining to the listed individuals, including their names,
21 social security numbers, marital and income tax filing status, and
22 residency status, needed by the administrator to verify that the exemption
23 OR CLASSIFICATION is allowed only to applicants who satisfy legal
24 requirements for claiming it. The administrator and the administrator's
25 agents, clerks, and employees shall keep all information received from the
26 executive director confidential, and any individual who fails to do so is
27 guilty of a misdemeanor and subject to punishment as specified in

1 subsection (6) of this section.

2 **SECTION 18.** In Colorado Revised Statutes, 39-22-2002, **add**
3 (5.5) as follows:

4 **39-22-2002. Fiscal years commencing on or after July 1, 1998**
5 **- state sales tax refund - authority of executive director - repeal.**

6 (5.5) (a) IN ADDITION TO THE CALCULATIONS OTHERWISE REQUIRED BY
7 THIS SECTION, NO LATER THAN OCTOBER 1, 2023, THE EXECUTIVE
8 DIRECTOR SHALL CALCULATE THE AMOUNT OF THE IDENTICAL INDIVIDUAL
9 REFUND CALCULATED PURSUANT TO SUBSECTION (2)(a) OF THIS SECTION
10 AND THE INCOME CLASSIFICATIONS AND THE AMOUNT OF THE REFUND
11 ALLOWED FOR EACH INCOME CLASSIFICATION PURSUANT TO SECTION
12 39-22-2003 (3) FOR THE TAXABLE YEAR COMMENCING DURING THE FISCAL
13 YEAR BASED ON THE AMOUNT OF EXCESS STATE REVENUES THAT WILL BE
14 REFUNDED UNDER SECTION 39-3-210 WITH OR WITHOUT THE PROVISIONS
15 OF THIS SENATE BILL 23-____ TAKING EFFECT.

16 (b) THIS SUBSECTION (5.5) IS REPEALED, EFFECTIVE JULY 1, 2024.

17 **SECTION 19.** In Colorado Revised Statutes, 22-54-114, **add (10)**
18 **as follows:**

19 **22-54-114. State public school fund - repeal. (10) (a) ON**
20 **FEBRUARY 1, 2024, THE STATE TREASURER SHALL TRANSFER**
21 **SEVENTY-TWO MILLION DOLLARS FROM THE GENERAL FUND TO THE STATE**
22 **PUBLIC SCHOOL FUND FOR THE PURPOSE OF OFFSETTING REDUCTIONS IN**
23 **SCHOOL DISTRICT PROPERTY TAX REVENUE.**

24 (b) **THIS SUBSECTION (10) IS REPEALED, EFFECTIVE JULY 1, 2025.**

25 **SECTION 20.** In Colorado Revised Statutes, 39-5-121, **add (3.5)**
26 **as follows:**

27 (3.5) (a) **ON OR BEFORE MARCH 1, 2024, THE ADMINISTRATOR**

1 SHALL PREPARE A DESCRIPTION OF THE PROPERTY TAX CLASSES AND
2 SUBCLASSES SET FORTH IN SECTIONS 39-1-104 AND 39-1-104.2, THE
3 VALUATION FOR ASSESSMENT FOR THE DIFFERENT CLASSES AND
4 SUBCLASSES, THE PROPERTY TAX YEARS THAT THE VARIOUS VALUATIONS
5 FOR ASSESSMENT APPLY, AND INFORMATION ABOUT THE APPLICATION
6 PROCESS SET FORTH IN SECTION 39-1-104.6 (3). THE ASSESSOR SHALL
7 EITHER INCLUDE THE DESCRIPTION ALONG WITH A NOTICE OF VALUATION
8 THAT IS REQUIRED TO BE SENT IN THE 2024 CALENDAR YEAR UNDER
9 SUBSECTION (1) OR (1.5) OF THIS SECTION OR MAKE IT AVAILABLE ON THE
10 ASSESSOR'S WEBSITE.

11 (b) THIS SUBSECTION (3.5) IS REPEALED, EFFECTIVE JULY 1, 2025.

12 SECTION 21. In Colorado Revised Statutes, 39-10-104.5,
13 amend (6) as follows:

14 39-10-104.5. Payment dates - optional payment dates - failure
15 to pay - delinquency. (6) (a) There shall be no installment payment of
16 property taxes totaling less than twenty-five dollars, and such taxes shall
17 be paid in full no later than the last day of April. If such taxes are not paid
18 prior to the last day of April, delinquent interest on the amount thereof
19 shall accrue at the rate of one percent per month from the first day of May
20 until the date of payment.

21 (b) (I) FOR THE PROPERTY TAX COMMENCING ON JANUARY 1, 2023,
22 IF A TAXPAYER ELECTS TO PAY THE PROPERTY TAXES IN TWO EQUAL
23 INSTALLMENTS, THE FIRST INSTALLMENT MUST BE PAID ON OR BEFORE
24 MARCH 31, 2024. DELINQUENT INTEREST ON THE FIRST INSTALLMENT
25 ACCRUES FROM APRIL 1, 2024, AS OTHERWISE SET FORTH IN THIS SECTION.

26 (II) THIS SUBSECTION (6)(b) IS REPEALED, EFFECTIVE JULY 1, 2026.

27 SECTION 22. Appropriation. (1) For the 2023-24 state fiscal

1 year, \$207,717 is appropriated to the department of local affairs. This
2 appropriation is from the general fund. To implement this act, the
3 department may use this appropriation for the purchase of information
4 technology services.

5 (2) For the 2023-24 state fiscal year, \$207,717 is appropriated to
6 the office of the governor for use by the office of information technology.
7 This appropriation is from reappropriated funds received from the
8 department of local affairs under subsection (1) of this section. To
9 implement this act, the office may use this appropriation to provide
10 information technology services for the department of local affairs.

11 (3) For the 2023-24 state fiscal year, \$92,162,222 is appropriated
12 to the department of education. This appropriation is from the state
13 education fund created in section section 17 (4)(a) of article IX of the
14 state constitution. To implement this act, the department may use this
15 appropriation for the state share of districts' total program funding.

16 **SECTION 23. Effective date.** (1) Except as otherwise provided
17 in subsection (2) of this section, this act takes effect only if a majority of
18 voters approve the ballot issue referred in accordance with section
19 24-77-202, Colorado Revised Statutes, enacted in section 3 of this act,
20 and in which case this act takes effect on the date of the official
21 declaration of the vote thereon by the governor.

22 (2) Section 3, section 39-3-210 (1)(a.3), (1)(e), and (2.5) enacted
23 or amended in section 14 of this act, section 18, this section 23, and
24 section 24 of this act take effect upon passage.

25 **SECTION 24. Safety clause.** The general assembly hereby finds,
26 determines, and declares that this act is necessary for the immediate
27 preservation of the public peace, health, or safety.

**JUDGES UNOFFICIAL ABSTRACT OF VOTES FOR THE
CRESTED BUTTE FIRE PROTECTION DISTRICT**

For the regular election held for the Crested Butte Fire Protection District on May 2, 2023.

Ballots counted for the following candidates (numeric only):

CANDIDATES FOR 4-YEAR TERM

VOTES COUNTED

John M. Dietrich

370

Kristina Kempin

415

William Eric Tunkey

411

Ballots counted for the following Ballot Issues (numeric only):

Crested Butte Fire Protection District Ballot Issue A

WITHOUT INCREASING TAXES, SHALL THE CRESTED BUTTE FIRE PROTECTION DISTRICT BE AUTHORIZED TO COLLECT, RETAIN AND SPEND ALL REVENUES AND OTHER FUNDS FROM ANY REVENUE SOURCE (INCLUDING THOSE FROM TAXES, STATE GRANTS, AND AUTHORIZED FEES), EFFECTIVE IN FISCAL YEAR 2023, AND CONTINUING THEREAFTER, AND SHALL THE REVENUES FROM ALL SUCH SOURCES BE SPENT AS VOTER APPROVED REVENUE AND EXPENDITURE CHANGES AND AS AN EXCEPTION TO THE LIMITS WHICH WOULD OTHERWISE APPLY, INCLUDING WITHOUT LIMITATION, ARTICLE X, SECTION 20 OF THE COLORADO CONSTITUTION, AND SECTION 29-1-301, C.R.S.?

VOTES COUNTED FOR (YES):

398

VOTES COUNTED AGAINST (NO)

219

Dated this 2nd day of May, 2023.



Election Judge



Election Judge



Election Judge

PROCEDURAL INSTRUCTIONS: Use for either polling place or mail ballot election. Post immediately upon completion of the count and within 48-hours of the closing the polls in a conspicuous place that may be seen outside the building. C.R.S. 1-13.5-615

Town of Crested Butte

P.O. Box 39 Crested Butte, Colorado 81224

-A National Historic District-

May 2, 2023

Phone: (970) 349-5338
FAX: (970) 349-6626
www.townofcrestedbutte.com

Sean Caffrey
Chief Executive Officer and Commissioner
Crested Butte Fire Protection District
Sent via email: scaffrey@cbfpd.org

Re: Request for Sanitary Sewer Service Outside of Municipal Boundaries

Dear Sean,

I am writing to you to confirm the Crested Butte Fire Protection District's (CBFPD) intent to request the extension of the Town of Crested Butte's (Town) sanitary sewer infrastructure to serve the anticipated CBFPD's fire department campus on Gothic Road.

Town Council is willing to consider amending Section 13-1-280(e)(2)b of the Municipal Code to allow extension of sewer service to CBFPD campus without annexation. Amendment of the Municipal Code to allow extraterritorial extension of sewer service will only be considered if certain conditions are met. Based on recent discussions between Town Staff and CBFPD, the following conditions were developed as a basis for the extension of sanitary sewer service.

1. The sewer lift station will be sized to accommodate anticipated development of the adjacent TP1 parcel, which the main will pass through. The Town would assume ownership and maintenance of the lift station following completion and warranty period.
2. CBFPD will provide for a trail corridor connecting Slate River Subdivision TP7 to the former bridge abutment on Parcel 2 of the CBFPD Subdivision Exemption Plat. The alignment will be mutually agreed upon by both parties and should reasonably allow for Town's construction of a non-motorized trail and bridge across the Slate River. CBFPD agrees that during the site planning process prior to building permit issuance they will identify a final trail location commencing at TP7 and terminating at the old bridge abutment on CBFPD Subdivision Exemption Plat Parcel 2 for an 8 foot wide trail and during construction rough in the platform for the trail. The Town shall complete the trail and execute a maintenance agreement for the same. The general location of the proposed trail alignment is further illustrated on **Exhibit A**.
3. CBFPD will commit to engaging the community in discussion and consider public comment regarding the use of combustibles in the future training tower 6-9 months prior to construction of the tower.

4. CBFPD will construct an 8' wide public concrete sidewalk along the property frontage concurrent with construction of a comparable sidewalk along the Gothic Rd frontage of TP1. The sidewalk will provide for non-motorized access to the community room in the fire station.
5. CBFPD will provide a detailed explanation to the Town of how they are meeting the November 2021 ballot language regarding:
 - a. The construction of multi-family housing for emergency services personnel.
 - b. Equipping and improving all facilities to include solar panels and other sustainable features.

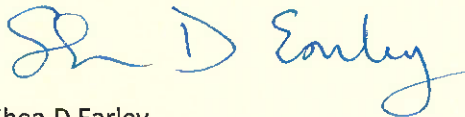
At this time, Town staff is looking for confirmation that the above conditions are still amenable to CBFPD. If so, this request will be scheduled before Town Council at the May 15th Council meeting. Please confirm via email or letter that CBFPD agrees to the above conditions as a requirement of sanitary sewer extension by May 8th, 2023.

Note, this is the conditional approval by Town Council to extend sanitary sewer service. If granted, CBFPD will have to provide the Town with an Engineering Feasibility Analysis as per Section 13-1-280(d), prior to the execution of any agreement to extend sanitary sewer or the necessary amendments to Town Code to allow for the contemplated extension.

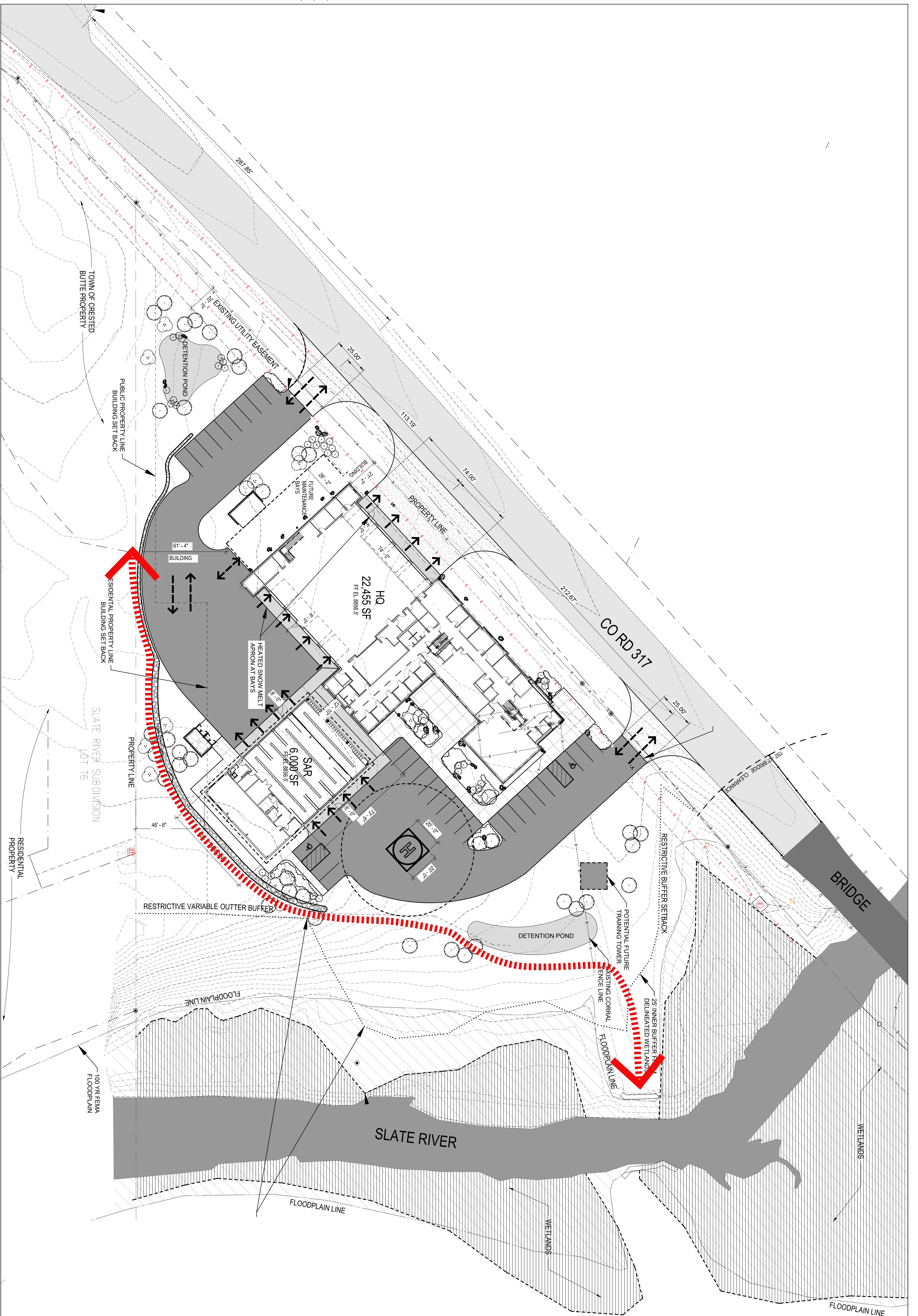
Further, the Town Council will consider again the CBFPD request for water service. The Town Council will consider this request in executive session on May 15th.

If you have any questions, please feel free to contact me.

Sincerely,



Shea D Earley
Public Works Director



Desired trail alignment: Extending from Town Parcel 1 or the 20-setback in Town Parcel 7 and extending through the CBFPP property to the historic bridge abutment, without hitting Town Parcel 8.

Crested Butte Fire Protection District

Application Contents

Location and Extent

- Application Form
- Narrative

Amended Exemption Plat - Lot Line Adjustment

- Application Form
- Plat

Access Permit

- Cover Letter
- Application Form

Supporting Documentation

- CBFPD Authorization for MPG and GDA
- Tax Certificate (exempt)
- Title Commitment
- Adjacent Property List
- GeoTech Report
- Traffic Report

Plans

- Existing Conditions Map
- Architectural
- Civil
- Landscape
- Site Lighting





**GUNNISON COUNTY, COLORADO
MINOR IMPACT REVIEW PROJECT
LAND USE CHANGE PERMIT APPLICATION**

**GUNNISON COUNTY COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING OFFICE
221 N. WISCONSIN ST, STE D., GUNNISON, CO 81230
TELEPHONE: 970-641-0360**

Website: <https://www.gunnisoncounty.org/144/Community-and-Economic-Development>

SUBMIT ALL PERMIT PACKET INFORMATION TO PERMIT@GUNNISONCOUNTY.ORG

DATE RECEIVED: ____/____/____

APPLICATION FEE \$2,875.00 - SUBMITTED AT TIME OF APPLICATION : ____/____/____

Additional fees will be assessed according to the Gunnison County Land Use Change Fee Schedule

APPLICANT:

MAILING ADDRESS:

CITY:	STATE:	ZIP:
--------------	---------------	-------------

PHONE (day):	(evening):
---------------------	-------------------

FAX:	E-MAIL ADDRESS:
-------------	------------------------

PROPERTY OWNER (If other than applicant, a copy of a contract of sale or lease between applicant and owner, or a notarized letter from the property owner consenting to this application, must be submitted.):

NAME:

MAILING ADDRESS:

CITY:	STATE:	ZIP:
--------------	---------------	-------------

PHONE (day):	(evening):
---------------------	-------------------

FAX:	E-MAIL ADDRESS:
-------------	------------------------

PRIMARY CONTACT PERSON and AUTHORIZED REPRESENTATIVE (The person the Community Development Department should contact regarding scheduling of meetings and information for this application. A **NOTARIZED LETTER** from the property owner authorizing the representative must be submitted.)

NAME:

MAILING ADDRESS:

CITY:	STATE:	ZIP:
--------------	---------------	-------------

PHONE (day):	(evening):
---------------------	-------------------

--	--

PROPERTY LOCATION and LEGAL DESCRIPTION OF PROPERTY:

1. **Legal Description.** Cite lot and block or tract numbers, mining claim or homestead references; attach copy of deed and/or metes and bounds description(s).

2. **Property Address.**

3. **Common Description (include mileage from highway or County road, or other recognized landmarks).**

AFFECTED LANDOWNERS. List all landowners and land uses that are within 500 feet of the boundaries of the entire parcel on which the land use change is proposed, including all properties separated from the parcel by a road or would be adjacent if the road did not exist. The best-available, most current information of this listing of current owners is in the Gunnison County Assessor's Office:

AFFECTED LANDOWNER'S NAME	PARCEL LOCATION RELATIVE TO PROPOSED LAND USE CHANGE PARCEL	CURRENT LAND USE ON ADJACENT PARCEL

PROJECT DESCRIPTION. Describe in detail what the applicant wants to do on the parcel, including new uses, division of land, adjustment of boundaries, expansion of existing uses, number of units, estimated amount of new traffic, new structures to be constructed, proposed phases and a description of off-site resources and haul routes (including those used by vehicles related to construction) necessary to accomplish the project. If the proposed land use change is a subdivision, identify the use of each lot (single family residence, duplex, commercial, etc.):

Location and Extent Application:

The Crested Butte Fire Protection District (CBFPD) is proposing the CBFPD headquarters building (HQ) and a Search and Rescue facility (SAR) on a site of approximately 7.407 acres.

The proposed CBFPD HQ has a gross floor area of approximately 22,000 sq. ft. The proposed building contains apparatus bays, administrative offices, fire fighter sleeping quarters, kitchen and lounge areas for staff, staff fitness areas, staff training areas, meeting room also available for public use, storage, and similar facilities. The building is two stories, with a maximum height of 40 ft. The CBFPD is also proposing to construct a SAR building. This building is approximately 6,000 sq. ft. and includes vehicle storage (four bays), meeting room areas for staff and volunteers, staff offices, equipment storage areas, and restrooms. The building is one story with the highest roof peak at approximately 28 ft.

Addition information is provided in the narrative

MINING AND CONSTRUCTION ACTIVITIES. As applicable, information pursuant to the individual sections of Division 9-400: *Exploration, Extraction and Processing of Minerals and Construction Materials*.

COMMERCIAL AND INDUSTRIAL USES. As applicable, information pursuant to the individual sections of Division 9-300: *Commercial and Industrial Uses*.

PRESENT LAND USE: identify present land uses and locations and sizes of structures that exist on the property:

IDENTIFY PREVIOUSLY-APPROVED USES. List Land Use Change Permits and/or subdivision approval have been previously approved for the property, and the year in which they were approved.

CHARACTERISTICS and CURRENT CONDITION OF LAND. List physical characteristics and conditions of the land, including streams, irrigation ditches, ponds, soils, roads, vegetation, geologic hazards, any work that has been done to clear the property, etc.)

PROJECT DESIGN. As applicable, all elements of the project design must address and comply with the individual sections of Article 13: *Project Design Standards* in the *Gunnison County Land Use Resolution*; the staff will advise the applicant which of these requirements apply to a specific application:

SECTION 13-103: *General Site Plan Standards and Lot Measurements.*

SECTION 13-104: *Setbacks from Property Lines and Road Rights-of-Way.*

SECTION 13-105: *Residential Building Sizes and Lot Coverages.*

SECTION 13-107: *Installation of Solid-Fuel-Burning Devices.*

SECTION 13-108: *Open Space and Recreation Areas.*

SECTION 13-109: *Signs.*

SECTION 13-110: *Off-Road Parking and Loading.*

SECTION 13-111: *Landscaping and Buffering.*

SECTION 13-112: *Snow Storage.*

SECTION 13-113: *Fencing.*

SECTION 13-114: *Exterior Lighting.*

SECTION 13-115: *Reclamation and Noxious Weed Control.*

SECTION 13-116: *Grading and Erosion Control.*

SECTION 13-117: *Drainage, Construction and Post-Construction Storm Water Runoff.*

SECTION 13-118: *Water Impoundments.*

SECTION 13-119: *Standards to Ensure Compatible Uses.*

ADDITIONAL SUBMITTALS BASED UPON INFORMATION AVAILABLE ON MAPS USED BY THE COUNTY. If a land use change is proposed on a parcel located within any of the following areas additional submittals may be required to be submitted (Section numbers refer to sections in the *Gunnison County Land Use Resolution*). The Community Development Department will provide assistance to the applicant to determine the specific information that must be submitted:

1. **LOCATION OF SITE WITHIN FLOODPLAIN HAZARD AREA.** As applicable, an application proposing a land use change on a parcel located within a floodplain hazard area, pursuant to Section 11-103: *Development in Areas Subject to Flood Hazards*.
2. **LOCATION OF SITE WITHIN GEOLOGIC HAZARD AREA.** As applicable, an application proposing a land use change on a parcel located in a geologic hazard area may be required to submit a geotechnical report that evaluates and predicts the impact of specific geologic conditions on the proposed land use change and measures to mitigate these hazards, pursuant to Section 11-104: *Development in Areas Subject to Geologic Hazards*.
3. **LOCATION OF SITE WITHIN WILDFIRE HAZARD AREA.** As applicable, an application proposing a land use change on a parcel located within a wildfire hazard area, pursuant to Section 11-105: *Development in Areas Subject to Wildfire Hazards*.
4. **LOCATION OF SITE WITHIN AREA POTENTIALLY AFFECTED BY WETLANDS AND WETLANDS PERMITTING.** As applicable, an application proposing a land use change on a parcel located in an area in which there are wetlands, pursuant to Section 11-107: *Protection of Water Quality*.
5. **LOCATION OF SITE VISIBLE FROM RIDGELINE VANTAGE.** As applicable, an application proposing a land use change that is visible from a ridgeline vantage, pursuant to Section 11-108: *Standards for Development on Ridgelines*.
6. **DEVELOPMENTS IMPACTING AGRICULTURAL LANDS.** If a proposed project adjoins agricultural lands, involves land through which irrigation ditches flow, or over which there are general or exclusive easements for stock drives, the application shall address the requirements of Section 11-109: *Development That Affects Agricultural Lands*, and Section 15-103: *Right-to-Ranch Policy* which shall identify, in written and/or graphic form, the following:
 - a. **AGRICULTURAL DITCHES.** The location(s), name(s), name(s) of owner(s), size(s), and decreed capacity(ies) of any agricultural ditch crossing or adjoining the development property, as available from the Colorado Division of Water Resources, or ditch commissioner's records.
 - b. **EASEMENTS.** The location of historical easements used to gain access to headgates, ditches, and fences for maintenance or operations.
 - c. **LIVESTOCK DRIVES AND FENCELINES.** Historic or recorded stock drive easements crossing or adjoining the development property, including the location of any existing fences along property lines, and the location of new fences or other obstacles proposed to be built across any such stock drive.
8. **DEVELOPMENT ON LAND BEYOND SNOWPLOWED ACCESS.** As applicable, an application that proposes development at a location that currently receives no snowplowing services for access, pursuant to Section 11-110: *Development of Land Beyond Snowplowed Access*.
9. **DEVELOPMENT ON LAND ON AN INHOLDING WITHIN NATIONAL WILDERNESS.** As applicable, an application that proposes development on an inholding within a National Wilderness Area, pursuant to Section 11-111: *Development on Inholdings in the National Wilderness*.
10. **DEVELOPMENT ON PROPERTY ABOVE TIMBERLINE.** As applicable, an application that proposes development on a parcel located above timberline, pursuant to Section 11-112: *Development on Property Above Timberline*.

VICINITY MAP: (Submit 1 paper copy). The attached sample vicinity map can be used as a guide. Minimum scale of 1"=100' is preferred. Sheet size cannot exceed 34" x 36". The following are required to be included on a vicinity map:

1. **PROPERTY LOCATION AND NEARBY PARCEL SIZES AND LAND USES.** Location of the property on a United States Geological Survey quadrangle map or on a recorded plat if the proposed development is within an approved subdivision, with the location highlighted so that it is easy to see, and that clearly shows sizes of parcels and land uses within a half-mile of the proposed project.
2. **ROADS.** All U.S. and state highways and nearest County or Forest Service, Bureau of Land Management, and/or subdivision/private roads that provide access to the proposed project.
3. **EASEMENTS.** Easements recorded or historically used that provide access to or across, or other use of, the

property.

- 4. **BOUNDARIES OF DISTRICTS, MUNICIPALITIES OR SUBDIVISIONS.** Locations of special district boundaries, municipalities or residential subdivisions within a half mile of the property.
- 5. **PROXIMITY OF MINING OR PROCESSING ACTIVITY.** Any parcel located within 1,000 feet of the property proposed for land use change on which there exists an operation involving mineral exploration or extraction or construction materials processing.

SITE PLAN/LAYOUT. (Submit 1 paper copy) This is a drawing; the attached sample site plan can be used as a guide. Minimum scale of 1"=100' is preferred. Sheet size cannot exceed 34" x 36". When multiple sheets are used, provide an index sheet stating the contents of each sheet. All the listed information MUST be shown on the drawing before you can be scheduled to meet with Planning Commission.

- 1. **ALL PROPERTY PROPOSED FOR DEVELOPMENT.** Include all land proposed for immediate and anticipated for future development. This can be a simple, hand-drawn layout, but it must be legible, clearly marked, drawn to scale, and signed and dated by the person who drew it.
- 2. **PHASING.** Any proposed phases of the development, and their timing.
- 3. **TOTAL ACREAGE OF CONTIGUOUS PROPERTY OWNED BY THE APPLICANT.** Total acreage and location of all contiguous property owned by the applicant.
- 4. **TOTAL ACREAGE IN PROPOSED LAND USE CHANGE PERMIT AREA.** Total acreage of the site on which the applicant wants to obtain approval for the Land Use Change Permit.
- 5. **ADJACENT LOT SIZES.** Lot size(s) of properties adjacent to and in the impact area of the site proposed for the land use change.
- 6. **ADJACENT LAND OWNERS.** Names and actual land uses of adjacent landowners (including federal, State of Colorado and other publicly owned lands), to the site (in addition to the separate narrative listing). This includes properties that may be across a road, stream or river from the applicant's property.
- 7. **UTILITY LOCATIONS IN AREA.** Location of all existing utilities on the property (septic tanks, wells, electric, gas, telephone or cable lines) that will serve the property.
- 8. **TOPOGRAPHIC FEATURES.** Streams, lakes, ponds, wetlands, contour lines and elevations, any prominent ridgelines, and any other significant visual resource areas on the property.
- 9. **LIVESTOCK DRIVES AND FENCELINES.** Historic or recorded stock drive easements crossing or adjoining the development property, including the location of any existing fences along property lines, and the location of new fences or other obstacles proposed to be built across any such stock drive.
- 10. **IRRIGATION DITCHES.** The location(s), and name(s), of any irrigation ditch crossing or adjoining the development property, as available from the Colorado Division of Water Resources, or ditch commissioner's records.

_____ **There are no irrigation ditches on or adjacent to the subject parcel.**

- 11. **DRAINAGE.** Drainage patterns, on and adjacent to the project property.
- 12. **DRIVEWAYS AND PARKING.** Driveways/parking areas, both existing and proposed.
- 13. **EXISTING STRUCTURES.** Locations and sizes of existing structures.
- 14. **PROPOSED STRUCTURES.** Locations and sizes of proposed structures.
- 15. **BOUNDARIES.** Boundaries and related measurements.

ACCESS: Indicate the name of the road or highway (name and number) that is the primary access for the proposed land use change. If either a County Access Permit or a Colorado Department of Transportation Highway Access Permit exists for existing access, submit a copy of the permit. Submit copies of deeded easements over the area of private or public lands that will provide access to the parcel proposed for land use change.

- 1. County Access Permit attached: _____
- 2. Colorado Department of Transportation Highway Access Permit attached: _____
- 3. Easement documents attached: _____

TRAFFIC: Estimate traffic to be generated by the proposed project, including whether it will be residential, commercial or industrial, or a mix of all uses, and the estimated numbers of vehicle trips per day.

- 1. Residential trips (estimate ten trips per day per dwelling unit): _____
- 2. Commercial or industrial uses (describe type and/or weight of vehicles, estimated trips per day and time of day will occur):
trips _____ will _____ occur): _____
- 3. Easement documents attached: _____

_____ **ROAD SYSTEM.** If the development is to include a road or roads, location and design, must be submitted with this application, in compliance with Section-103: *Road System* and the *Gunnison County Specifications for Road and Bridge Construction Standards*.

_____ **TRAILS.** If the parcel on which the development is proposed is land over which there is a public trail, the application must comply with Section 12-104: *Trails*. Applicants also are encouraged to include public trails and other amenities for non-motorized travel in an application to link existing adjacent public trails or trails easements, and should provide information pursuant to that section if they are interested in providing such trails.

WATER SUPPLY. Indicate which of the following will be used to supply water for the proposed use (s):

_____ **WILL TIE ONTO AN EXISTING CENTRAL SYSTEM.** Indicate the name of the municipality, district or other existing system which will provide the service. Attach a copy of a notarized letter of intent to provide, signed agreement or contract between the applicant and the supplier indicating the amount of water and conditions of tie-on.

_____ **WILL PROVIDE NEW CENTRAL SYSTEM.** Attach copies of approved well permits, court decrees, augmentation plan, or other deeded water rights. Indicate what operational system is proposed, including treatment options and proposed plans for operation and maintenance, and including information about water available for fire suppression.

_____ **WILL HAVE AN INDIVIDUAL WELL OR SPRING SYSTEM.** List, and attach copies of approved well permits, court decrees, augmentation plans, or other deeded water rights. If the source of the supply is not located on your property, indicate on the vicinity map where it is located.

_____ **WATER AUGMENTATION PLAN.** If the Colorado Division of Water Resources requires that a plan of water augmentation be approved for the project, a copy of the application for the augmentation, as submitted to the Division.

_____ **SUBDIVISION WATER SUPPLY INFORMATION SUMMARY SHEET.** If the application is for a subdivision, complete the attached Colorado Division of Water Resources State Engineer's Office Memorandum and *Water Supply Plan Information* for subdivisions. The County is required to submit this information to the Division for review.

FIRE PROTECTION. An applicant for a land use change classified as a Minor Impact project that is located in a specific fire protection district must contact the district before submitting the application, for the purpose of being informed of the District's design and construction standards that will apply to the application. Section 12-107: *Fire Protection*.

- Parcel located in Crested Butte Fire Protection District**
- Parcel located in Gunnison County Fire Protection District**
- Parcel located in Carbondale and Rural Fire Protection District**

WASTEWATER TREATMENT:

WILL TIE ONTO AN EXISTING CENTRAL SYSTEM. Indicate which system (municipal, special district, subdivision, as applicable), and attach a copy of a notarized letter of the service provider's intent to provide, or contract between applicant and the provider that the provider has capacity and is willing to provide.

WILL PROVIDE NEW CENTRAL SYSTEM. Indicate what operational system is proposed, including treatment options and proposed plans for operation and maintenance, as required by the Colorado Department of Public Health and Environment.

ONSITE WASTEWATER TREATMENT SYSTEM(S). Contact the Gunnison County Environmental Health Office to determine if your existing system is adequate for the proposed use, and/or requirements for any new system. You will be required to pay the standard site-visit costs that may be necessary for that office to review your proposed site. An onsite wastewater treatment system permit will be issued only after a land use change permit has been approved, unless the Community Development Department approves the issuance of a system repair permit for an existing system.

MINERAL RESOURCES:

Is this property known to contain, or reasonably believed to contain mineral resources?

Yes No

Has this area been the site of underground or surface mining activity in the past?

Yes No

Has an original patent been issued to this property under the mining laws of the United States or Colorado?

Yes No

On a separate sheet, list the owners or lessees of underlying mineral estates, if applicable.

PROTECTIVE COVENANTS, CONDOMINIUM OR TOWNHOME DECLARATIONS, OR DEED RESTRICTIONS. Any existing, or a draft of proposed, protective covenants, a condominium declaration or deed restrictions that will be imposed on the development.

Covenants and/or deed restriction document attached.

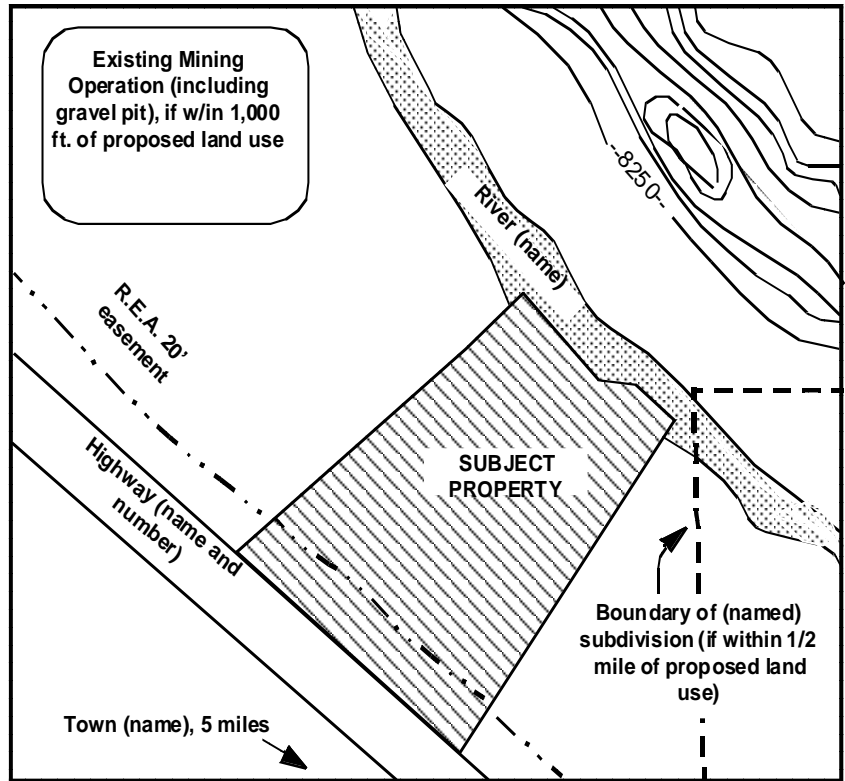
Homeowners'/ property owners' association letter attached

Not applicable.

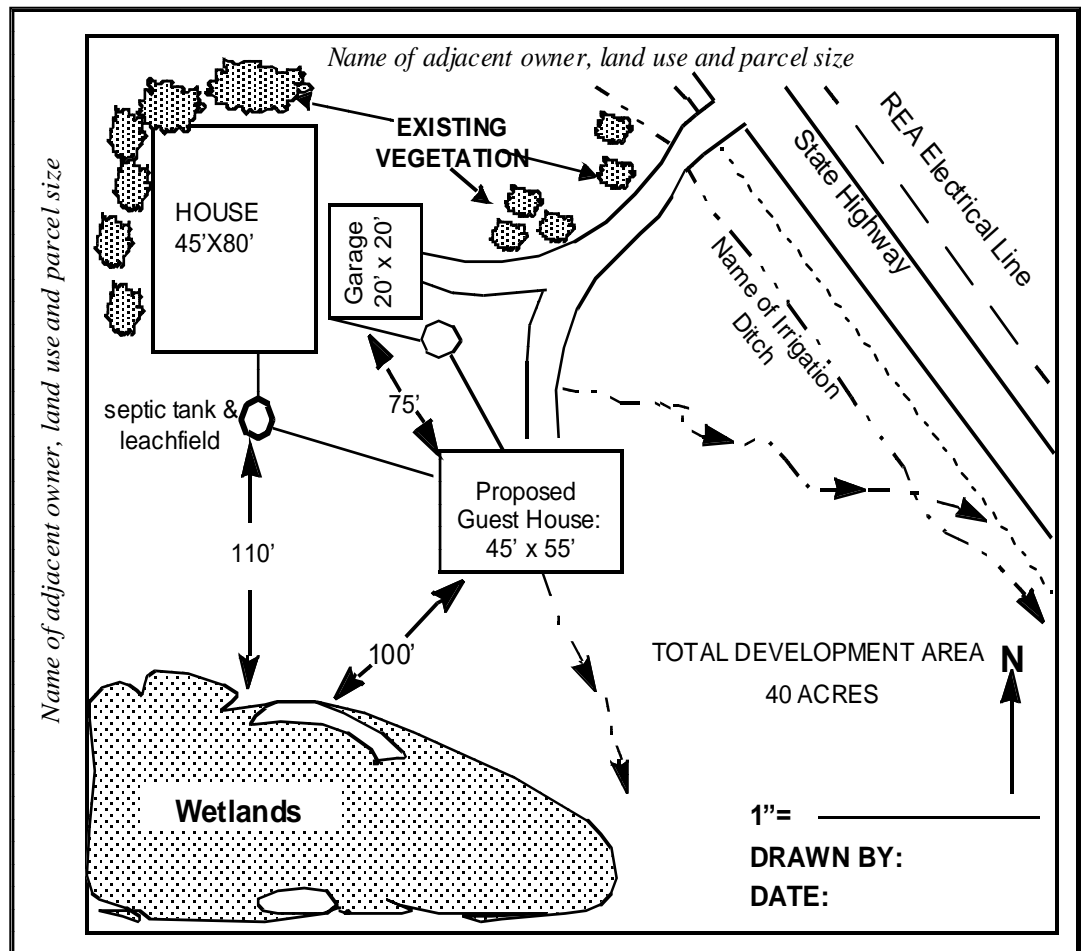
_____ **COPY OF PROPERTY TAX CERTIFICATE.** Copy of certification from the Gunnison County Treasurer's Office indicating that all real property taxes applicable to the subject parcel on which the land use change is proposed have been paid up to the year in which approval is under consideration. Copy of certification from the Gunnison County Treasurer's Office indicating that all real property taxes applicable to the subject parcel on which the land use change is proposed have been paid up to the year in which approval is under consideration.

_____ **LOCATION OF SITE WITHIN SPECIAL GEOGRAPHIC AREA OR DISTRICT.** As applicable, an application proposing a land use change on a parcel located within a designated Special Area or special district may be required to comply with regulations of that Area or district. The Community Development Department will assist the applicant in determining if the property lies within a district or special geographic area, and if so, what regulations apply.

VICINITY MAP EXAMPLE



SITE PLAN EXAMPLE





P.O. Box 1485
Crested Butte, Colorado 81224

Dear Land Use Change Applicant,

The Gunnison County Trails Commission, formed and appointed by the Gunnison County Commissioners in 1995, encourages you to incorporate trails into your planning process. Many trail systems, exist in Gunnison County on public and private land and we are currently developing future trail corridors through a county-wide planning process. We hope you will take trails into consideration early in your planning process.

The Trails Commission believes that a well-planned trail system offers many benefits to people who reside in or visit the county. Alternative forms of transportation such as hiking, biking, horse-back riding, skiing & snowshoeing, not only get you there, they are excellent forms of fitness. In this day and age, exercise is emphasized as an important part of ones health. We believe that an alternative transportation system allow individuals the ability to get from place to place without being dependent on an automobile. In such beautiful surroundings, as we have here, it is an-asset to be outside. A well-planned trail system can be an inviting feature for your clientele and help to increase the value of your project.

Please feel free to contact us regarding your upcoming project as we have many ideas and suggestions. A member of our commission will contact you after you file your application with the Gunnison County Community Development Department or you can give us a call at 970-349-6482.

Thank You for keeping trails in mind as a part of your project.

The Gunnison County Trails
Commission



**NOTICE REGARDING U.S. FISH AND WILDLIFE SERVICE
DETERMINATION THAT GUNNISON SAGE-GROUSE IS A
THREATENED SPECIES**

- The U.S. Fish and Wildlife Service has determined, effective December 22, 2014, threatened species status under the Endangered Species Act of 1973, as amended, for the Gunnison Sage-grouse.
- Gunnison County approval of this County permit is not U.S. Fish and Wildlife Service approval of any activity described or authorized by this County permit.
- Gunnison County is not and does not act as your representative with regard to consultation with the U.S. Fish and Wildlife Service or performance of U.S. Fish and Wildlife Service requirements.



Crested Butte Fire Protection District

Location and Extent

Submittal Date: April 17, 2023

Location: Parcel #: 317735003018

Parcel #: 317735003019

Project Team Directory

Owner:

Sean Caffrey, Chief Executive Officer &
Commissioner
Crested Butte Fire Protection District
970.349.5333
scaffrey@cbfpd.org

Geotechnical:

Steve Pawlak
H-P Kumar
970.945.7988
spawlak@kumarusa.com

Project Manager

Todd Goulding
Goulding Development Advisors LLC
970.331.1732
tgoulding@gda-co.com

Traffic Engineer:

Greg Schroeder, PE
McDowell Engineering
970.623.0788
greg@mcdowelleng.com

Planning and Entitlements:

Dominic Mauriello, AICP
Mauriello Planning Group LLC
970.376.3318
dominic@mpgvail.com

Landscape Architect:

Margaret Loperfido
Sprout Studio Inc.
970.343.8959
margaret@sprout-studio.net

Architect:

Billy Harris
Blythe Group + Co
970.242.1058
bharris@bgco.com

Wetland Consultant:

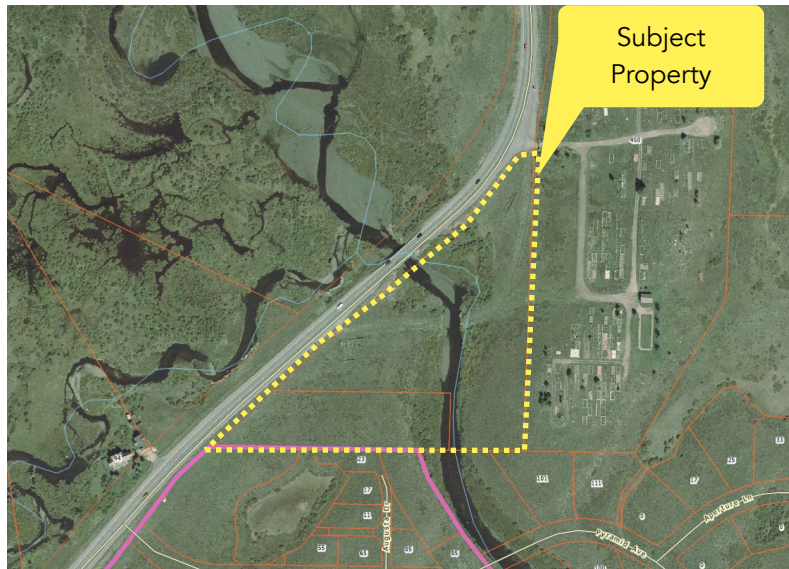
Tim Lapello
Bio-Environs
970.641.8749
bioenvirons@gunnison.com

Engineer:

Tyler Harpel, PE
SGM
970.707.8158
TylerH@sgm-inc.com

Proposal

The Crested Butte Fire Protection District (CBFPD) is proposing the CBFPD headquarters building (HQ) and a Search and Rescue facility (SAR) on a site of approximately 7.407 acres in unincorporated Gunnison County, just to the north of the Town of Crested Butte on Gothic Road. These facilities are proposed to provide the highest standards of fire protection and search and rescue activities to the Town of Crested Butte, The Town of Mount Crested Butte, and the entire region including its citizens and guests. This proposal represents a significant increase in the level of service being provided to the community and as it grows in the future.



The proposed CBFPD HQ has a gross floor area of approximately 22,000 sq. ft. The proposed building contains apparatus bays (four truck bays with a future planned 5th bay), administrative offices, fire fighter sleeping quarters, kitchen and lounge areas for staff, staff fitness areas, staff training areas, meeting room also available for public use, storage, and similar facilities. The building is two stories, with a maximum height of 40 ft. The plans also show the location of a future training tower proposed on the site as well. At a maximum, the training tower could be up to approximately 4 stories.

The site plan was designed to minimize environmental and community impacts. As proposed, the buildings comply with the maximum river setback (Inner and Outer buffers). The proposed HQ building has front setbacks as indicated on the site plan of 20 ft., whereas the County standard is 40 ft. (deviation sought by this application). It should be noted that in this area, there is approximately another 24 ft. of setback from the edge of roadway resulting in approximately 44 ft. of separation from the roadway.

There are a total of 30 formal parking spaces are provided onsite. Due to the unique nature of the fire apparatuses, there is significant paved area dedicated to allow adequate turning functionality and there are three curb cuts to serve the uses on the site on a frontage exceeding 450'. The apparatus only access is an exit only access.

The site is not currently served by water or sewer service. CBFPD is securing the appropriate water rights and plans to serve the facility with a commercial well and an Onsite Wastewater Treatment System (OWTS). The location of these improvements are conceptually shown on the proposed site plan. The initial proposal by CBFPD was to seek service for both water and sewer from the Town of Crested Butte, given that those facilities are in close proximity to the site, but such an arrangement does not seem feasible given the conditions of such service being placed on the CBFPD. One alternative to sewer service, would be for CBFPD to seek a well permit to serve the facility but also connect to the Town's wastewater system under the 1996 Intergovernmental Agreement among Gunnison County, the Town of Crested Butte, the Town of Mt. Crested Butte, the East River Regional Sanitation District, the Mt. Crested Butte Water and Sanitation District, and the Crested Butte South Metropolitan District. Again, this alternative does not seem feasible due to the conditions of sewer service being required by the Town. Water and wastewater facilities and details will be provided at Building Permit application or approval.

Location and Extent

As a special district in the State of Colorado, the CBFPD is subject to review by Gunnison County under the Location and Extent process outlined by Section 30-28-110 of the Colorado Revised Statutes. This section provides for a process for special districts to construct public buildings (such as fire stations) under an abbreviated process with the County Planning Commission, vary from the County's regulations, and requires action by the Planning Commission within 30 days. Additionally, if the Planning Commission denies or adds conditions to the Location and Extent application that are unacceptable to District, the board of the Special District can override the denial. CRS 38-28-110 is provided for reference below:

*1)(a) Whenever any county planning commission or, if there is none, any regional planning commission has adopted a master plan of the county or any part thereof, no road, park, or other public way, ground, or space, no public building or structure, or no public utility, whether publicly or privately owned, shall be constructed or authorized in the unincorporated territory of the county until and unless the proposed **location and extent** thereof has been submitted to and approved by such county or regional planning commission.*

(b) In case of disapproval, the commission shall communicate its reasons to the board of county commissioners of the county in which the public way, ground, space, building, structure, or utility is proposed to be located. Such board has the power to overrule such disapproval by a vote of not less than a majority of its entire membership. Upon such overruling, said board or other official in charge of the proposed construction or authorization may proceed therewith.

(c) If the public way, ground, space, building, structure, or utility is one the authorization or financing of which does not, under the law governing the same, fall within the province of the board of county commissioners or other county officials or board, the submission to the commission shall be by the body or official having such jurisdiction, and the commission's disapproval may be overruled by said body by a vote of not less than a majority of its entire membership or by said official. In the case of a utility owned by an entity other than a political subdivision, the submission to the commission shall be by the utility and shall not be by the public utilities commission; however, the commission's disapproval may be overruled by the public utilities commission by a vote of not less than a majority of its entire membership.

(d) The acceptance, widening, removal, extension, relocation, narrowing, vacation, abandonment, change of use, or sale or lease of or acquisition of land for any road, park, or other public way, ground, place, property, or structure shall be subject to similar submission and approval, and the failure to approve may be similarly overruled.

*(e) The failure of the commission to act within **thirty days** after the date of official submission to it shall be deemed approval, unless a longer period is granted by the submitting board, body, or official.*

The Location and Extent process is similar to Gunnison County's Minor Impact review process, so the application materials reflect the requirements for a Minor Impact Project as suggested by Gunnison County. The applicant has also submitted an Administrative Review Application to amend the existing Subdivision Exemption Plat, the Spann Subdivision Exemption Plat, in order to reconfigure and change the size of the two existing lots. Additionally, the applicant has submitted an application for an access permit with a waiver request, to allow the three proposed accesses to the property.

Compliance with Gunnison County Land Use Resolution

The Gunnison County Land Use Resolution (GCLUR) provides standards applicable to residential or commercial/industrial uses. The proposed CFFPD HQ and SAR facility do not fall under these categories as defined by the Resolution as they are public uses. However, to simplify the standards of the Land Use Resolution, the standards for a commercial use have been used in this analysis. There are unique needs of these types of public facilities that necessitate flexibility with these standards. It should be noted that the Location and Extent process allows CBFPD to vary from the County’s regulations by design.

Lot Area: 7.407 acres

Mapped Hazards: Flood Plain, High Water Table associated with the Slate River

Standard	Required	Proposed	Notes
Building Setback from County Road	40 ft. from Gothic Road Right-of-way	20 ft.	To maximize buffer from Slate River, and due to unique characteristics of public use, the project has been designed closer to the right-of-way. The setback from the actual road is approximately 44 ft.
Building Setback Adjacent to Residential	30 ft.	46.6 ft.	GCLUR does not provide a setback requirement for public uses such as fire stations or schools. The 30 ft. listed is the standard required for a commercial use as a guide.
Building Setback Adjacent to Non-Residential	15 ft.	>15 ft.	GCLUR does not provide a setback requirement for public uses such as fire stations or schools. The 15 ft. listed is the standard required for a commercial use as a guide.
Waterbody Setback - Restrictive Inner Buffer Setback	25 ft. from OHWM or Wetland	>25 ft.	
Waterbody Setback - Variable Outer Buffer	25 ft. from where slopes > 15%, not to exceed 100 ft. from the inner buffer line	Complies with Standard as shown	

Standard	Required	Proposed	Notes
Maximum Building Height	30 ft., may be increased to 45 ft.	40 ft.	
Parking	Sufficient Number	30 spaces	The proposed parking is sufficient for the proposed use of the site. Parking is located within 300 ft. of the use. Total accessible spaces are provided.
Loading	2 spaces	>2 spaces	Significant areas that can be used for off-road loading are provided within the paved areas of the site.

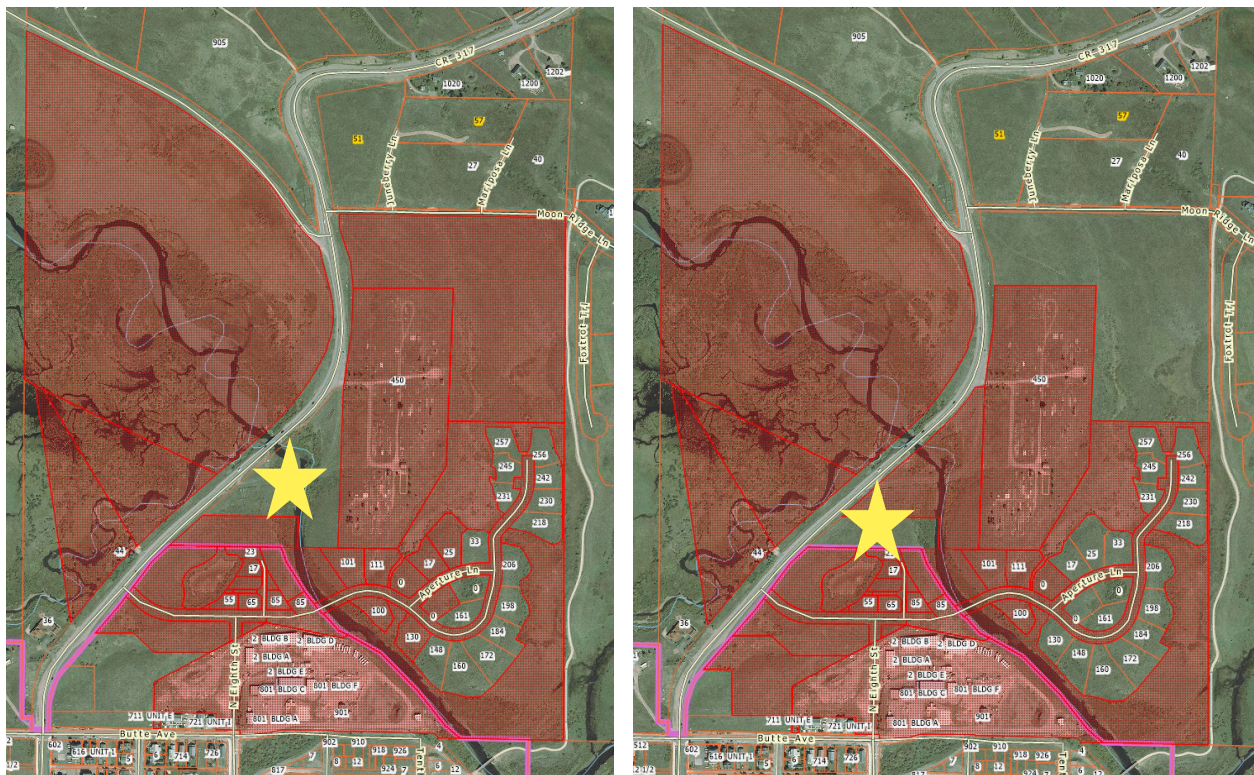
Application Materials:

Status of Parcel as a Legal Lot: The Spann Parcel and the CBFDP Parcel were platted via the Spann Subdivision Exemption Plat. An amended Subdivision Exemption Plat processed as an Administrative Review Application (attached) to shift the common lot line between the two parcels.

Present Land Use: The lot is currently vacant. The site was previously used for agricultural uses such as grazing. No other uses have been previously approved for the property.

Characteristics and Current Condition of the Land: Along with this narrative, plans have been submitted which clearly indicate the current characteristics and conditions of the land. The site is adjacent to Gothic Road and bisected by the Slate River. There are wetlands associated with the Slate River. There is an old abandoned access road crossing the site. The property is located just north of the Town of Crested Butte boundary.

Map and List of Adjacent Landowners: The Gunnison County GIS was used to provide the list of adjacent landowners within 500 ft. of the subject properties. The list has been provided with the application materials. The GIS provided the following maps:



Proposed Property Description:

- Uses and Activities: CBFPD HQ of approximately 22,000 sq. ft. and SARS facility of 6,000 sq. ft. Future fire training tower.
- Off-Site Resources: As part of normal construction, there may be a need to import or export fill to the site. At this time it is too early to understand where these resources may be located.
- Hours of Operation: Due to the public safety uses of CBFPD HQ and SAR facility, they are generally 24 hour per day, 7 days per week, depending on need.
- Phases: The majority of the construction of the site will occur all in one phase. There are spaces within the building proposed as a core and shell condition in anticipation of being finished at a future date with the submittal of a building permit application. A future training tower is indicated on the site plan as a future phase.

Infrastructure Elements:

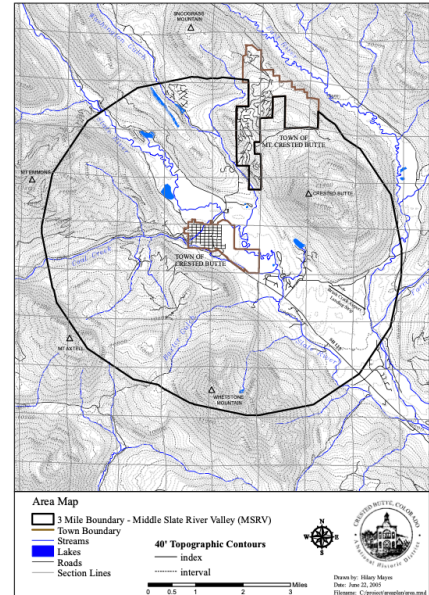
- Road System: There are no proposed internal road systems. Access is to occur from Gothic Road and the applicant has submitted for an access permit from Gunnison County.
- Water and Sewer: The site is not currently served by water or sewer service. CBFPD is securing the appropriate water rights and plans to serve the facility with a commercial well and an Onsite Wastewater Treatment System (OWTS). The location of these improvements are conceptually shown on the proposed site plan. The initial proposal by CBFPD was to seek service for both water and sewer from the Town of Crested Butte, given that those facilities are in close proximity to the site, but such an arrangement does not seem feasible given the conditions of such service being placed on the CBFPD. One alternative to sewer service, would be for CBFPD to seek a well permit to serve the facility but also connect to the Town's wastewater system under the 1996 Intergovernmental Agreement among Gunnison County, the Town of Crested Butte, the Town of Mt. Crested Butte, the East River Regional Sanitation District, the Mt. Crested Butte Water and Sanitation District, and the Crested Butte South Metropolitan District. Again, this alternative does not seem feasible due to the conditions of sewer service being required by the Town. Water and wastewater facilities and details will be provided at Building Permit application or approval.

Project Design Standards from Article 13

Article 13: Project Design Standards outlines the provisions for land use changes and building permits. The following section is intended to address the applicable sections of Article 13.

1. Section 13-102: Applicability

- Applicant Response: The property is located within the Town of Crested Butte's 3-mile boundary, and is therefore subject to the Crested Butte Area Plan, which serves as the Town's 3-Mile Plan. Public uses, such as fire stations, are not specifically addressed in this plan. The proposed public use is consistent with the objectives and policies of the Town of Crested Butte's 3-Mile Plan, which has no regulatory relevance to the subject property.



2. Section 13-103: General Site Plan Standards and Lot Measurements

- Applicant Response: A proposed site plan has been provided with this application, which indicates roads, driveway access, lot lines, building sites, and utility corridors. Additionally, the buildings and site improvements have been located to appropriately avoid areas of floodplain, wetlands, and other natural features of the site. This section also addresses building height for commercial or industrial structures, which is limited to 30 ft. and may be increased to 45 ft. by the applicable decision-making body. The maximum building height being sought by the applicant is 40 ft. The remainder of this section is oriented towards residential subdivision development and is therefore not applicable to the proposed use.

3. Section 13-104 Setbacks from Property Lines and Road Rights-of-Way.

- Applicant Response: See table in Compliance with Gunnison County Land Use Resolution.

4. Section 13-105: Residential Building Sizes and Lot Coverages

- Applicant Response: This is not applicable as the project is not residential.

5. Section 13-107: Installation of Solid-Fuel Burning Devices.

- Applicant Response: This section is not applicable as no solid-fuel burning devices are proposed.

6. Section 13-108: Open Space and Recreation Areas

- Applicant Response: This does not apply to the proposed project. Minor Impact Projects address this by including appropriate landscaping, and the proposal includes a landscape plan.

7. Section 13-109: Signs

- Applicant Response: Prior to the erection of any signage, the applicant will apply for a permit from the Community Development Department as required by this section.

8. Section 13-110: Off-Road Parking and Loading

- Applicant Response: Adequate parking has been provided to serve the needs of CBFPD HQ and the SAR facility. Due to the need of the site to provide adequate turning radii for large vehicles, there is more than sufficient aisle widths. Also see table in Compliance with Gunnison County Land Use Resolution.

9. Section 13-111: Landscaping and Buffering

- Applicant Response: A landscape plan has been provided which retains, maintains, and provides for native grasses, ground cover, shrubs, and trees consistent with this section. Adequate buffering has been provided by the proposed site and landscape plans.

10. Section 13-112: Snow Storage

- Applicant Response: Snow storage has been provided and indicated on the site plan.

11. Section 13-113: Fencing

- Applicant Response: This section is not applicable. No fencing is currently proposed.

12. Section 13-114: Exterior Lighting

- Applicant Response: Exterior lighting will be the minimum necessary to ensure safety of the emergency responders and as required by the building code. The lighting proposed is dark-sky compliant.

13. Section 13-115: Reclamation and Noxious Weed Control

- Applicant Response: The plan complies with the County's noxious weed control requirements.

14. Section 13-116: Grading and Erosion Control

- Applicant Response: Best management practices will be implemented with the development of the site and in accordance with applicable Gunnison County requirements.

15. Section 13-117: Drainage, Construction and Post-Construction Storm Water Runoff

- Applicant Response: Best management practices will be implemented with the development of the site and in accordance with applicable Gunnison County requirements.

16. Section 13-118: Water Impoundments

- Applicant Response: This section is not applicable.

17. Section 13-119: Standards to Ensure Compatible Uses

- Applicant Response: The site has been designed to minimize conflicts with adjoining land uses. The applicant has met with the adjoining land owner and developer to the south, and has worked to ensure that views are maintained for the adjacent residential lot. The trash enclosure has been shifted 10 ft. further away from the original plans, and the enclosure will be screened with appropriate landscaping. Periodic helicopter landing and take offs will occur at the site and this has been located on the north side of the site to minimize impacts to residential neighbors.



**GUNNISON COUNTY, COLORADO
ADMINISTRATIVE REVIEW PROJECT
LAND USE CHANGE PERMIT APPLICATION**

**GUNNISON COUNTY COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING OFFICE
221 N. WISCONSIN ST, STE D., GUNNISON, CO 81230
TELEPHONE: 970-641-0360**

Website: <https://www.gunnisoncounty.org/144/Community-and-Economic-Development>:

SUBMIT ALL PERMIT PACKET INFORMATION TO PERMIT@GUNNISONCOUNTY.ORG

DATE RECEIVED: ____/____/____

APPLICATION FEE PAID- DUE AT SUBMITTAL (\$1085.00): ____/____/____

Additional fees will be assessed according to the Gunnison County Land Use Change Fee Schedule

APPLICANT. (If the applicant is not the owner of the land, the applicant shall submit a notarized letter signed by the owner consenting to the submittal. Consent of the owner for submittal shall imply consent by the owner for the County to complete the review process.):

MAILING ADDRESS:

CITY:	STATE:	ZIP:
--------------	---------------	-------------

PHONE (day):	(evening):
---------------------	-------------------

FAX:	E-MAIL ADDRESS:
-------------	------------------------

PROPERTY OWNER (If other than applicant, a notarized letter from the property owner consenting to this application, must be submitted. If the applicant is not the sole owner of the land, the applicant shall submit a notarized letter(s) signed by all other owners, and/or by an association or corporation representing the owners, consenting to, or joining in, the application.):

NAME:

MAILING ADDRESS:

CITY:	STATE:	ZIP:
--------------	---------------	-------------

PHONE (day):	(evening):
---------------------	-------------------

FAX:	E-MAIL ADDRESS:
-------------	------------------------

PRIMARY CONTACT PERSON and AUTHORIZED REPRESENTATIVE (The person the Planning Department should contact regarding scheduling of meetings and information for this application. A **NOTARIZED LETTER** from the property owner authorizing the representative must be submitted.)

NAME:

MAILING ADDRESS:		
CITY:	STATE:	ZIP:
PHONE (day):		(evening):
FAX:		E-MAIL ADDRESS:

As needed to provide complete information, submit the following on separate sheets attached to this application:

PROPERTY LOCATION and LEGAL DESCRIPTION OF PROPERTY:

- 1. Legal Description.** Cite lot and block or tract numbers, mining claim or homestead references; attach copy of deed and/or metes and bounds description(s).
- 2. Property Address.**
- 3. Common Description (include mileage from highway or County road, or other recognized landmarks).**

STATUS OF PARCEL AS A LEGAL LOT. If the parcel on which the land use change is proposed is smaller than 35 acres, the Department may also request the applicant to supply information sufficient to document that the subject was legally created.

Parcel Numbers: 3177-350-03-018 and 3177-350-03-019

NOTIFICATION TO COUNTY IF FEDERAL PERMITS ARE REQUIRED FOR PROJECT. When an EA or EIS or other state or federal action or permit is required, and that requirement is known by the applicant, the applicant shall notify the County of that requirement when the application is first submitted for review.

- EA or EIS is known by the applicant to be required**
- EA or EIS is not known by the applicant to be required**

PROJECT DESCRIPTION. Describe in detail what the applicant wants to do on the parcel, including new uses, division of land, adjustment of boundaries, expansion of existing uses, number of units, estimated amount of new traffic, new structures to be constructed, proposed phases and a description of off-site resources and haul routes (including those used by vehicles related to construction) necessary to accomplish the project. If the proposed land use change is a subdivision, identify the use of each lot (single family residence, duplex, commercial, etc.):

PROJECT DESIGN. As applicable, all elements of the project design, pursuant to the individual sections of Article 13: *Project Design Standards*; the staff will advise the applicant which of these requirements apply to a specific application:

SECTION 13-103: *General Site Plan Standards and Lot Measurements.*

SECTION 13-104: *Setbacks from Property Lines and Road Rights-of-Way.*

SECTION 13-105: *Residential Building Sizes and Lot Coverages.*

SECTION 13-107: *Installation of Solid-Fuel-Burning Devices.*

SECTION 13-108: *Open Space and Recreation Areas.*

- SECTION 13-109:** *Signs.*
- SECTION 13-110:** *Off-Road Parking and Loading.*
- SECTION 13-111:** *Landscaping and Buffering.*
- SECTION 13-112:** *Snow Storage.*
- SECTION 13-113:** *Fencing.*
- SECTION 13-114:** *Exterior Lighting.*
- SECTION 13-115:** *Reclamation and Noxious Weed Control.*
- SECTION 13-116:** *Grading and Erosion Control.*
- SECTION 13-117:** *Drainage, Construction and Post-Construction Storm Water Runoff.*
- SECTION 13-118:** *Water Impoundments.*
- SECTION 13-119:** *Standards to Ensure Compatible Uses.*

PRESENT LAND USE; identify present land uses and locations and sizes of structures that exist on the property:

IDENTIFY PREVIOUSLY-APPROVED USES. List Land Use Change Permits and/or subdivision approval have been previously approved for the property, and the year in which they were approved.

CHARACTERISTICS and CURRENT CONDITION OF LAND. List physical characteristics and conditions of the land, including streams, irrigation ditches, ponds, soils, roads, vegetation, geologic hazards, any work that has been done to clear the property, etc.)

AFFECTED LANDOWNERS. List all landowners and land uses that are within 500 feet of the boundaries of the entire parcel on which the land use change is proposed, including all properties separated from the parcel by a road or would be adjacent if the road did not exist. The best-available, most current information of this listing of current owners is in the Gunnison County Assessor's Office:

AFFECTED OWNER NAME	PARCEL LOCATION RELATIVE TO PROPOSED LAND USE CHANGE PARCEL	CURRENT LAND USE ON ADJACENT PARCEL

VICINITY MAP: (Submit 1 copy) The attached sample vicinity map can be used as a guide. Minimum scale of 1"=100' is preferred. Sheet size cannot exceed 34" x 36". (Applications for plats of constructed condominium or townhome projects that have been approved by the County shall not be required to submit a site plan.) At a minimum, include the following:

- **PROPERTY LOCATION AND NEARBY PARCEL SIZES AND LAND USES.** Location of the property on a United States Geological Survey quadrangle map or on a recorded plat if the proposed development is within an approved subdivision, with the location highlighted so that it is easy to see, and that clearly shows sizes of parcels and land uses within a half-mile of the proposed project.
- **ROADS.** All U.S. and state highways and nearest County or Forest Service, Bureau of Land Management, and/or subdivision/private roads that provide access to the proposed project.
- **EASEMENTS.** Easements recorded or historically used that provide access to or across, or other use of, the property.
- **BOUNDARIES OF DISTRICTS, MUNICIPALITIES OR SUBDIVISIONS.** Locations of special district boundaries, municipalities or residential subdivisions within a half mile of the property.
- **PROXIMITY OF MINING OR PROCESSING ACTIVITY.** Any parcel located within 1,000 feet of the property proposed for land use change on which there exists an operation involving mineral exploration or extraction or construction materials processing.

SITE PLAN/LAYOUT. (Submit 1 copy) This is a drawing; the attached sample site plan can be used as a guide. Minimum scale of 1" =100' is preferred. Sheet size cannot exceed 34" x 36". When multiple sheets are used, provide an index sheet stating the contents of each sheet. All the listed information **MUST** be shown on the drawing before you can be scheduled to meet with Planning Commission. (Applications for plats of constructed condominium or townhome projects that have been approved by the County shall not be required to submit a site plan.)

- **ALL PROPERTY PROPOSED FOR DEVELOPMENT.** Include all land proposed for immediate and anticipated for future development. This can be a simple, hand-drawn layout, but it must be legible, clearly marked, drawn to scale, and signed and dated by the person who drew it.
- **PHASING.** Any proposed phases of the development, and their timing.
- **TOTAL ACREAGE OF CONTIGUOUS PROPERTY OWNED BY THE APPLICANT.** Total acreage and location of all contiguous property owned by the applicant.
- **TOTAL ACREAGE IN PROPOSED LAND USE CHANGE PERMIT AREA.** Total acreage of the site on which the applicant wants to obtain approval for the Land Use Change Permit.
- **ADJACENT LOT SIZES.** Lot size(s) of properties adjacent to and in the impact area of the site proposed for the land use change.
- **ADJACENT LAND OWNERS.** Names and actual land uses of adjacent landowners (including federal, State of Colorado and other publicly owned lands), to the site (in addition to the separate narrative listing). This includes properties that may be across a road, stream or river from the applicant's property.
- **UTILITY LOCATIONS IN AREA.** Location of all existing utilities on the property (septic tanks, wells, electric, gas, telephone or cable lines) that will serve the property.
- **TOPOGRAPHIC FEATURES.** Streams, lakes, ponds, wetlands, contour lines and elevations, any prominent ridgelines, and any other significant visual resource areas on the property.
- **LIVESTOCK DRIVES AND FENCELINES.** Historic or recorded stock drive easements crossing or adjoining the development property, including the location of any existing fences along property lines, and the location of new fences or other obstacles proposed to be built across any such stock drive.
- **IRRIGATION DITCHES.** The location(s), and name(s), of any irrigation ditch crossing or adjoining the development property, as available from the Colorado Division of Water Resources, or ditch commissioner's records.
- **DRAINAGE.** Drainage patterns, on and adjacent to the project property.
- **DRIVEWAYS AND PARKING.** Driveways/parking areas, both existing and proposed.
- **EXISTING STRUCTURES.** Locations and sizes of existing structures.
- **PROPOSED STRUCTURES.** Locations and sizes of proposed structures.
- **BOUNDARIES.** Boundaries and related measurements.

ACCESS: Indicate the name of the road or highway (name and number) that is the primary access for the proposed land use change. If either a County Access Permit, or a Colorado Department of Transportation Highway Access Permit exists for existing access, submit a copy of the permit. Submit copies of deeded easements over the area of private or public lands that

will provide access to the parcel proposed for land use change.

1. County Access Permit attached: _____
2. Colorado Department of Transportation Highway Access Permit attached: _____
3. Easement documents attached: _____

TRAFFIC: Estimate traffic to be generated by the proposed project, including whether it will be residential, commercial or industrial, or a mix of all uses, and the estimated numbers of vehicle trips per day.

1. Residential trips (estimate ten trips per day per dwelling unit:

2. Commercial or industrial uses (describe type and/or weight of vehicles, estimated trips per day and time of day trips will occur):

3. No additional traffic will be generated by this land use change. _____
4. Easement documents attached: _____

PLEASE CHECK THE BOX AND COMPLETE THE SECTION THAT APPLIES TO THIS APPLICATION:

WATER SUPPLY:

WILL TIE ONTO AN EXISTING CENTRAL SYSTEM. Indicate the name of the municipality, district or other existing system which will provide the service. Attach a copy of a notarized letter of intent to provide, signed agreement or contract between the applicant and the supplier indicating the amount of water and conditions of tie-on.

WILL PROVIDE NEW CENTRAL SYSTEM. Attach copies of approved well permits, court decrees, augmentation plan, or other deeded water rights. Indicate what operational system is proposed, including treatment options and proposed plans for operation and maintenance, and including information about water available for fire suppression.

WILL HAVE AN INDIVIDUAL WELL OR SPRING SYSTEM. List, and attach copies of approved well permits, court decrees, augmentation plans, or other deeded water rights. If the source of the supply is not located on your property, indicate on the vicinity map where it is located.

WASTEWATER TREATMENT:

WILL TIE ONTO AN EXISTING CENTRAL SYSTEM. Indicate which system (municipal, special district, subdivision, as applicable), and attach a copy of a notarized letter of the service provider's intent to provide, or contract between applicant and the provider that the provider has capacity and is willing to provide.

WILL PROVIDE NEW CENTRAL SYSTEM. Indicate what operational system is proposed, including treatment options and proposed plans for operation and maintenance, as required by the Colorado Department of Public Health and Environment.

WASTEWATER TREATMENT SYSTEM(S). Contact the Gunnison County Environmental Health Office (641-5105) to determine if your existing system is adequate for the proposed use, and/or requirements for any new system. You will be required to pay the standard site-visit costs that may be necessary for that office to review your proposed site. An

onsite wastewater treatment system permit will be issued only after a land use change permit has been approved, unless the Planning Department approves the issuance of a system repair permit for an existing system.

IRRIGATION DITCHES AND ADJACENT AGRICULTURAL OPERATIONS: If irrigation ditches are located on or adjacent to the parcel proposed for land use change, list their locations, and names of owners that are available from the applicable Colorado Division of Water Resources office, or ditch commissioner's records. Setbacks and other elements of the proposed site plan are required to comply with Section 5-209 of the *Gunnison County Land Use Resolution, Development That Affects Agricultural Lands*.

There are no irrigation ditches on or adjacent to the subject parcel.

COPY OF TAXES PAID: Submit a copy of certification from the Gunnison County Treasurer's Office indicating that all real property taxes applicable to the subject parcel on which the land use change is proposed have been paid up to the year in which the application is made.

MINERAL RESOURCES:

Is this property known to contain, or reasonably believed to contain mineral resources?

Yes No

Has this area been the site of underground or surface mining activity in the past?

Yes No

Has an original patent been issued to this property under the mining laws of the United States or Colorado?

Yes No

On a separate sheet, list the owners or lessees of underlying mineral estates, if applicable.

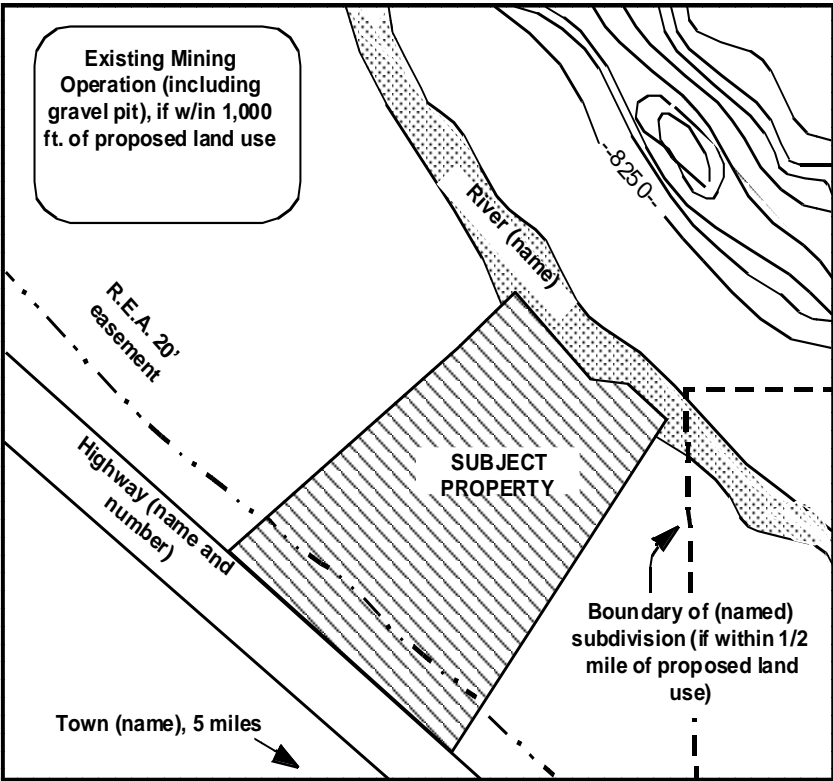
RESTRICTIVE COVENANTS. List any restrictions imposed by recorded protective covenants or deed restrictions on the property proposed for land use change; attach a copy of the document (covenants, deed restriction or conservation easement). If the property is subject to restrictions imposed by a homeowners or property owners association, provide a letter from the authorized representative approving the concept of the project.

1. Covenants and/or deed restriction document attached: _____
2. Homeowners'/ property owners' association letter attached: _____
3. Not applicable: _____

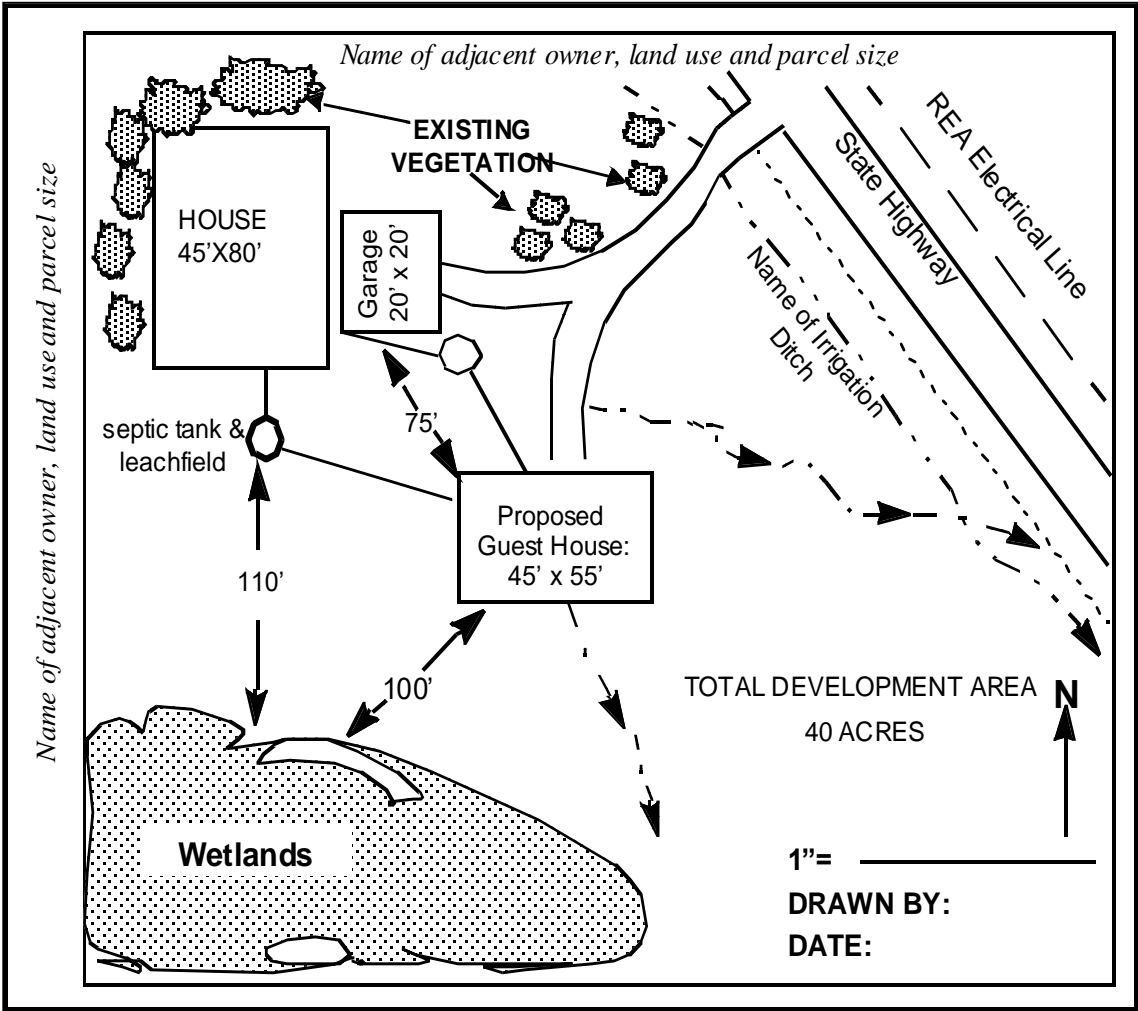
ADDITIONAL SUBMITTALS BASED UPON INFORMATION AVAILABLE ON MAPS USED BY THE COUNTY. If a land use change is proposed on a parcel located within any of the following areas, additional submittals may be required to be submitted; the Planning Department will provide assistance to the applicant to determine the specific information that must be submitted:

- **LOCATION OF SITE WITHIN FLOODPLAIN HAZARD AREA.** As applicable, an application proposing a land use change on a parcel located within a floodplain hazard area, pursuant to Section 11-103: Development in Areas Subject to Flood Hazards.
- **LOCATION OF SITE WITHIN GEOLOGIC HAZARD AREA.** As applicable, an application proposing a land use change on a parcel located in a geologic hazard area may be required to submit a geotechnical report that evaluates and predicts the impact of specific geologic conditions on the proposed land use change and measures to mitigate these hazards, pursuant to Section 11-104: *Development in Areas Subject to Geologic Hazards*.
- **LOCATION OF SITE WITHIN WILDFIRE HAZARD AREA.** As applicable, an application proposing a land use change on a parcel located within a wildfire hazard area, pursuant to Section 11-105: Development in Areas Subject to Wildfire Hazards.
- **LOCATION OF SITE WITHIN AREA POTENTIALLY AFFECTED BY WETLANDS AND WETLANDS PERMITTING.** As applicable, an application proposing a land use change on a parcel located in an area in which there are wetlands, pursuant to Section 11-107: Protection of Water Quality.
- **LOCATION OF SITE VISIBLE FROM RIDGELINE VANTAGE.** As applicable, an application proposing a land use change that is visible from a ridgeline vantage, pursuant to Section 11-108: Standards for Development on Ridgelines.
- **DEVELOPMENTS IMPACTING AGRICULTURAL LANDS.** If a proposed project adjoins agricultural lands, involves land through which irrigation ditches flow, or over which there are general or exclusive easements for stock drives, the application shall address the requirements of Section 11-109: Development That Affects Agricultural Lands, and Section 15-103: Right-to-Ranch Policy which shall identify, in written and/or graphic form, the following:
 - **AGRICULTURAL LAND OWNER.** The location(s) and name(s) of owner(s) of any agricultural land(s) adjoining or possibly impacted by the proposed land use change.
 - **AGRICULTURAL DITCHES.** The location(s), name(s), name(s) of owner(s), size(s), and decreed capacity(ies) of any agricultural ditch crossing or adjoining the development property, as available from the Colorado Division of Water Resources, or ditch commissioner's records.
 - **EASEMENTS.** The location of historical easements used to gain access to headgates, ditches, and fences for maintenance or operations.
 - **LIVESTOCK DRIVES AND FENCELINES.** Historic or recorded stock drive easements crossing or adjoining the development property, including the location of any existing fences along property lines, and the location of new fences or other obstacles proposed to be built across any such stock drive.
- **DEVELOPMENT ON LAND BEYOND SNOWPLOWED ACCESS.** As applicable, an application that proposes development at a location that currently receives no snowplowing services for access, pursuant to Section 11-110: *Development of Land Beyond Snowplowed Access*.
- **DEVELOPMENT ON LAND ON AN INHOLDING WITHIN NATIONAL WILDERNESS.** As applicable, an application that proposes development on an inholding within a National Wilderness Area, pursuant to Section 11-111: *Development on Inholdings in the National Wilderness*.
- **DEVELOPMENT ON PROPERTY ABOVE TIMBERLINE.** As applicable, an application that proposes development on a parcel located above timberline, pursuant to Section 11-112: *Development on Property Above Timberline*.

VICINITY MAP EXAMPLE



SITE PLAN EXAMPLE



Land Use Change Permit Application Checklist

Additional items may be requested upon review of the application.

The following attachments must be included, along with this application:

- COMPLETE APPLICATION.** Please complete each section of the above application. If the application is not complete staff will notify you in writing of the missing items.
- APPLICATION FEE DUE AT SUBMITTAL**
- LETTER OF OWNER'S CONSENT.** If applicable, a **notarized** letter from the property owner acknowledging a person other than the owner may apply for permits.
- PROJECT DESCRIPTION.** Describe your proposed project in detail, including existing improvements or operations and proposed changes or expansion.
- SITE PLANS.** Site Plans, as described in the Land Use Change application, page 4 and depicted above.
- VICINITY MAP.** Submit a vicinity map as described in the Land Use Change application, page 4 and depicted above. You may contact the GIS Department at 970-641-7620 for assistance in creating large scale maps.
- ADJACENT PROPERTY OWNERS.** Identify all property owners within 500 feet of the boundaries of the subject parcel. You may contact the Gunnison County Assessor at 970-641-1085 for assistance.
- TAXES PAID.** Submit a copy of the taxes paid for the most recent year, you may contact the Gunnison County Treasurer's office at 970-641-2231.
- WELL PERMIT.** Submit a copy of the well permit available from the Colorado Division of Water Resources, 970-249-6622.
- WASTEWATER.**
INDIVIDUAL SEWAGE DISPOSAL SYSTEM (ISDS). If your project is going to be served by an individual sewage disposal system, **have you obtained an ISDS Permit?** _____. If yes, list the Permit # _____. **If not, have you applied for it?** _____. You may contact the Environmental Health Inspector at 970-641-5105 to be informed of the applicable standards.
TAP FEES. If your building site is to be served by a district or municipal or private central wastewater treatment system or water supply system, you must submit your receipt of payment of the required tap fees must be submitted before the County Building Permit is issued. **Have the fees been paid?** _____
- CDOT ACCESS PERMIT:** If the subject parcel is accessed from a state highway submit a copy of the access permit from the Colorado Department of Transportation.
- TRAFFIC:** Identify the traffic associated with the proposed project.
- FIRE DISTRICT STANDARDS.** Contact the applicable Fire District for the purpose of being informed of their standards. Gunnison Fire Protection District: 970-641-8153. Crested Butte Fire Protection District: 970-349-5333.
- HOMEOWNERS' ASSOCIATION APPROVAL.** If you are in a subdivision that has a homeowner's association, the association's approval must be attached to your plans.
- WARRANTY DEED.** A copy of the recorded Warranty Deed is required for proof of ownership. This may be obtained from the Clerk and Recorder's Office, first floor of the Blackstock Government Center.



P.O. Box 1485
Crested Butte, Colorado 81224

Dear Land Use Change Applicant,

The Gunnison County Trails Commission, formed and appointed by the Gunnison County Commissioners in 1995, encourages you to incorporate trails into your planning process. Many trail systems, exist in Gunnison County on public and private land and we are currently developing future trail corridors through a county-wide planning process. We hope you will take trails into consideration early in your planning process.

The Trails Commission believes that a well-planned trail system offers many benefits to people who reside in or visit the county. Alternative forms of transportation such as hiking, biking, horse-back riding, skiing & snowshoeing, not only get you there, they are excellent forms of fitness. In this day and age, exercise is emphasized as an important part of ones health. We believe that an alternative transportation system allow individuals the ability to get from place to place without being dependent on an automobile. In such beautiful surroundings, as we have here, it is an-asset to be outside. A well-planned trail system can be an inviting feature for your clientele and help to increase the value of your project.

Please feel free to contact us regarding your upcoming project as we have many ideas and suggestions. A member of our commission will contact you after you file your application with the Gunnison County Planning Department or you can give us a call at 970-349-6482.

Thank You for keeping trails in mind as a part of your project.

The Gunnison County Trails Commission



**NOTICE REGARDING U.S. FISH AND WILDLIFE SERVICE
DETERMINATION THAT GUNNISON SAGE-GROUSE IS A
THREATENED SPECIES**

- The U.S. Fish and Wildlife Service has determined, effective December 22, 2014, threatened species status under the Endangered Species Act of 1973, as amended, for the Gunnison Sage-grouse.
- Gunnison County approval of this County permit is not U.S. Fish and Wildlife Service approval of any activity described or authorized by this County permit.
- Gunnison County is not and does not act as your representative with regard to consultation with the U.S. Fish and Wildlife Service or performance of U.S. Fish and Wildlife Service requirements.

CBFPD Subdivision Exemption Plat

An Amendment to the Spann Subdivision Exemption Plat

Situating within the Southwest Quarter of Section 35,
Township 13 South, Range 86 West of the 6th Principal Meridian
Gunnison County, Colorado

- LEGEND -

- ⊕ - Found PLSS Monument as Described
- ⊗ - Found 5/8" Rebar and 2" Aluminum Cap LS 18469
- ⊙ - Found Monument as Described
- - 18" Long, 5/8" Rebar Diameter and 2" Aluminum Witness Corner To Be Set
- - Geometry Point, nothing found or set

(N90°00'00"W 469.12') Vacated Lot Dimension

— Exception Parcel Lines
 - - - Adjoining Lot Line
 - - - Easement Line
 - - - Guardrail
 [Hatched Area] - Asphalt Paving

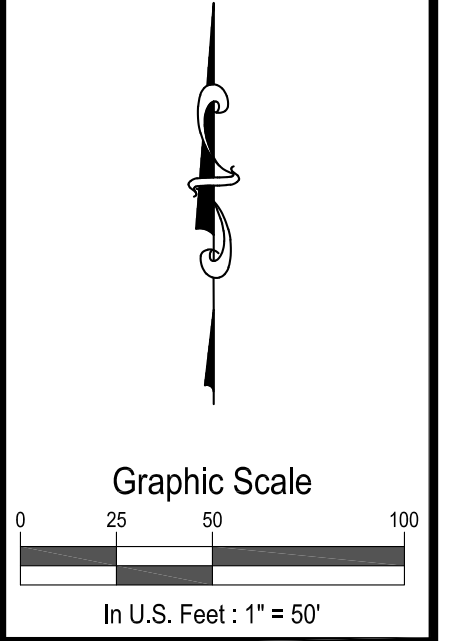
Abbreviations
 Rec. No. = Reception Number

- LINE TABLE -

LINE #	BEARING	DISTANCE
L1	N26°12'25"E	43.70'
L2	N81°59'09"E	49.82'
L3	S39°08'38"W	54.15'
L4	S81°59'29"W	42.77'

- CURVE TABLE -

CURVE #	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	149.42'	900.00'	9°30'45"	S12°03'28"W	149.25'
C2	166.53'	1200.00'	7°57'04"	S23°48'56"W	166.40'
C3	355.82'	1201.95'	16°57'41"	N36°17'08"E	354.52'



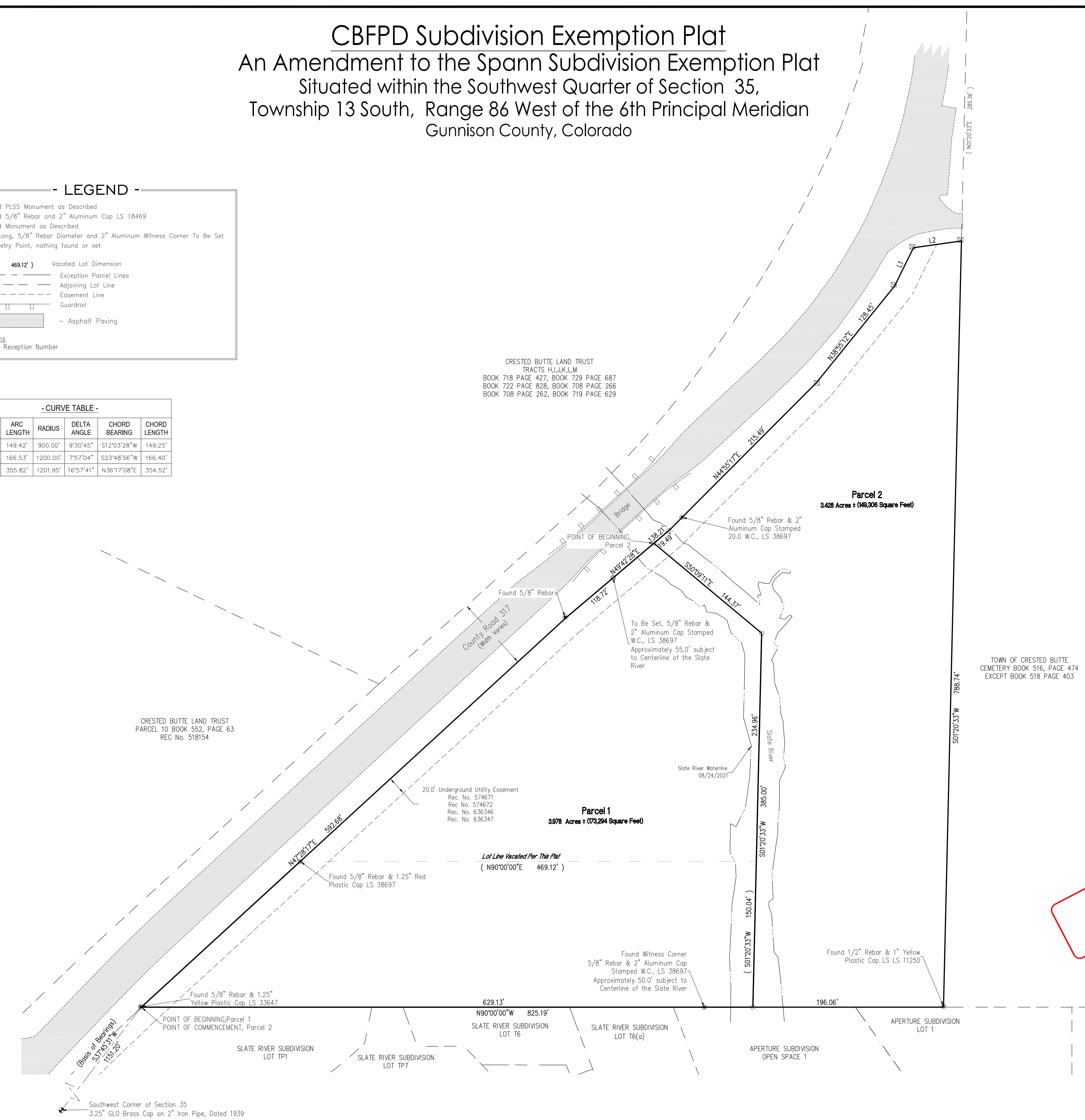
SGM
 103 W. Tomichi Ave., Suite A
 Gunnison, CO 81230
 970.641.5355 www.sgm-inc.com

CBFPD Subdivision Exemption Plat
 Gunnison County, Colorado

1	2	3	4	5	6	7	8	9
Multiple Accretions to Colorado Law with final comments on filed, which based upon any defect in this survey within three years after your first discovery such defect, in no event, may any legal action based upon any defect in this survey be commenced more than ten years from the date of the completion of this survey.								

2020-548.001
 EB
 4/17/2023
 Approved: - J PLS: EB
 CBFDAmendExemptionPlat.dwg

Amended
Exemption Plat



- PRELIMINARY -
 FOR REVIEW ONLY

Z:\Gunnison\2020-548-CBFPD\Drawings\BareMap\CBFDAmendExemptionPlat.dwg PlotDate: 4/17/2023 11:37 AM By: Eric Blomsted



CRESTED BUTTE FIRE PROTECTION DISTRICT

306 MAROON AVENUE • P.O. BOX 1009
CRESTED BUTTE, CO 81224
(970) 349-5333
FIRE FAX: (970) 349-3420 • EMS FAX: (970) 349-0438
WEBSITE: WWW.CBFDP.ORG

April 10, 2023

Martin W. Schmidt
Assistant County Manager for Public Works
195 Basin Park Dr.
Gunnison, CO 81230

Dear Mr. Schmidt,

As you are aware, the Crested Butte Fire Protection District (CBFPD) is submitting applications for Location and Extent and an Access Permit Application to allow for the development of its new emergency services campus on Gothic Road (CR 317), located just north of the Town of Crested Butte's municipal boundary but within unincorporated Gunnison County.

We are submitting to you the same materials that are being provided to Community Development as back-up for the Access Permit Application. These materials include civil plans, a site plan, and a traffic report, to name a few elements, for your use.

As was discussed during a pre-application meeting with your office, we are requesting deviations from the County's access requirements into order to permit the special conditions required for an emergency services campus. We are requesting any deviations necessary to permit the proposed improvements which include three accesses to CR 317.

We look forward to working with you.

Sincerely,

Sean Caffrey, MBA, NRP, CEMSO, FACPE
Chief Executive Officer & Commissioner
Crested Butte Fire Protection District

Fee:	\$250.00
Date Paid:	_____
Cash/CC/Check:	_____
Received By:	_____

**GUNNISON COUNTY
PUBLIC WORKS DEPARTMENT**
195 Basin Park Drive, Gunnison, CO 81230
(970) 641-0044

Permit # _____

ACCESS PERMIT APPLICATION

Crested Butte Fire Protection District (owner name on the property) requests permission and authority from the Gunnison County Public Works Department to construct an access connecting to the road known as Gothic Road, in Gunnison County, adjacent to their property located on the E (N,S,E,W) side of the road, with a physical address of No Assigned Address for the purpose of obtaining access to CBFPD HQ & SAR facility (residence, vacant land, etc.). The property's legal Address is Not yet assigned.

Applications can be mailed or dropped off to the address at the top of this form. Access permit applications may be submitted year-round, but issuance may be delayed by weather. Applications submitted outside of those dates may be reviewed at the discretion of the Operations Manager or designated staff.

ATTACHMENTS:

- A. AN 11" x 17" COPY OF THE SITE PLAN IS REQUIRED.
If the submitted site plan is updated or changed in any way during the project, a new site plan must be submitted to the Gunnison County Public Works Office for approval.

REGULATIONS:

- A. Pursuant to Section 1.3 of the Gunnison County Road and Bridge Standards ("Standards"), the Applicant may not engage in, cause or allow any construction of, or work on the access contemplated by this Application until this any all other necessary permits are issued by Gunnison County. If such activity has begun before issuance of such permit(s), no permit shall be issued until the Applicant ceases the activity, remedies any damage caused, and complies with all enforcement actions taken by Gunnison County.
- B. The Applicant binds and obligates themselves to construct and maintain the access in accordance to the submitted site plan and with the provisions, specifications, and conditions enumerated on this application and in the Gunnison County Standard Specifications for New Road and Bridge Construction.
- C. The Applicant represents all parties in interest and affirms that the access to be constructed by them is for the bona fide purpose of securing access to their property and not for any other purpose.
- D. The Applicant shall furnish all labor and materials, perform all work, and pay all costs in connection with the construction of the access and its appurtenances.
- E. Approved permits are valid for one year from the approval date. Any extension must be requested prior to the expiration date of the original permit or a renewal fee of \$250.00 will be charged before any final inspection can be scheduled.
- F. The traveling public shall be protected during the construction in conformance with the Manual for Uniform Traffic Control Devices (MUTCD) AND Public Rights-of-Way Accessibility Guidelines (PROWAG) AND the Gunnison County Public Works Department.
- G. Gunnison County's duly appointed agents and employees shall be held harmless against any action for all claims and liability, including but not limited to personal injury or property damage, sustained by reason of the exercise of the permit.
- H. The Applicant shall assume responsibility for the removal and storage of snow, ice, or sleet on any portion of the access even if deposited on the driveway in the course of snow removal operations on the County road or the road right-of-way. County road may not be plowed in the winter.

- I. In the event it becomes necessary to remove any right-of-way fence, the posts on either side of the entrance shall be securely braced before the fence is cut to prevent any slacking of the remaining fence. Any removed materials shall be turned over to the Gunnison County Public Works Department, if so directed.
- J. Approval of this permit does not guarantee approval of any other permits required by Gunnison County.
- K. Individual accesses may be subject to additional specifications or standards and need to comply with the Gunnison County Land Use Resolution. Special conditions required by Gunnison County Public Works Department will be noted herein or attached to the permit if applicable.
- L. If the access is off of a State of Colorado highway the applicant must obtain an access permit from the State and provide a copy of that approved permit with their access permit application.
- M. The Applicant is responsible for obtaining and asserting legal right to construct the access through continuous easements, agreements, ownership, etc. prior to permit issuance. Gunnison County does not confirm, represent, or warrant legal access by issuing an access permit.
- N. Final inspections can be scheduled any time after frame inspection is completed, unless it is a driveway to vacant land in which case the final can be scheduled when ready. In order to perform the final inspection of the access permit, a representative of the company that holds the access permit must be on site during the inspection or the final inspection will be cancelled and a reinspection fee of \$500 will be charged.
- O. A sign structure or parked vehicle shall not be permitted where it will obstruct a required sight distance under Section 4.6.3 of the Standards.

CONDITIONS:

- A. The approved access permit allows for work on your ACCESS ONLY, you cannot perform dirt work for any other aspect of your project until a separate, appropriate permit has been issued.
- B. No landscaping, rocks, trees, berms, or any other improvements are allowed within the County road right-of-way without written approval from the Assistant County Manager for Public Works or their representative.
- C. No parking or storing of any construction equipment, trailers, porta-pots, or materials, etc. is allowed in the road right-of-way. Vehicles parked in the road right-of-way can and will be towed if impeding plowing or maintenance operations.

SPECIAL CONDITIONS: (As Determined by Gunnison County – To Be Completed by Inspector)

Approved permit, approval letter, special conditions, any necessary correspondence, and final inspection letters will be emailed to the addresses provided below. A copy of the approved access permit should be available on the work site. A printed copy can be picked up at the Gunnison County Public Works Department upon request.

In signing and initialing this application and upon receiving Gunnison County Public Works Department authorization and permission to construct the access described herein, the Applicant warrants, agrees and acknowledges that they have read, understand, and accept the foregoing provisions and conditions and agree to construct the access in accordance with the accompanying site plan, reviewed and approved by the Gunnison County Public Works Department, the conditions below, and any special conditions noted or attached that may be placed on the project.

INITIALS:

- A. Proposed access will be staked with a 48-inch wood lathe stake on the centerline starting at the intersection of the intersecting road and for every 50 feet thereafter up to the end point of the access. The name used on this application should be on the first stake. SC (initial)
- B. The Applicant agrees that the applicant shall pay Gunnison County's costs, expenses and attorney's fees for enforcement of the requirements of this permit, and shall also reimburse Gunnison County, should it so request at its sole discretion, for any and all damages to any public road or highway caused by his or her activities in constructing the access that is the subject of this application. SC (initial)
- C. A final, physical, inspection of the completed driveway is required. It is the responsibility of the applicant to schedule the final driveway inspection a minimum of 3 business days in advance. The driveway construction must be complete and fully visible, including all drainages and appurtenances, at the time of the final inspection. If the driveway fails final inspection there is a \$500 reinspection fee. SC (initial)
- D. THERE WILL BE NO FINAL INSPECTIONS DONE DURING THE WINTER (NOVEMBER – APRIL) OR WHEN WEATHER PROHIBITS COMPLETE INSPECTION OF THE DRIVEWAY AND INFRASTRUCTURE AND/OR THE SURFACE IS FROZEN. THAWING OF THE ACCESS SURFACE WILL NOT BE ACCEPTED FOR FINALS (GROUND HEATERS, HEATING BLANKETS). SC (initial)

Sean Caffrey

Printed Name of Applicant or Representative

scaffrey@cbfpd.org

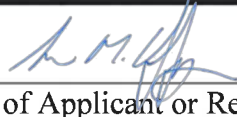
Email Address of Applicant or Representative

FCI Constructors, Inc.

Printed Name of Contractor

byoung@fciol.com

Email Address of Contractor



Signature of Applicant or Representative

970-349-5333

Telephone of Applicant or Representative

Signature of Contractor

970-434-9093

Telephone of Contractor

APPROVAL:

Access permit granted _____ (date) and is subject to the provisions, specifications, and conditions stipulated herein.

Access Inspector

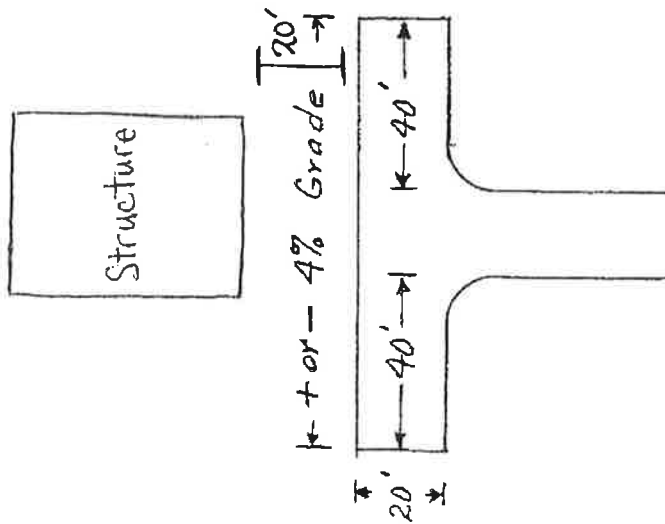
Assistant County Manager for Public Works

THIS PERMIT SHALL BE MADE AVAILABLE AT THE SITE WHERE AND WHEN WORK IS BEING DONE AND BE PRESENTED AT FINAL INSPECTION.

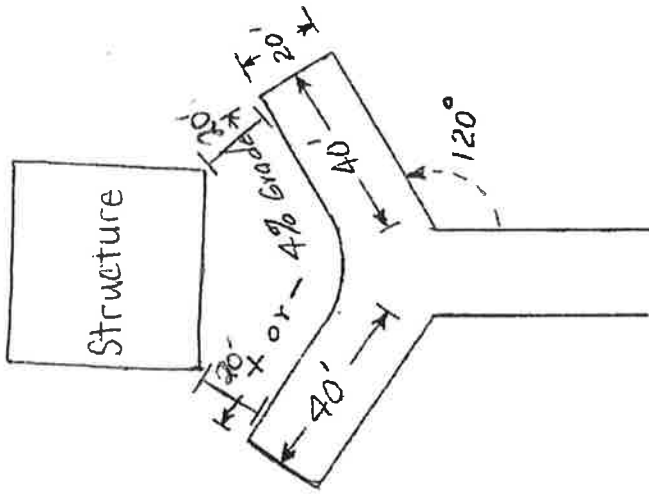
FINAL INSPECTION:

Final inspection of the access was completed _____ by _____.

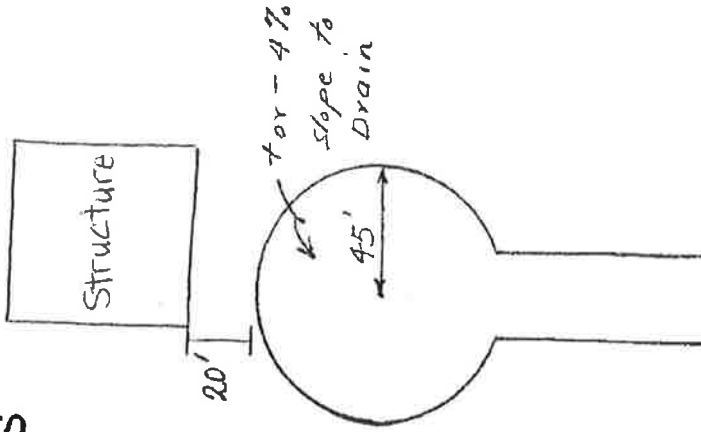
STANDARD TURNAROUND OPTIONS



T - Turnaround



Y - Turnaround



Cul-de-sac

General Construction Notes:

1. Road width going into the Turnaround may vary from 16 feet to 24 feet.
2. Grade on the road approaching the Turnaround shall not exceed 4% for 50 feet.
3. Grades on 'T' or 'Y' Turnarounds shall not exceed + or - 4%.
4. A minimum of 4% crown, inslope or outslope, shall be constructed into the Turnaround to provide drainage.
5. 'T' Turnarounds shall be a minimum of 20 feet from any flammable structures.

4.5

Access Control Standards

All driveways that access a County road or right-of-way shall have a minimum surface width of eighteen (18) feet at the edge of the pavement or road surface, and taper to a minimum surface width of sixteen (16) feet at a distance of six feet from the edge of the road, and maintain this surface width to the end of the driveway. All such driveways shall be constructed with the following minimum section dimensions:

<u>Driveway Material</u>	<u>Minimum Section Depths</u>
Concrete	6 inches;
HBP	2 inches with 6 inches Class 6 aggregate base course;
Gravel	6 inches Class 6 aggregate base course;
Native Material	Permissible only if access road is native material or native material provides structural stability and an all-weather driving surface.

and shall be installed in accordance with both an approved driveway permit and all applicable sections of these Standards and Specifications. Access to a County road or right-of-way must be obtained as described in Section 7.4.

The maximum grades for driveways shall be 11%. **The grade of entrance and exit shall slope downward and away from the road surface at the same rate as the normal cross slope and for a distance equal to the width of the shoulder, but in no case less than ten feet from the traveled way.**

All driveways and approaches shall be constructed so that they shall not interfere with the drainage system of the roadway. The applicant will be required to pay for and install, at his own expense, drainage structures at entrances and exits which will become an integral part of the existing drainage system. The dimensions of all drainage structures must be approved by the Gunnison County Public Works Department representative prior to installation. The minimum size of culvert installed parallel to the road will be 12" diameter. Maintenance of the culvert shall be the responsibility of the property owner.

The horizontal axis of an approach to the roadway shall normally be at right angle to the centerline of the roadway and extend a minimum of forty (40) feet beyond the traveled way. An angle between 90 and 60 degrees shall be permitted if it can be shown that physical constraints exist that require an approach new angle of less than 90 degrees. An angle less than 60 degrees is not permitted.

No more than one approach shall be allowed on any parcel of property when there is less than one hundred (100) feet of property frontage.

In the case of flared driveways, the flared portion adjacent to the traveled way shall not encroach upon adjoining property.

An access approach that is gated shall be designed so that the longest vehicle using it can completely clear the traveled way when the gate is closed. In no event shall such distance be less than thirty five (35) feet.

Intersecting public and private roads shall be located opposite each other where possible or be offset by a minimum of one hundred twenty five (125) feet.

Driveways shall have an all weather driving surface. In the case of a native material road, the driveway shall match the existing surface.

Driveways shall have a minimum surface width of 18 feet at the edge of pavement or road surface and taper to 16 feet at a distance 6 feet from the edge of the road and maintain this surface width to the end of the driveway.

Driveways which are in excess of 600 feet in length and are single lane shall be required to have standard inter-visible turnouts. (See Appendix D).

Driveways at the End of the Road – Driveways 150' or longer in length that end at a private residence, a business or structure larger than 600 square feet, shall have a cul-de-sac, loop design or a "Y" or "T" turn around adequate to accommodate emergency service vehicles. "T" turnarounds shall be a minimum of 20' from any flammable structure. All turn around areas shall be kept open and clear, and shall have sufficient area for snow storage outside of road prism, and shall be plowed by the owner in the winter. (See Appendix E).

Driveway designs that allow for backing onto or off of a county road shall be evaluated on a case-by-case basis. Lot size, proposed house location and traffic volume and speed can be used as determining factors. The Director of Public Works will make the final determination.

Any driveway permit application that is over 250 feet in length and has the potential to be used for a road for future development may be referred to the planning office for proper review.

Driveways shall be constructed to meet all Standards and Specifications from the edge of the County road, or public road, or private road under County jurisdiction, to the building footprint.

Driveways on steep uphill or downhill will require a flat landing area for a minimum of 30 feet before the intersection with the edge of the road.

A temporary access road as defined herein shall be required to meet all Standards and Specifications only from the edge of the road to the property line.

Adequate vehicle parking must be provided on the private parcel. No parking along the road will be permitted.

Any overhead entry structures shall be at least 13' 6" high, measured from the road surface.

Table 4-5 - Cut and Fill Slopes:

Height	Cut Slopes	Fill Slopes
0-5 feet	3:1	2:1
5-10 feet	2:1	1 1/2:1
10-15 feet	1 1/2:1	1 1/2:1
Above 15 feet	1:1	1 1/2:1

Table 4-6 - Summary of Driveway Design Elements:

TYPE OF ACCESS (driveway)	# OF LANES	LANE WIDTH
1. Residential	1	16 feet
2. Agricultural	1	16 feet
3. Commercial	2	11 feet
4. Industrial	2	11 feet

Table 4-7 - Intersection Sight Distance

*Vehicle expected to enter or cross highway	Sight Distance is given in feet per 10 mph of posted speed limit	
	2 Lane	4 Lane
Passenger Car	100	120
Single Unit Truck	130	150
Multi-Unit Trucks	170	200



CRESTED BUTTE FIRE PROTECTION DISTRICT

306 MAROON AVENUE • P.O. Box 1009
CRESTED BUTTE, CO 81224
(970) 349-5333
FIRE FAX: (970) 349-3420 • EMS FAX: (970) 349-0438
WEBSITE: WWW.CBFDP.ORG

April 10, 2023

Hillary Seminick
Planning Director, Gunnison County
221 N. Wisconsin St., Suite D
Gunnison, CO 81230

Dear Ms. Seminick,

As you are aware, the Crested Butte Fire Protection District (CBFPD) is submitting for a Location and Extent and related applications to allow for the development of its new emergency services campus on Gothic Road (CR 317), located just north of the Town of Crested Butte's municipal boundary, within unincorporated Gunnison County.

We are working with Todd Goulding, of Goulding Development Advisors and Dominic Mauriello of Mauriello Planning Group to represent the CBFPD. This letter serves as the CBFPD's authorization to act as our representatives during the review process.

We look forward to working with you.

Sincerely,

Sean Caffrey, MBA, NRP, CEMSO, FACPE
Chief Executive Officer & Commissioner
Crested Butte Fire Protection District

Notary:

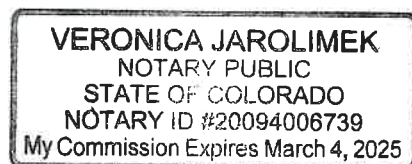
State of Colorado

County of Gunnison

Signed and sworn to before me on this 10 day of April 2023, by Veronica Jarolimek.

My commission expires: March 4 2025

Notary's official signature



Certificate of Taxes Due

GUNNISON COUNTY TREASURER
GUNNISON COUNTY, CO

Account #: R073958
Parcel #: 317735003018
Owner: SPANN VIRGIL & LEE RANCHES INC
36781 US HIGHWAY 50
GUNNISON, CO 81230-9745

Cert #: 44395
Requestor: LAND TITLE GUARANTEE
COMPANY
Requestor #: 88005020
Email:

Amount due is valid at issuance date only.

Property Address:

Comments:

Legal Description: 5.7 ACRES IN SECTION 35, TOWNSHIP 13S, RANGE 86W (CRESTED BUTTE CEMETERY)

TAX YEAR	CHARGE	BASE AMOUNT	INTEREST	FEES	TOTAL DUE
TOTAL TAX		\$0.00	\$0.00	\$0.00	\$0.00
EXEMPTION (APPLIED)					\$0.00
PAID					\$0.00
TOTAL LIABILITY (current and prior years):					\$0.00

ORIGINAL TAX BILLING FOR	2021	TAX DISTRICT	Values	Actual	Assessed	
Authority		Levy	Tax	TOTAL	\$0.00	\$0.00
TAXES FOR	2021	0	\$0.00			

* Credit Levy

All Tax Lien Sale amounts are subject to change due to endorsement of current taxes by the lienholder. Tax Lien Sale redemption amounts must be paid by cash or certified funds. This certificate does not include land or improvements assessed under a separate account number, personal property taxes, oil, gas and mineral rights, transfer tax or misc. tax collected on behalf of other entities, special or local improvement district assessments or mobile homes, unless specifically mentioned. Information regarding special taxing districts and the boundaries of such districts may be on file or deposit with the Board of County Commissioners, the County Clerk and Recorder or the County Assessor. I, the undersigned, do hereby certify that the entire amount of taxes due upon the above described parcels of real property and all outstanding sales for unpaid taxes as shown by the records in my office from which the same may still be redeemed with the amount required for redemption are as noted herein. In witness whereof, I have hereunto set my hand and seal this 9/20/2022.

DEBBIE DUNBAR, TREASURER

BY: _____



**Land Title Guarantee Company
Customer Distribution**



PREVENT FRAUD - Please remember to call a member of our closing team when initiating a wire transfer or providing wiring instructions.

Order Number: **GUR88005020-4**

Date: **11/29/2022**

Property Address: **TBD GOTHIC ROAD, CRESTED BUTTE, CO 81224**

PLEASE CONTACT YOUR CLOSER OR CLOSER'S ASSISTANT FOR WIRE TRANSFER INSTRUCTIONS

For Closing Assistance

Whitney Laurien
411 THIRD STREET
CRESTED BUTTE, CO 81224
PO BOX 221
(970) 349-0115 (Work)
(800) 834-5192 (Work Fax)
wlaurien@ltgc.com
Company License: CO44565

Closing Associate

Christina Cesario
411 THIRD STREET
CRESTED BUTTE, CO 81224
PO BOX 221
(970) 349-0115 (Work)
(800) 834-5192 (Work Fax)
ccesario@ltgc.com
Company License: CO44565

Closing Processor

Erin Jeffery
411 THIRD STREET
CRESTED BUTTE, CO 81224
PO BOX 221
(970) 349-0115 (Work)
(800) 834-5192 (Work Fax)
ejeffery@ltgc.com
Company License: CO44565

For Title Assistance

Land Title Crested Butte Title Team
411 THIRD STREET
CRESTED BUTTE, CO 81224
PO BOX 221
(970) 626-7001 (Work)
(877) 375-5025 (Work Fax)
gcreponse@ltgc.com

Buyer/Borrower

CRESTED BUTTE FIRE PROTECTION DISTRICT
Attention: CHRIS MCCANN
Delivered via: Electronic Mail

Seller/Owner

VIRGIL AND LEE SPANN RANCHES, INC.
Attention: LEE SPANN
Delivered via: Electronic Mail



Land Title Guarantee Company
Estimate of Title Fees

Order Number: **GUR88005020-4**

Date: **11/29/2022**

Property Address: **TBD GOTHIC ROAD, CRESTED BUTTE, CO 81224**

Parties: **CRESTED BUTTE FIRE PROTECTION DISTRICT, A COLORADO SPECIAL DISTRICT
VIRGIL AND LEE SPANN RANCHES, INC.**

Visit Land Title's Website at www.ltgc.com for directions to any of our offices.

Estimate of Title insurance Fees	
"ALTA" Owner's Policy 06-17-06	\$4,060.00
Deletion of Standard Exception(s)	\$75.00
Tax Certificate	<u>\$27.00</u>
	Total <u>\$4,162.00</u>
If Land Title Guarantee Company will be closing this transaction, the fees listed above will be collected at closing.	
Thank you for your order!	

Note: The documents linked in this commitment should be reviewed carefully. These documents, such as covenants conditions and restrictions, may affect the title, ownership and use of the property. You may wish to engage legal assistance in order to fully understand and be aware of the implications of the effect of these documents on your property.

Chain of Title Documents:

[Gunnison county recorded 07/10/1980 at book 552 page 63](#)

[Gunnison county recorded 06/28/1978 at book 516 page 474](#)

ALTA COMMITMENT

Old Republic National Title Insurance Company

Schedule A

Order Number: GUR88005020-4

Property Address:

TBD GOTHIC ROAD, CRESTED BUTTE, CO 81224

1. Effective Date:

11/22/2022 at 5:00 P.M.

2. Policy to be Issued and Proposed Insured:

"ALTA" Owner's Policy 06-17-06

\$1,950,000.00

Proposed Insured:

CRESTED BUTTE FIRE PROTECTION DISTRICT, A COLORADO
SPECIAL DISTRICT

3. The estate or interest in the land described or referred to in this Commitment and covered herein is:

A FEE SIMPLE

4. Title to the estate or interest covered herein is at the effective date hereof vested in:

VIRGIL AND LEE SPANN RANCHES, INC.

5. The Land referred to in this Commitment is described as follows:

A PARCEL OF LAND SITUATED ENTIRELY WITHIN PARCEL 22, AS DESCRIBED IN CIVIL ACTION NO. 6647 RECORDED JULY 10, 1980 IN BOOK 552 AT PAGE [63](#) IN THE OFFICE OF THE GUNNISON COUNTY CLERK AND RECORDER, ALSO LYING FOR REFERENCE IN THE SW¹/₄ OF SECTION 35, TOWNSHIP 13 SOUTH, RANGE 86 WEST OF THE SIXTH PRINCIPAL MERIDIAN, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF THE SLATE RIVER SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 10, 2020 UNDER RECEPTION NO. [669207](#) IN THE OFFICE OF THE GUNNISON COUNTY CLERK AND RECORDER, ALSO BEING A POINT ON THE SOUTHEASTERLY RIGHT OF WAY OF COUNTY ROAD 317, BEING MONUMENTED BY A 5/8" REBAR AND 1.25" YELLOW PLASTIC CAP STAMPED LS 33647, FROM WHENCE THE SOUTHWEST CORNER OF SAID SECTION 35, BEING MONUMENTED BY A 3.25" GLO BRASS CAP, PROPERLY MARKED AND DATED 1939 BEARS SOUTH 37°45'31" WEST A DISTANCE OF 1151.20 FEET (BASIS OF BEARINGS FOR THIS DESCRIPTION), THENCE NORTH 47°28'17" EAST ALONG THE SOUTHERLY RIGHT OF WAY OF SAID COUNTY ROAD 317 A DISTANCE OF 221.90 FEET TO THE TRUE POINT OF BEGINNING;
THENCE CONTINUING ALONG SAID RIGHT OF WAY THE FOLLOWING 6 COURSES:

1. NORTH 47°28'17" EAST A DISTANCE OF 370.78 FEET;
2. NORTH 49°42'28" EAST A DISTANCE OF 138.21 FEET;
3. NORTH 44°55'17" EAST A DISTANCE OF 215.49 FEET;
4. NORTH 38°55'12" EAST A DISTANCE OF 128.45 FEET;
5. NORTH 26°12'25" EAST A DISTANCE OF 43.70 FEET;
6. NORTH 81°59'09" EAST A DISTANCE OF 49.82 FEET TO A POINT ON THE EASTERN BOUNDARY OF THE TOWN OF CRESTED BUTTE CEMETERY, RECORDED JUNE 28, 1978 IN BOOK 516 AT PAGE [474](#);

THENCE SOUTH 01°20'33" EAST ALONG THE EASTERN LINE OF SAID TOWN OF CRESTED BUTTE CEMETERY PARCEL A DISTANCE OF 788.74 FEET TO A POINT ON THE NORTH LINE OF LOT OPEN SPACE 1, APERTURE SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 1, 2017 UNDER RECEPTION NO. [648057](#) IN THE OFFICE OF THE GUNNISON COUNTY CLERK AND RECORDER;

ALTA COMMITMENT

Old Republic National Title Insurance Company

Schedule A

Order Number: GUR88005020-4

THENCE SOUTH 90°00'00" WEST ALONG THE NORTH LINE OF LOT 1 AND OPEN SPACE 1 OF SAID APERTURE SUBDIVISION, A DISTANCE OF 196.06 FEET TO A POINT ON THE CENTERLINE OF THE SLATE RIVER;
THENCE NORTH 01°20'33" EAST ALONG THE CENTERLINE OF THE SLATE RIVER A DISTANCE OF 150.04 FEET;
THENCE NORTH 90°00'00" WEST A DISTANCE OF 469.12 FEET TO THE POINT OF BEGINNING,

COUNTY OF GUNNISON,
STATE OF COLORADO.

Copyright 2006-2022 American Land Title Association. All rights reserved.

The use of this Form is restricted to ALTA licensees and ALTA members in good standing as of the date of use. All other uses are prohibited. Reprinted under license from the American Land Title Association.



ALTA COMMITMENT

Old Republic National Title Insurance Company

Schedule B, Part I

(Requirements)

Order Number: GUR88005020-4

All of the following Requirements must be met:

This proposed Insured must notify the Company in writing of the name of any party not referred to in this Commitment who will obtain an interest in the Land or who will make a loan on the Land. The Company may then make additional Requirements or Exceptions.

Pay the agreed amount for the estate or interest to be insured.

Pay the premiums, fees, and charges for the Policy to the Company.

Documents satisfactory to the Company that convey the Title or create the Mortgage to be insured, or both, must be properly authorized, executed, delivered, and recorded in the Public Records.

1. LAND TITLE GUARANTEE COMPANY HAS RECEIVED AN IMPROVEMENT LOCATION CERTIFICATE/SURVEY FOR THE SUBJECT PROPERTY PREPARED BY SGM, JOB NO. 2020-548.001, DATED NOVEMBER 19, 2021, THAT IS ACCEPTABLE TO THE COMPANY. *** IN ADDITION, A SURVEY AFFIDAVIT, EXECUTED BY VIRGIL AND LEE SPANN RANCHES, INC., IS NECESSARY INDICATING THAT THERE HAVE BEEN NO NEW IMPROVEMENTS, EASEMENTS OR BOUNDARY CHANGES SINCE THE DATE OF SAID IMPROVEMENT LOCATION CERTIFICATE/SURVEY AND THAT THE IMPROVEMENTS SHOWN ON SAID IMPROVEMENT LOCATION CERTIFICATE/SURVEY HAVE NOT BEEN ALTERED SINCE THE DATE OF SAID IMPROVEMENT LOCATION CERTIFICATE/SURVEY. ***
2. CERTIFIED COPY OF RESOLUTION OF THE GOVERNING BOARD OF CRESTED BUTTE FIRE PROTECTION DISTRICT, A COLORADO SPECIAL DISTRICT (AUTHORIZING THE PURCHASE OF THE SUBJECT PROPERTY AND THE EXECUTION OF NECESSARY DOCUMENTS) AND RECITING THAT THE BOARD HAS BEEN DULY AUTHORIZED IN THE PREMISES BY THE CORPORATION. SAID RESOLUTION MUST BE PROPERLY CERTIFIED BY AN OFFICER OF THE CORPORATION. SAID RESOLUTION MUST BE SUBMITTED TO AND APPROVED BY LAND TITLE GUARANTEE COMPANY BUT NEED NOT BE RECORDED.
3. WARRANTY DEED FROM VIRGIL AND LEE SPANN RANCHES, INC. TO CRESTED BUTTE FIRE PROTECTION DISTRICT, A COLORADO SPECIAL DISTRICT CONVEYING SUBJECT PROPERTY.

NOTE: SAID DOCUMENT CAN BE EXECUTED BY THE PRESIDENT, VICE-PRESIDENT OR CHAIRMAN OF THE BOARD (CEO) OF THE CORPORATION. IF ANY OTHER OFFICER OF THE CORPORATION OR AGENT EXECUTES SAID DOCUMENT ON BEHALF OF THE CORPORATION, A POWER OF ATTORNEY/RESOLUTION MUST BE PROVIDED TO LAND TITLE GRANTING SAID AUTHORIZATION.
4. (THIS ITEM WAS INTENTIONALLY DELETED)

REQUIREMENTS TO DELETE THE PRE-PRINTED EXCEPTIONS IN THE OWNER'S POLICY TO BE ISSUED:

A. UPON RECEIPT BY THE COMPANY OF A SATISFACTORY FINAL AFFIDAVIT AND AGREEMENT FROM THE SELLER AND PROPOSED INSURED, AND A LAND SURVEY AFFIDAVIT, ITEMS 1-4 OF THE PRE-PRINTED EXCEPTIONS WILL BE DELETED. ANY ADVERSE MATTERS DISCLOSED BY THE FINAL AFFIDAVIT AND AGREEMENT AND SURVEY AFFIDAVIT WILL BE ADDED AS EXCEPTIONS.

B. IF LAND TITLE GUARANTEE COMPANY CONDUCTS THE CLOSING OF THE CONTEMPLATED TRANSACTIONS AND RECORDS THE DOCUMENTS IN CONNECTION THEREWITH, ITEM 5 OF THE PRE-PRINTED EXCEPTIONS WILL BE DELETED.

C. UPON RECEIPT OF PROOF OF PAYMENT OF ALL PRIOR YEARS' TAXES AND ASSESSMENTS, ITEM 6 OF THE PRE-PRINTED EXCEPTIONS WILL BE AMENDED TO READ:

TAXES AND ASSESSMENTS FOR THE YEAR 2022 AND SUBSEQUENT YEARS.

ALTA COMMITMENT

Old Republic National Title Insurance Company

Schedule B, Part I

(Requirements)

Order Number: GUR88005020-4

All of the following Requirements must be met:

(THIS ITEM WAS INTENTIONALLY DELETED)

NOTE: THE COMMITMENT DOES NOT REFLECT THE STATUS OF TITLE TO WATER RIGHTS OR REPRESENTATION OF SAID RIGHTS.

ALTA COMMITMENT

Old Republic National Title Insurance Company

Schedule B, Part II

(Exceptions)

Order Number: [GUR88005020-4](#)

This commitment does not republish any covenants, condition, restriction, or limitation contained in any document referred to in this commitment to the extent that the specific covenant, conditions, restriction, or limitation violates state or federal law based on race, color, religion, sex, sexual orientation, gender identity, handicap, familial status, or national origin.

1. Any facts, rights, interests, or claims thereof, not shown by the Public Records but that could be ascertained by an inspection of the Land or that may be asserted by persons in possession of the Land.
2. Easements, liens or encumbrances, or claims thereof, not shown by the Public Records.
3. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land and not shown by the Public Records.
4. Any lien, or right to a lien, for services, labor or material heretofore or hereafter furnished, imposed by law and not shown by the Public Records.
5. Defects, liens, encumbrances, adverse claims or other matters, if any, created, first appearing in the public records or attaching subsequent to the effective date hereof but prior to the date of the proposed insured acquires of record for value the estate or interest or mortgage thereon covered by this Commitment.
6. (a) Taxes or assessments that are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; (b) proceedings by a public agency that may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the Public Records.
7. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights, claims or title to water.
8. RIGHT OF PROPRIETOR OF A VEIN OR LODGE TO EXTRACT AND REMOVE HIS ORE THEREFROM SHOULD THE SAME BE FOUND TO PENETRATE OR INTERSECT THE PREMISES AS RESERVED IN UNITED STATES PATENT RECORDED NOVEMBER 30, 1885, IN BOOK 45 AT PAGE [305](#); AND IN PATENT RECORDED APRIL 15, 1886 IN BOOK 45 AT PAGE [314](#).
9. TERMS, CONDITIONS, PROVISIONS AND RESTRICTIONS SET FORTH IN ORDER OF PARTITION RECORDED JUNE 28, 1978 IN BOOK 516 AT PAGE [474](#); AND IN AMENDED ORDER OF PARTITION RECORDED JULY 10, 1980 IN BOOK 552 AT PAGE [63](#).
10. TERMS, CONDITIONS, PROVISIONS, BURDENS, OBLIGATIONS AND EASEMENTS AS SET FORTH AND GRANTED IN GRANT OF EASEMENT RECORDED APRIL 08, 1997 UNDER RECEPTION NO. [474866](#).
11. TERMS, CONDITIONS AND PROVISIONS OF GRANT OF EASEMENT RECORDED JUNE 17, 1997 UNDER RECEPTION NO. [476238](#).
12. EASEMENT GRANTED TO GUNNISON COUNTY ELECTRIC ASSOCIATION, INC., FOR UTILITIES, AND INCIDENTAL PURPOSES, BY INSTRUMENT RECORDED APRIL 26, 2007, UNDER RECEPTION NO. [574671](#).

ALTA COMMITMENT
Old Republic National Title Insurance Company
Schedule B, Part II
(Exceptions)

Order Number: GUR88005020-4

13. EASEMENT GRANTED TO BOARD OF COUNTY COMMISSIONERS OF THE COUNTY OF GUNNISON, COLORADO, FOR UTILITIES, AND INCIDENTAL PURPOSES, BY INSTRUMENT RECORDED APRIL 26, 2007, UNDER RECEPTION NO. [574672](#).
14. TERMS, CONDITIONS, PROVISIONS, BURDENS, OBLIGATIONS AND EASEMENTS AS SET FORTH AND GRANTED IN LEASE AGREEMENT FOR USE OF UTILITY EASEMENT RECORDED NOVEMBER 03, 2015 UNDER RECEPTION NO. [636346](#) AND [636347](#).
15. ANY RIGHTS OR INTERESTS OF THIRD PARTIES WHICH EXIST OR ARE CLAIMED TO EXIST IN AND OVER THE PRESENT AND PAST BED, BANKS OR WATERS OF SLATE RIVER AS DISCLOSED ON THE GUNNISON COUNTY G.I.S. MAP STORED IN LAND TITLE'S SYSTEM AS IMAGE [32294840](#).
16. ANY TAX, LIEN OR FEE RESULTING FROM INCLUSION IN NORTH AND SOUTH SUBDISTRICTS OF GUNNISON COUNTY METROPOLITAN RECREATION DISTRICT AS EVIDENCED BY INSTRUMENT RECORDED DECEMBER 07, 2021 UNDER RECEPTION NO. [681553](#).
17. ALL MATTERS DISCLOSED ON EXISTING CONDITIONS MAP BY SGM DATED NOVEMBER 19, 2021, JOB NO. 2020-548.001, AND STORED IN LAND TITLE'S SYSTEM AS IMAGE [42103771](#).
18. ALL MATTERS DISCLOSED ON SPANN SUBDIVISION EXEMPTION PLAT RECORDED DECEMBER 21, 2021 UNDER RECEPTION NO. [681915](#).



LAND TITLE GUARANTEE COMPANY DISCLOSURE STATEMENTS

Note: Pursuant to CRS 10-11-122, notice is hereby given that:

- (A) The Subject real property may be located in a special taxing district.
- (B) A certificate of taxes due listing each taxing jurisdiction will be obtained from the county treasurer of the county in which the real property is located or that county treasurer's authorized agent unless the proposed insured provides written instructions to the contrary. (for an Owner's Policy of Title Insurance pertaining to a sale of residential real property).
- (C) The information regarding special districts and the boundaries of such districts may be obtained from the Board of County Commissioners, the County Clerk and Recorder, or the County Assessor.

Note: Effective September 1, 1997, CRS 30-10-406 requires that all documents received for recording or filing in the clerk and recorder's office shall contain a top margin of at least one inch and a left, right and bottom margin of at least one half of an inch. The clerk and recorder may refuse to record or file any document that does not conform, except that, the requirement for the top margin shall not apply to documents using forms on which space is provided for recording or filing information at the top margin of the document.

Note: Colorado Division of Insurance Regulations 8-1-2 requires that "Every title entity shall be responsible for all matters which appear of record prior to the time of recording whenever the title entity conducts the closing and is responsible for recording or filing of legal documents resulting from the transaction which was closed". Provided that Land Title Guarantee Company conducts the closing of the insured transaction and is responsible for recording the legal documents from the transaction, exception number 5 will not appear on the Owner's Title Policy and the Lenders Policy when issued.

Note: Affirmative mechanic's lien protection for the Owner may be available (typically by deletion of Exception no. 4 of Schedule B, Section 2 of the Commitment from the Owner's Policy to be issued) upon compliance with the following conditions:

- (A) The land described in Schedule A of this commitment must be a single family residence which includes a condominium or townhouse unit.
- (B) No labor or materials have been furnished by mechanics or material-men for purposes of construction on the land described in Schedule A of this Commitment within the past 6 months.
- (C) The Company must receive an appropriate affidavit indemnifying the Company against un-filed mechanic's and material-men's liens.
- (D) The Company must receive payment of the appropriate premium.
- (E) If there has been construction, improvements or major repairs undertaken on the property to be purchased within six months prior to the Date of Commitment, the requirements to obtain coverage for unrecorded liens will include: disclosure of certain construction information; financial information as to the seller, the builder and or the contractor; payment of the appropriate premium fully executed Indemnity Agreements satisfactory to the company, and, any additional requirements as may be necessary after an examination of the aforesaid information by the Company.

No coverage will be given under any circumstances for labor or material for which the insured has contracted for or agreed to pay.

Note: Pursuant to CRS 10-11-123, notice is hereby given:

This notice applies to owner's policy commitments disclosing that a mineral estate has been severed from the surface estate, in Schedule B-2.

- (A) That there is recorded evidence that a mineral estate has been severed, leased, or otherwise conveyed from the surface estate and that there is substantial likelihood that a third party holds some or all interest in oil, gas, other minerals, or geothermal energy in the property; and
- (B) That such mineral estate may include the right to enter and use the property without the surface owner's permission.

Note: Pursuant to CRS 10-1-128(6)(a), It is unlawful to knowingly provide false, incomplete, or misleading facts or information to an insurance company for the purpose of defrauding or attempting to defraud the company. Penalties may include imprisonment, fines, denial of insurance, and civil damages. Any insurance company or agent of an insurance company who knowingly provides false, incomplete, or misleading facts or information to a policyholder or claimant for the purpose of defrauding or attempting to defraud the policyholder or claimant with regard to a settlement or award payable from insurance proceeds shall be reported to the Colorado Division of Insurance within the Department of Regulatory Agencies.

Note: Pursuant to Colorado Division of Insurance Regulations 8-1-3, notice is hereby given of the availability of a closing protection letter for the lender, purchaser, lessee or seller in connection with this transaction.

Note: Pursuant to CRS 10-1-11(4)(a)(1), Colorado notaries may remotely notarize real estate deeds and other documents using real-time audio-video communication technology. You may choose not to use remote notarization for any document.



**JOINT NOTICE OF PRIVACY POLICY OF
LAND TITLE GUARANTEE COMPANY,
LAND TITLE GUARANTEE COMPANY OF SUMMIT COUNTY
LAND TITLE INSURANCE CORPORATION AND
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY**

This Statement is provided to you as a customer of Land Title Guarantee Company as agent for Land Title Insurance Corporation and Old Republic National Title Insurance Company.

We want you to know that we recognize and respect your privacy expectations and the requirements of federal and state privacy laws. Information security is one of our highest priorities. We recognize that maintaining your trust and confidence is the bedrock of our business. We maintain and regularly review internal and external safeguards against unauthorized access to your non-public personal information ("Personal Information").

In the course of our business, we may collect Personal Information about you from:

- applications or other forms we receive from you, including communications sent through TMX, our web-based transaction management system;
 - your transactions with, or from the services being performed by us, our affiliates, or others;
 - a consumer reporting agency, if such information is provided to us in connection with your transaction;
- and
- The public records maintained by governmental entities that we obtain either directly from those entities, or from our affiliates and non-affiliates.

Our policies regarding the protection of the confidentiality and security of your Personal Information are as follows:

- We restrict access to all Personal Information about you to those employees who need to know that information in order to provide products and services to you.
- We may share your Personal Information with affiliated contractors or service providers who provide services in the course of our business, but only to the extent necessary for these providers to perform their services and to provide these services to you as may be required by your transaction.
- We maintain physical, electronic and procedural safeguards that comply with federal standards to protect your Personal Information from unauthorized access or intrusion.
- Employees who violate our strict policies and procedures regarding privacy are subject to disciplinary action.
- We regularly assess security standards and procedures to protect against unauthorized access to Personal Information.

WE DO NOT DISCLOSE ANY PERSONAL INFORMATION ABOUT YOU WITH ANYONE FOR ANY PURPOSE THAT IS NOT STATED ABOVE OR PERMITTED BY LAW.

Consistent with applicable privacy laws, there are some situations in which Personal Information may be disclosed. We may disclose your Personal Information when you direct or give us permission; when we are required by law to do so, for example, if we are served a subpoena; or when we suspect fraudulent or criminal activities. We also may disclose your Personal Information when otherwise permitted by applicable privacy laws such as, for example, when disclosure is needed to enforce our rights arising out of any agreement, transaction or relationship with you.

Our policy regarding dispute resolution is as follows: Any controversy or claim arising out of or relating to our privacy policy, or the breach thereof, shall be settled by arbitration in accordance with the rules of the American Arbitration Association, and judgment upon the award rendered by the arbitrator(s) may be entered in any court having jurisdiction thereof.



Commitment For Title Insurance

Issued by Old Republic National Title Insurance Company

NOTICE

IMPORTANT—READ CAREFULLY: THIS COMMITMENT IS AN OFFER TO ISSUE ONE OR MORE TITLE INSURANCE POLICIES. ALL CLAIMS OR REMEDIES SOUGHT AGAINST THE COMPANY INVOLVING THE CONTENT OF THIS COMMITMENT OR THE POLICY MUST BE BASED SOLELY IN CONTRACT.

THIS COMMITMENT IS NOT AN ABSTRACT OF TITLE, REPORT OF THE CONDITION OF TITLE, LEGAL OPINION, OPINION OF TITLE, OR OTHER REPRESENTATION OF THE STATUS OF TITLE. THE PROCEDURES USED BY THE COMPANY TO DETERMINE INSURABILITY OF THE TITLE, INCLUDING ANY SEARCH AND EXAMINATION, ARE PROPRIETARY TO THE COMPANY, WERE PERFORMED SOLELY FOR THE BENEFIT OF THE COMPANY, AND CREATE NO EXTRACONTRACTUAL LIABILITY TO ANY PERSON, INCLUDING A PROPOSED INSURED.

THE COMPANY'S OBLIGATION UNDER THIS COMMITMENT IS TO ISSUE A POLICY TO A PROPOSED INSURED IDENTIFIED IN SCHEDULE A IN ACCORDANCE WITH THE TERMS AND PROVISIONS OF THIS COMMITMENT. THE COMPANY HAS NO LIABILITY OR OBLIGATION INVOLVING THE CONTENT OF THIS COMMITMENT TO ANY OTHER PERSON. .

COMMITMENT TO ISSUE POLICY

Subject to the Notice; Schedule B, Part I—Requirements; Schedule B, Part II—Exceptions; and the Commitment Conditions, Old Republic National Title Insurance Company, a Minnesota corporation (the "Company"), commits to issue the Policy according to the terms and provisions of this Commitment. This Commitment is effective as of the Commitment Date shown in Schedule A for each Policy described in Schedule A, only when the Company has entered in Schedule A both the specified dollar amount as the Proposed Policy Amount and the name of the Proposed Insured. If all of the Schedule B, Part I—Requirements have not been met within 6 months after the Commitment Date, this Commitment terminates and the Company's liability and obligation end.

COMMITMENT CONDITIONS

1. DEFINITIONS

- (a) "Knowledge" or "Known": Actual or imputed knowledge, but not constructive notice imparted by the Public Records.
- (b) "Land": The land described in Schedule A and affixed improvements that by law constitute real property. The term "Land" does not include any property beyond the lines of the area described in Schedule A, nor any right, title, interest, estate, or easement in abutting streets, roads, avenues, alleys, lanes, ways, or waterways, but this does not modify or limit the extent that a right of access to and from the Land is to be insured by the Policy.
- (c) "Mortgage": A mortgage, deed of trust, or other security instrument, including one evidenced by electronic means authorized by law.
- (d) "Policy": Each contract of title insurance, in a form adopted by the American Land Title Association, issued or to be issued by the Company pursuant to this Commitment.
- (e) "Proposed Insured": Each person identified in Schedule A as the Proposed Insured of each Policy to be issued pursuant to this Commitment.
- (f) "Proposed Policy Amount": Each dollar amount specified in Schedule A as the Proposed Policy Amount of each Policy to be issued pursuant to this Commitment.
- (g) "Public Records": Records established under state statutes at the Commitment Date for the purpose of imparting constructive notice of matters relating to real property to purchasers for value and without Knowledge.
- (h) "Title": The estate or interest described in Schedule A.

2. If all of the Schedule B, Part I—Requirements have not been met within the time period specified in the Commitment to Issue Policy, Commitment terminates and the Company's liability and obligation end.

3. The Company's liability and obligation is limited by and this Commitment is not valid without:

- (a) the Notice;
- (b) the Commitment to Issue Policy;
- (c) the Commitment Conditions;
- (d) Schedule A;
- (e) Schedule B, Part I—Requirements; and
- (f) Schedule B, Part II—Exceptions; and
- (g) a counter-signature by the Company or its issuing agent that may be in electronic form.

4. COMPANY'S RIGHT TO AMEND

The Company may amend this Commitment at any time. If the Company amends this Commitment to add a defect, lien, encumbrance, adverse claim, or other matter recorded in the Public Records prior to the Commitment Date, any liability of the Company is limited by Commitment Condition 5. The Company shall not be liable for any other amendment to this Commitment.

5. LIMITATIONS OF LIABILITY

- (a) The Company's liability under Commitment Condition 4 is limited to the Proposed Insured's actual expense incurred in the interval between the Company's delivery to the Proposed Insured of the Commitment and the delivery of the amended Commitment, resulting from the Proposed Insured's good faith reliance to:
 - i. comply with the Schedule B, Part I—Requirements;
 - ii. eliminate, with the Company's written consent, any Schedule B, Part II—Exceptions; or
 - iii. acquire the Title or create the Mortgage covered by this Commitment.
- (b) The Company shall not be liable under Commitment Condition 5(a) if the Proposed Insured requested the amendment or had Knowledge of the matter and did not notify the Company about it in writing.
- (c) The Company will only have liability under Commitment Condition 4 if the Proposed Insured would not have incurred the expense had the Commitment included the added matter when the Commitment was first delivered to the Proposed Insured.
- (d) The Company's liability shall not exceed the lesser of the Proposed Insured's actual expense incurred in good faith and described in Commitment Conditions 5(a)(i) through 5(a)(iii) or the Proposed Policy Amount.
- (e) The Company shall not be liable for the content of the Transaction Identification Data, if any.

- (f) In no event shall the Company be obligated to issue the Policy referred to in this Commitment unless all of the Schedule B, Part I—Requirements have been met to the satisfaction of the Company.
- (g) In any event, the Company's liability is limited by the terms and provisions of the Policy.

6. LIABILITY OF THE COMPANY MUST BE BASED ON THIS COMMITMENT

- (a) Only a Proposed Insured identified in Schedule A, and no other person, may make a claim under this Commitment.
- (b) Any claim must be based in contract and must be restricted solely to the terms and provisions of this Commitment.
- (c) Until the Policy is issued, this Commitment, as last revised, is the exclusive and entire agreement between the parties with respect to the subject matter of this Commitment and supersedes all prior commitment negotiations, representations, and proposals of any kind, whether written or oral, express or implied, relating to the subject matter of this Commitment.
- (d) The deletion or modification of any Schedule B, Part II—Exception does not constitute an agreement or obligation to provide coverage beyond the terms and provisions of this Commitment or the Policy.
- (e) Any amendment or endorsement to this Commitment must be in writing and authenticated by a person authorized by the Company.
- (f) When the Policy is issued, all liability and obligation under this Commitment will end and the Company's only liability will be under the Policy.

7. IF THIS COMMITMENT HAS BEEN ISSUED BY AN ISSUING AGENT

The issuing agent is the Company's agent only for the limited purpose of issuing title insurance commitments and policies. The issuing agent is not the Company's agent for the purpose of providing closing or settlement services.

8. PRO-FORMA POLICY

The Company may provide, at the request of a Proposed Insured, a pro-forma policy illustrating the coverage that the Company may provide. A pro-forma policy neither reflects the status of Title at the time that the pro-forma policy is delivered to a Proposed Insured, nor is it a commitment to insure.

9. ARBITRATION

The Policy contains an arbitration clause. All arbitrable matters when the Proposed Policy Amount is \$2,000,000 or less shall be arbitrated at the option of either the Company or the Proposed Insured as the exclusive remedy of the parties. A Proposed Insured may review a copy of the arbitration rules at <http://www.alta.org/arbitration>.

IN WITNESS WHEREOF, Land Title Insurance Corporation has caused its corporate name and seal to be affixed by its duly authorized officers on the date shown in Schedule A to be valid when countersigned by a validating officer or other authorized signatory.

Issued by:
Land Title Guarantee Company
3033 East First Avenue Suite 600
Denver, Colorado 80206
303-321-1880



Craig B. Rants, Senior Vice President



OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
A Stock Company
400 Second Avenue South, Minneapolis, Minnesota 55401
(612) 371-1111

By  President

Attest  Secretary

This page is only a part of a 2016 ALTA® Commitment for Title Insurance issued by Old Republic National Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I—Requirements; and Schedule B, Part II—Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

Copyright 2006-2016 American Land Title Association. All rights reserved.

The use of this Form (or any derivative thereof) is restricted to ALTA licensees and ALTA members in good standing as of the date of use. All other uses are prohibited. Reprinted under license from the American Land Title Association.



Land Title Guarantee Company

Date: December 28, 2021

Subject: Attached Title Policy CRESTED BUTTE FIRE PROTECTION DISTRICT for TBD COUNTY ROAD 317, CRESTED BUTTE, CO 81224

Enclosed please find the Owner's Title Insurance Policy for your purchase of the property listed above.

This title policy is the final step in your real estate transaction, and we want to take a moment to remind you of its importance. Please review all information in this document carefully and be sure to safeguard this policy along with your other legal documents.

Your owner's policy insures you as long as you own the property and requires no additional premium payments.

Please feel free to contact any member of our staff if you have questions or concerns regarding your policy, or you may contact Land Title Policy Team at (303) 850-4158 or finals@ltgc.com

As a Colorado-owned and operated title company for over 50 years, with offices throughout the state, we take pride in serving our customers one transaction at a time. We sincerely appreciate your business and welcome the opportunity to assist you with any future real estate needs. Not only will Land Title Guarantee Company be able to provide you with the title services quickly and professionally, but you may also be entitled to a discount on title premiums if you sell or refinance the property described in the enclosed policy.

Thank you for giving us the opportunity to work with you on this transaction. We look forward to serving you again in the future.

Sincerely,

Land Title Guarantee Company



OWNER'S POLICY OF TITLE INSURANCE

ANY NOTICE OF CLAIM AND ANY OTHER NOTICE OR STATEMENT IN WRITING REQUIRED TO BE GIVEN TO THE COMPANY UNDER THIS POLICY MUST BE GIVEN TO THE COMPANY AT THE ADDRESS SHOWN IN SECTION 18 OF THE CONDITIONS.

COVERED RISKS

SUBJECT TO THE EXCLUSIONS FROM COVERAGE, THE EXCEPTIONS FROM COVERAGE CONTAINED IN SCHEDULE B AND THE CONDITIONS, OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, a Minnesota corporation, (the "Company"), insures, as of Date of Policy and, to the extent stated in Covered Risks 9 and 10, after Date of Policy, against loss or damage, not exceeding the Amount of Insurance, sustained or incurred by the Insured by reason of:

1. Title being vested other than as stated in Schedule A.
2. Any defect in or lien or encumbrance on the title; This covered Risk includes but is not limited to insurance against loss from
 - a. A defect in the Title caused by
 - (i) forgery, fraud, undue influence, duress, incompetency, incapacity, or impersonation;
 - (ii) failure of any person or Entity to have authorized a transfer or conveyance;
 - (iii) a document affecting Title not properly created, executed, witnessed, sealed, acknowledged, notarized, or delivered;
 - (iv) failure to perform those acts necessary to create a document by electronic means authorized by law;
 - (v) a document executed under a falsified, expired, or otherwise invalid power of attorney;
 - (vi) a document not properly filed, recorded, or indexed in the Public Records including failure to perform those acts by electronic means authorized by law; or
 - (vii) a defective judicial or administrative proceeding.
 - b. The lien of real estate taxes or assessments imposed on the Title by a governmental authority due or payable, but unpaid.
 - c. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land. The term "encroachment" includes encroachments of existing improvements located on the Land onto adjoining land, and encroachments onto the Land of existing improvements located on adjoining land.
3. Unmarketable Title.
4. No right of access to and from the Land.
5. The violation or enforcement of any law, ordinance, permit, or governmental regulation (including those relating to building and zoning) restricting, regulating, prohibiting, or relating to
 - (a) the occupancy, use or enjoyment of the Land;
 - (b) the character, dimensions, or location of any improvement erected on the Land;
 - (c) the subdivision of land; or
 - (d) environmental protection

if a notice, describing any part of the Land, is recorded in the Public Records setting forth the violation or intention to enforce, but only to the extent of the violation or enforcement referred to in that notice.
6. An enforcement action based on the exercise of a governmental police power not covered by Covered Risk 5 if a notice of the enforcement action, describing any part of the Land, is recorded in the Public Records, but only to the extent of the enforcement referred to in that notice.
7. The exercise of the rights of eminent domain if a notice of the exercise, describing any part of the Land, is recorded in the Public Records.
8. Any taking by a governmental body that has occurred and is binding on the rights of a purchaser for value without Knowledge.
9. Title being vested other than as stated in Schedule A or being defective
 - (a) as a result of the avoidance in whole or in part, or from a court order providing an alternative remedy, of a transfer of all or any part of the title to or any interest in the Land occurring prior to the transaction vesting Title as shown in Schedule A because that prior transfer constituted a fraudulent or preferential transfer under federal bankruptcy, state insolvency, or similar creditors' rights laws; or
 - (b) because the instrument of transfer vesting Title as shown in Schedule A constitutes a preferential transfer under federal bankruptcy, state insolvency, or similar creditors' rights laws by reason of the failure of its recording in the Public Records
 - (i) to be timely, or
 - (ii) to impart notice of its existence to a purchaser for value or to a judgment or lien creditor.
10. Any defect in or lien or encumbrance on the Title or other matter included in Covered Risks 1 through 9 that has been created or attached or has been filed or recorded in the Public Records subsequent to Date of Policy and prior to the recording of the deed or other instrument of transfer in the Public Records that vests Title as shown in Schedule A. The Company will also pay the costs, attorneys' fees, and expenses incurred in defense of any matter insured against by this Policy, but only to the extent provided in the Conditions.

Issued by:

Land Title Guarantee Company
3033 East First Avenue Suite 600
Denver, Colorado 80206
303-321-1880

Craig B. Rants, Senior Vice President



OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
A Stock Company
402 Second Avenue South, Minneapolis, Minnesota 55401
(612) 371-1111

By President
Attest Secretary

AMERICAN
LAND TITLE
ASSOCIATION



EXCLUSIONS FROM COVERAGE

The following matters are expressly excluded from the coverage of this policy, and the Company will not pay loss or damage, costs, attorneys' fees, or expenses that arise by reason of:

- (1)(a) Any law, ordinance, permit, or governmental regulation (including those relating to building and zoning) restricting, regulating, prohibiting or relating to
 - (i) the occupancy, use, or enjoyment of the Land;
 - (ii) the character, dimensions, or location of any improvement erected on the Land;
 - (iii) the subdivision of land; or
 - (iv) environmental protection; or the effect of any violation of these laws, ordinances, or governmental regulations. This Exclusion 1(a) does not modify or limit the coverage provided under Covered Risk 5. (b) Any governmental police power. This Exclusion 1(b) does not modify or limit the coverage provided under Covered Risk 6.
- (2) Rights of eminent domain. This Exclusion does not modify or limit the coverage provided under Covered Risk 7 or 8.
- (3) Defects, liens, encumbrances, adverse claims, or other matters
 - (a) created, suffered, assumed, or agreed to by the Insured Claimant;
 - (b) not Known to the Company, not recorded in the Public Records at Date of Policy, but Known to the Insured Claimant and not disclosed in writing to the Company by the Insured Claimant prior to the date the Insured Claimant became an Insured under this policy;
 - (c) resulting in no loss or damage to the Insured Claimant;
 - (d) attaching or created subsequent to Date of Policy (however, this does not modify or limit the coverage provided under Covered Risk 9 and 10); or
 - (e) resulting in loss or damage that would not have been sustained if the Insured Claimant had paid value for the Title.
- (4) Any claim, by reason of the operation of federal bankruptcy, state insolvency, or similar creditors' rights laws, that the transaction vesting the Title as shown in Schedule A, is
 - (a) a fraudulent conveyance or fraudulent transfer; or
 - (b) a preferential transfer for any reason not stated in Covered Risk 9 of this policy.
- (5) Any lien on the Title for real estate taxes or assessments imposed by governmental authority and created or attaching between Date of Policy and the date of recording of the deed or other instrument of transfer in the Public Records that vests Title as shown in Schedule A.

CONDITIONS

1. DEFINITION OF TERMS

The following terms when used in this policy mean:

- (a) "Amount of Insurance": The amount stated in Schedule A, as may be increased or decreased by endorsement to this policy, increased by Section 8(b) or decreased by Sections 10 and 11 of these Conditions.
- (b) "Date of Policy": The date designated as "Date of Policy" in Schedule A.
- (c) "Entity": A corporation, partnership, trust, limited liability company, or other similar legal entity.
- (d) "Insured": The Insured named in Schedule A.
 - (i) The term "Insured" also includes
 - (A) successors to the Title of the Insured by operation of law as distinguished from purchase, including heirs, devisees, survivors, personal representatives, or next of kin;
 - (B) successors to an Insured by dissolution, merger, consolidation, distribution, or reorganization;
 - (C) successors to an Insured by its conversion to another kind of Entity;
 - (D) a grantee of an Insured under a deed delivered without payment of actual valuable consideration conveying the Title
 - (1) if the stock, shares, memberships, or other equity interests of the grantee are wholly-owned by the named Insured.
 - (2) if the grantee wholly owns the named Insured.
 - (3) if the grantee is wholly-owned by an affiliated Entity of the named Insured, provided the affiliated Entity and the named Insured are both wholly-owned by the same person or Entity, or
 - (4) if the grantee is a trustee or beneficiary of a trust created by a written instrument established by the Insured named in Schedule A for estate planning purposes
 - (ii) With regard to (A), (B), (C), and (D) reserving, however, all rights and defenses as to any successor that the Company would have had against any predecessor Insured.
- (e) "Insured Claimant": An Insured claiming loss or damage.
- (f) "Knowledge" or "Known": Actual knowledge, not constructive knowledge or notice that may be imputed to an Insured by reason of the Public Records or any other records that impart constructive notice of matters affecting the Title.
- (g) "Land": The land described in Schedule A, and affixed improvements that by law constitute real property. The term "Land" does not include any property beyond the lines of the area described in Schedule A, nor any right, title, interest, estate, or easement in abutting streets, roads, avenue, alleys, lanes, ways, or waterways, but this does not modify or limit the extent that a right of access to and from the Land is insured by this policy.
- (h) "Mortgage": Mortgage, deed of trust, trust deed, or other security instrument, including one evidenced by electronic means authorized by law.
- (i) "Public Records": Records established under state statutes at Date of Policy for the purpose of imparting constructive notice of matters relating to real property to purchasers for value and without Knowledge. With respect to Covered Risk 5(d), "Public Records" shall also include environmental protection liens filed in the records of the clerk of the United States District Court for the district where the Land is located.
- (j) "Title": The estate or interest described in Schedule A. "Unmarketable Title": Title affected by an alleged or apparent matter that would permit a prospective purchaser or lessee of the Title or lender on the Title to be released from the obligation to purchase, lease, or lend if there is a contractual condition requiring the delivery of marketable title.

2. CONTINUATION OF INSURANCE

The coverage of this policy shall continue in force as of Date of Policy in favor of an Insured, but only so long as the Insured retains an estate or interest in the Land, or holds an obligation secured by a purchase money Mortgage given by a purchaser from the Insured, or only so long as the Insured shall have liability by reason of warranties in any transfer or conveyance of the Title. This policy shall not continue in force in favor of any purchaser from the Insured of either (i) an estate or interest in the Land, or (ii) an obligation secured by a purchase money Mortgage given to the Insured.

3. NOTICE OF CLAIM TO BE GIVEN BY INSURED CLAIMANT

The Insured shall notify the Company promptly in writing (i) in case of any litigation as set forth in Section 5(a) of these Conditions, (ii) in case Knowledge shall come to an Insured hereunder of any claim of title or interest that is adverse to the Title, as insured, and that might cause loss or damage for which the Company may be liable by virtue of this policy, or (iii) if the Title, as insured, is rejected as Unmarketable Title. If the Company is prejudiced by the failure of the Insured Claimant to provide prompt notice, the Company's liability to the Insured Claimant under the policy shall be reduced to the extent of the prejudice.

4. PROOF OF LOSS

In the event the Company is unable to determine the amount of loss or damage, the Company may, at its option, require as a condition of payment that the Insured Claimant furnish a signed proof of loss. The proof of loss must describe the defect, lien, encumbrance, or other matter insured against by this policy that constitutes the basis of loss or damage and shall state, to the extent possible, the basis of calculating the amount of the loss or damage.

5. DEFENSE AND PROSECUTION OF ACTIONS

(a) Upon written request by the Insured, and subject to the options contained in Section 7 of these Conditions, the Company, at its own cost and without unreasonable delay, shall provide for the defense of an Insured in litigation in which any third party asserts a claim covered by this policy adverse to the Insured. This obligation is limited to only those stated causes of action alleging matters insured against by this policy. The Company shall have the right to select counsel of its choice (subject to the right of the Insured to object for reasonable cause) to represent the Insured as to those stated causes of action. It shall not be liable for and will not pay the fees of any other counsel. The Company will not pay any fees, costs, or expenses incurred by the Insured in the defense of those causes of action that allege matters not insured against by this policy.

(b) The Company shall have the right, in addition to the options contained in Section 7 of these Conditions, at its own cost, to institute and prosecute any action or proceeding or to do any other act that in its opinion may be necessary or desirable to establish the Title, as insured, or to prevent or reduce loss or damage to the Insured. The Company may take any appropriate action under the terms of this policy, whether or not it shall be liable to the Insured. The exercise of these rights shall not be an admission of liability or waiver of any provision of this policy. If the Company exercises its rights under this subsection, it must do so diligently.

(c) Whenever the Company brings an action or asserts a defense as required or permitted by this policy, the Company may pursue the litigation to a final determination by a court of competent jurisdiction, and it expressly reserves the right, in its sole discretion, to appeal any adverse judgment or order.

6. DUTY OF INSURED CLAIMANT TO COOPERATE

(a) In all cases where this policy permits or requires the Company to prosecute or provide for the defense of any action or proceeding and any appeals, the Insured shall secure to the Company the right to so prosecute or provide defense in the action or proceeding, including the right to use, at its option, the name of the Insured for this purpose. Whenever requested by the Company, the Insured, at the Company's expense, shall give the Company all reasonable aid (i) in securing evidence, obtaining witnesses, prosecuting or defending the action or proceeding, or effecting settlement, and (ii) in any other lawful act that in the opinion of the Company may be necessary or desirable to establish the Title or any other matter as insured. If the Company is prejudiced by the failure of the Insured to furnish the required cooperation, the Company's obligation to the Insured under the policy shall terminate, including any liability or obligation to defend, prosecute, or continue any litigation, with regard to the matter or matters requiring such cooperation.

(b) The Company may reasonably require the Insured Claimant to submit to examination under oath by any authorized representative of the Company and to produce for examination, inspection, and copying, at such reasonable times and places as may be designated by the authorized representative of the Company, all records, in whatever medium maintained, including books, ledgers, checks, memoranda, correspondence, reports, e-mails, disks, tapes, and videos whether bearing a date before or after Date of Policy, that reasonably pertain to the loss or damage. Further, if requested by any authorized representative of the Company, the Insured Claimant shall grant its permission, in writing, for any authorized representative of the Company to examine, inspect, and copy all of these records in the custody or control of a third party that reasonably pertain to the loss or damage. All information designated as confidential by the Insured Claimant provided to the Company pursuant to this Section shall not be disclosed to others unless, in the reasonable judgment of the Company, it is necessary in the administration of the claim. Failure of the Insured Claimant to submit for examination under oath produce any reasonably requested information, or grant permission to secure reasonably necessary information from third parties as required in this subsection, unless prohibited by law or governmental regulation, shall terminate any liability of the Company under this policy as to that claim.

7. OPTIONS TO PAY OR OTHERWISE SETTLE CLAIMS; TERMINATION OF LIABILITY

In case of a claim under this policy, the Company shall have the following additional options:

(a) To Pay or Tender Payment of the Amount of Insurance. To pay or tender payment of the Amount of Insurance under this policy together with any costs, attorneys' fees, and expenses incurred by the Insured Claimant that were authorized by the Company up to the time of payment or tender of payment and that the Company is obligated to pay. Upon the exercise by the Company of this option, all liability and obligations of the Company to the Insured under this policy, other than to make the payment required in the subsection, shall terminate, including any liability or obligation to defend, prosecute, or continue any litigation.

(b) To Pay or Otherwise Settle With Parties Other Than the Insured or With the Insured Claimant.

- (i) To pay or otherwise settle with other parties for or in the name of an Insured Claimant any claim insured against under this policy. In addition, the Company will pay any costs, attorneys' fees, and expenses incurred by the Insured Claimant that were authorized by the Company up to the time of payment and that the Company is obligated to pay; or
- (ii) To pay or otherwise settle with the Insured Claimant the loss or damage provided for under this policy, together with any costs, attorneys' fees, and expenses incurred by the Insured Claimant that were authorized by the Company up to the time of payment and that the Company is obligated to pay. Upon the exercise by the Company of either of the options provided for in subsections (b)(i) or (ii), the Company's obligations to the Insured under this policy for the claimed loss or damage, other than the payments required to be made, shall terminate, including any liability or obligation to defend, prosecute, or continue any litigation.

8. DETERMINATION AND EXTENT OF LIABILITY

This policy is a contract of indemnity against actual monetary loss or damage sustained or incurred by the Insured Claimant who has suffered loss or damage by reason of matters insured against by this policy.

(a) The extent of liability of the Company for loss or damage under this policy shall not exceed the lesser of

- (i) the Amount of Insurance; or
- (ii) the difference between the value of the Title as insured and the value of the Title subject to the risk insured against by this policy.

(b) If the Company pursues its rights under Section 5 of these Conditions and is unsuccessful in establishing the Title, as insured,

- (i) the Amount of Insurance shall be increased by 10%, and
- (ii) the Insured Claimant shall have the right to have the loss or damage determined either as of the date the claim was made by the Insured Claimant or as of the date it is settled and paid.

(c) In addition to the extent of liability under (a) and (b), the Company will also pay those costs, attorneys' fees, and expenses incurred in accordance with Sections 5 and 7 of these Conditions.

9. LIMITATION OF LIABILITY

(a) If the Company establishes the Title, or removes the alleged defect, lien, or encumbrance, or cures the lack of a right of access to or from the Land, or cures the claim of Unmarketable Title, all as insured, in a reasonably diligent manner by any method, including litigation and the completion of any appeals, it shall have fully

performed its obligations with respect to that matter and shall not be liable for any loss or damage caused to the Insured.

(b) In the event of any litigation, including litigation by the Company or with the Company's consent, the Company shall have no liability for loss or damage until there has been a final determination by a court of competent jurisdiction, and disposition of all appeals, adverse to the Title, as insured.

(c) The Company shall not be liable for loss or damage to the Insured for liability voluntarily assumed by the Insured in settling any claim or suit without the prior written consent of the Company.

10. REDUCTION OF INSURANCE; REDUCTION OR TERMINATION OF LIABILITY

All payments under this policy, except payments made for costs, attorneys' fees, and expenses, shall reduce the Amount of Insurance by the amount of the payment.

11. LIABILITY NONCUMULATIVE

The Amount of Insurance shall be reduced by any amount the Company pays under any policy insuring a Mortgage to which exception is taken in Schedule B or to which the Insured has agreed, assumed, or taken subject, or which is executed by an Insured after Date of Policy and which is a charge or lien on the Title, and the amount so paid shall be deemed a payment to the Insured under this policy.

12. PAYMENT OF LOSS

When liability and the extent of loss or damage have been definitely fixed in accordance with these Conditions, the payment shall be made within 30 days.

13. RIGHTS OF RECOVERY UPON PAYMENT OR SETTLEMENT

(a) Whenever the Company shall have settled and paid a claim under this policy, it shall be subrogated and entitled to the rights of the Insured Claimant in the Title and all other rights and remedies in respect to the claim that the Insured Claimant has against any person or property, to the extent of the amount of any loss, costs, attorneys' fees, and expenses paid by the Company. If requested by the Company, the Insured Claimant shall execute documents to evidence the transfer to the Company of these rights and remedies. The Insured Claimant shall permit the Company to sue, compromise, or settle in the name of the Insured Claimant and to use the name of the Insured Claimant in any transaction or litigation involving these rights and remedies. If a payment on account of a claim does not fully cover the loss of the Insured Claimant, the Company shall defer the exercise of its right to recover until after the Insured Claimant shall have recovered its loss.

(b) The Company's right of subrogation includes the rights of the Insured to indemnities, guaranties, other policies of insurance, or bonds, notwithstanding any terms or conditions contained in those instruments that address subrogation rights.

14. ARBITRATION

Either the Company or the Insured may demand that the claim or controversy shall be submitted to arbitration pursuant to the Title Insurance Arbitration Rules of the American Land Title Association ("Rules"). Except as provided in the Rules, there shall be no joinder or consolidation with claims or controversies of other persons, Arbitrable matters may include, but are not limited to, any controversy or claim between the Company and the Insured arising out of or relating to this policy, any service in connection with its issuance or the breach of a policy provision, or to any other controversy or claim arising out of the transaction giving rise to this policy. All arbitrable matters when the Amount of Insurance is \$2,000,000 or less shall be arbitrated at the option of either the Company or the Insured. All arbitrable matters when the Amount of Insurance is in excess of \$2,000,000 shall be arbitrated only when agreed to by both the Company and the Insured. Arbitration pursuant to this policy and under the Rules shall be binding upon the parties. Judgment upon the award rendered by the Arbitrator(s) may be entered in any court of competent jurisdiction.

15. LIABILITY LIMITED TO THIS POLICY; POLICY ENTIRE CONTRACT

(a) This policy together with all endorsements, if any, attached to it by the Company is the entire policy and contract between the Insured and the Company. In interpreting any provision of this policy, this policy shall be construed as a whole.

(b) Any claim or loss or damage that arises out of the status of the Title or by any action asserting such claim shall be restricted to this policy.

(c) Any amendment of or endorsement to this policy must be in writing and authenticated by an authorized person, or expressly incorporated by Schedule A of this policy.

(d) Each endorsement to this policy issued at any time is made a part of this policy and is subject to all of its terms and provisions. Except as the endorsement expressly states, it does not (i) modify any of the terms and provisions of the policy, (ii) modify any prior endorsement, (iii) extend the Date of Policy, or (iv) increase the Amount of Insurance.

16. SEVERABILITY

In the event any provision of this policy, in whole or in part, is held invalid or unenforceable under applicable law, the policy shall be deemed not to include that provision or such part held to be invalid, but all other provisions shall remain in full force and effect.

17. CHOICE OF LAW; FORUM

(a) Choice of Law; The Insured acknowledges the Company has underwritten the risks covered by this policy and determined the premium charged therefor in reliance upon the law affecting interests in real property and applicable to the interpretation, rights, remedies, or enforcement of policies of title insurance of the jurisdiction where the Land is located. Therefore, the court or an arbitrator shall apply the law of the jurisdiction where the Land is located to determine the validity of claims against the Title that are adverse to the Insured and to interpret and enforce the terms of this policy. In neither case shall the court or arbitrator apply its conflicts of law principles to determine the applicable law.

(b) Choice of Forum; Any litigation or other proceeding brought by the Insured against the Company must be filed only in a state or federal court within the United States of America or its territories having appropriate jurisdiction.

18. NOTICES, WHERE SENT

Any notice of claim and any other notice or statement in writing required to be given to the Company under this policy must be given to the Company at: 400 Second Avenue South, Minneapolis, Minnesota 55401 (612)371-1111.

ANTI-FRAUD STATEMENT: Pursuant to CRS 10-1-128(6)(a), it is unlawful to knowingly provide false, incomplete, or misleading facts or information to an insurance company for the purpose of defrauding or attempting to defraud the company. Penalties may include imprisonment, fines, denial of insurance and civil damages. Any

insurance company or agent of an insurance company who knowingly provides false, incomplete, or misleading facts or information to a policyholder or claimant for the purpose of defrauding or attempting to defraud the policyholder or claimant with regard to a settlement or award payable from insurance proceeds shall be reported to the Colorado division of insurance within the department of regulatory agencies.

This anti-fraud statement is affixed to and made a part of this policy.

Old Republic National Title Insurance Company
Schedule A

Order Number: GUR88003121

Policy No.: OX88003121.14107308

Amount of Insurance: \$550,000.00

Property Address:

TBD COUNTY ROAD 317, CRESTED BUTTE, CO 81224

1. Policy Date:

December 28, 2021 at 5:00 P.M.

2. Name of Insured:

CRESTED BUTTE FIRE PROTECTION DISTRICT

3. The estate or interest in the Land described in this Schedule and which is covered by this policy is:

A FEE SIMPLE

4. Title to the estate or interest covered by this policy at the date is vested in:

CRESTED BUTTE FIRE PROTECTION DISTRICT

5. The Land referred to in this Policy is described as follows:

A PARCEL OF LAND, SITUATED ENTIRELY WITHIN PARCEL 22, AS DESCRIBED IN CIVIL ACTION NO. 6647, RECORDED IN BOOK 552 AT PAGE 53 ON JULY 10TH, 1980 IN THE OFFICE OF THE GUNNISON COUNTY CLERK AND RECORDER, ALSO LYING FOR REFERENCE IN THE SW¹/₄ OF SECTION 35, TOWNSHIP 13 SOUTH, RANGE 86 WEST OF THE SIXTH PRINCIPAL MERIDIAN, MORE PARTICULARLY DESCRIBED AS FOLLOWS;

BEGINNING AT THE NORTHWEST CORNER OF THE SLATE RIVER SUBDIVISION, ACCORDING TO THE PLAT THEREOF, RECORDED AT RECEPTION NUMBER [669207](#) IN THE OFFICE OF THE GUNNISON COUNTY CLERK AND RECORDER, ALSO BEING A POINT ON THE SOUTHEASTERLY RIGHT OF WAY OF COUNTY ROAD 317, BEING MONUMENTED BY A 5/8" REBAR AND 1.25" YELLOW PLASTIC CAP STAMPED LS 33647, FROM WHENCE THE SOUTHWEST CORNER OF SAID SECTION 35, BEING MONUMENTED BY A 3.25" GLO BRASS CAP, PROPERLY MARKED AND DATED 1939 BEARS SOUTH 37°45'31" WEST A DISTANCE OF 1151.20 FEET (BASIS OF BEARINGS FOR THIS DESCRIPTION);
THENCE NORTH 47°28'17" EAST ALONG SAID COUNTY ROAD 317 RIGHT OF WAY A DISTANCE OF 221.90 FEET;
THENCE NORTH 90°00'00" EAST A DISTANCE OF 469.12 FEET TO A POINT AT THE CENTERLINE OF THE SLATE RIVER;
THENCE SOUTH 01°20'33" WEST ALONG THE CENTERLINE OF THE SLATE RIVER A DISTANCE OF 150.04 FEET TO A POINT ON THE NORTH LINE OF OPEN SPACE 1, APERTURE SUBDIVISION, ACCORDING TO THE PLAT THEREOF, RECORDED AT RECEPTION NUMBER [648057](#) IN THE OFFICE OF THE GUNNISON COUNTY CLERK AND RECORDER;
THENCE NORTH 90°00'00" WEST ALONG THE NORTH LINE OF SAID OPEN SPACE 1, AND THE NORTH LINE OF LOTS T6(A), T6, TP7, AND TP1 OF SAID SLATE RIVER SUBDIVISION A DISTANCE OF 629.13 FEET TO THE POINT OF BEGINNING.

COUNTY OF GUNNISON,
STATE OF COLORADO.

Old Republic National Title Insurance Company
Schedule A

Copyright 2006-2023 American Land Title Association. All Rights Reserved The use of this Form is restricted to ALTA licensees and ALTA members in good standing as of the date of use. All other uses are prohibited. Reprinted under license from the American Land Title Association.

AMERICAN
LAND TITLE
ASSOCIATION



Old Republic National Title Insurance Company

(Schedule B)

Order Number: GUR88003121

Policy No.: OX88003121.14107308

This policy does not insure against loss or damage by reason of the following:

1. **Any facts, rights, interests, or claims thereof, not shown by the Public Records but that could be ascertained by an inspection of the Land or that may be asserted by persons in possession of the Land.**
2. **Easements, liens or encumbrances, or claims thereof, not shown by the Public Records.**
3. **Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land and not shown by the Public Records.**
4. **Any lien, or right to a lien, for services, labor or material heretofore or hereafter furnished, imposed by law and not shown by the Public Records.**
5. **(a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights, claims or title to water.**

ITEM NOS. 1 THROUGH 4 OF THE STANDARD EXCEPTIONS ARE HEREBY DELETED.

6. 2021 TAXES AND ASSESSMENTS NOT YET DUE OR PAYABLE.
7. RIGHT OF PROPRIETOR OF A VEIN OR LODGE TO EXTRACT AND REMOVE HIS ORE THEREFROM SHOULD THE SAME BE FOUND TO PENETRATE OR INTERSECT THE PREMISES AS RESERVED IN UNITED STATES PATENT RECORDED NOVEMBER 30, 1885, IN BOOK 45 AT PAGE [305](#); AND IN PATENT RECORDED APRIL 15, 1886 IN BOOK 45 AT PAGE [314](#).
8. TERMS, CONDITIONS, PROVISIONS AND RESTRICTIONS SET FORTH IN ORDER OF PARTITION RECORDED JUNE 28, 1978 IN BOOK 516 AT PAGE [474](#); AND IN AMENDED ORDER OF PARTITION RECORDED JULY 10, 1980 IN BOOK 552 AT PAGE [63](#).
9. TERMS, CONDITIONS, PROVISIONS, BURDENS, OBLIGATIONS AND EASEMENTS AS SET FORTH AND GRANTED IN GRANT OF EASEMENT RECORDED APRIL 08, 1997 UNDER RECEPTION NO. [474866](#).
10. TERMS, CONDITIONS AND PROVISIONS OF GRANT OF EASEMENT RECORDED JUNE 17, 1997 UNDER RECEPTION NO. [476238](#).
11. EASEMENT GRANTED TO GUNNISON COUNTY ELECTRIC ASSOCIATION, INC., FOR UTILITIES, AND INCIDENTAL PURPOSES, BY INSTRUMENT RECORDED APRIL 26, 2007, UNDER RECEPTION NO. [574671](#).
12. EASEMENT GRANTED TO BOARD OF COUNTY COMMISSIONERS OF THE COUNTY OF GUNNISON, COLORADO, FOR UTILITIES, AND INCIDENTAL PURPOSES, BY INSTRUMENT RECORDED APRIL 26, 2007, UNDER RECEPTION NO. [574672](#).
13. TERMS, CONDITIONS, PROVISIONS, BURDENS, OBLIGATIONS AND EASEMENTS AS SET FORTH AND GRANTED IN LEASE AGREEMENT FOR USE OF UTILITY EASEMENT RECORDED NOVEMBER 03, 2015 UNDER RECEPTION NO. [636346](#) AND [636347](#).
14. RIGHT OF WAY FOR COUNTY ROAD 317 AS DISCLOSED ON THE GUNNISON COUNTY ASSESSOR'S MAP STORED IN LAND TITLE'S SYSTEM AS IMAGE [32294840](#).
15. ANY RIGHTS OR INTERESTS OF THIRD PARTIES WHICH EXIST OR ARE CLAIMED TO EXIST IN AND OVER THE PRESENT AND PAST BED, BANKS OR WATERS OF SLATE RIVER AS DISCLOSED ON THE GUNNISON COUNTY G.I.S. MAP STORED IN LAND TITLE'S SYSTEM AS IMAGE [32294840](#).
16. ANY TAX, LIEN OR FEE RESULTING FROM INCLUSION IN NORTH AND SOUTH SUBDISTRICTS OF GUNNISON COUNTY METROPOLITAN RECREATION DISTRICT AS EVIDENCED BY INSTRUMENT RECORDED DECEMBER 07, 2021 UNDER RECEPTION NO. [681553](#).
17. ALL MATTERS DISCLOSED ON EXISTING CONDITIONS MAP BY SGM DATED NOVEMBER 19, 2021, JOB NO. 2020-548.001, AND STORED IN LAND TITLE'S SYSTEM AS IMAGE [42103771](#).
18. TERMS, CONDITIONS AND PROVISIONS OF RESOLUTION RECORDED DECEMBER 07, 2021 UNDER RECEPTION NO. [681553](#).

Old Republic National Title Insurance Company

(Schedule B)

Order Number: GUR88003121

Policy No.: OX88003121.14107308

19. DEED OF TRUST DATED DECEMBER 27, 2021, FROM CRESTED BUTTE FIRE PROTECTION DISTRICT TO THE PUBLIC TRUSTEE OF GUNNISON COUNTY, COLORADO FOR THE USE OF VIRGIL & LEE SPANN RANCHES, INC. TO SECURE THE SUM OF \$400,000.00 RECORDED DECEMBER 28, 2021, UNDER RECEPTION NO. [682017](#).

Owner Name	Parcel ID	Account Number	Assessor's Site Address	Location	Business Name	Owner Mail Address	Mail City	Mail State	Mail Zip Code	Tax District	Subdivision	Lot	Block	Legal	Assessor's Acres	GIS Acres	Sale Price	Sale Date	Deed Type	Reception	URL	
ADAMS RACHEL	3.1774E+1	1R072540	APERTURE LN 25	GOTHIC CORRIDOR		711 HUNTERS GROVE LN	HOUSTON	TX	77508	Residential606	APERTURE	5		LOT 5, APERTURE SUBDIVISION	0.73	0.73	1E+06#####DEED - FEE	65640	WARRANTY		https://property.spatailest.com/ce/gunnison#/property/R072540	
ALLEN ADAM	3.1774E+1	1R072536	PYRAMID AVE	GOTHIC CORRIDOR		8343 DOUGLAS AVE, STE 200	DALLAS	TX	75208	Residential606	APERTURE	1		LOT 1, APERTURE SUBDIVISION	0.67	0.67	7E+06#####DEED - FEE	68608	GEN WARRANT		https://property.spatailest.com/ce/gunnison#/property/R072536	
HOMEOWNERS ASSOCIATION INC.	3.1774E+1	1R072559	PYRAMID AVE	GOTHIC CORRIDOR		8343 DOUGLAS AVE, STE 200	DALLAS	TX	75208	606	APERTURE			0.45 ACRES OPEN SPACE IN: APERTURE SUBDIVISION	0.45	0.45	0				https://property.spatailest.com/ce/gunnison#/property/R072559	
HOMEOWNERS ASSOCIATION INC.	3.1774E+1	1R072560		GOTHIC CORRIDOR		8343 DOUGLAS AVE, STE 200	DALLAS	TX	75208	606	APERTURE			1.15 ACRES OPEN SPACE IN: APERTURE SUBDIVISION	1.15	1.14	0				https://property.spatailest.com/ce/gunnison#/property/R072560	
HOMEOWNERS ASSOCIATION INC.	3.1774E+1	1R072561		GOTHIC CORRIDOR		8343 DOUGLAS AVE, STE 200	DALLAS	TX	75208	606	APERTURE			13.11 ACRES OPEN SPACE IN: APERTURE SUBDIVISION	13.11	13	0				https://property.spatailest.com/ce/gunnison#/property/R072561	
HOMEOWNERS ASSOCIATION INC.	3.1774E+1	1R072563		GOTHIC CORRIDOR		8343 DOUGLAS AVE, STE 200	DALLAS	TX	75208	606	APERTURE			3.08 ACRES OF ROADS IN: APERTURE SUBDIVISION	3.08	3.08	0				https://property.spatailest.com/ce/gunnison#/property/R072563	
CRESTED BUTTE FIRE PROTECTION DISTRICT	3.1774E+1	1R073958		GOTHIC CORRIDOR		PO BOX 1009	CRESTED BUTTE	CO	81208	AGRICULTURAL606	SPANN SUBDIVISION EXEMPTION PLAT			5.49 ACRES IN SECTION 35, TOWNSHIP 13S, RANGE 86W (CRESTED BUTTE	5.52	5.49	2E+06#####DEED - FEE	68896	GEN WARRANT		https://property.spatailest.com/ce/gunnison#/property/R073958	
CRESTED BUTTE FIRE PROTECTION DISTRICT	3.1774E+1	1R073959		GOTHIC CORRIDOR		PO BOX 1009	CRESTED BUTTE	CO	81208	606	SPANN SUBDIVISION EXEMPTION PLAT			1.9 ACRES IN SECTION 35, TOWNSHIP 13S, RANGE 86W (CRESTED BUTTE CEMETERY)	1.89	1.89	0				https://property.spatailest.com/ce/gunnison#/property/R073959	
CRESTED BUTTE LAND TRUST	3.1774E+1	1R012846		GOTHIC CORRIDOR		PO BOX 2224	CRESTED BUTTE	CO	81208	AGRICULTURAL606				50.68 ACRES IN SECTION 35, TOWNSHIP 13S, RANGE 86W	50.68	50.67	0				https://property.spatailest.com/ce/gunnison#/property/R012846	
CRESTED BUTTE LAND TRUST	3.1774E+1	1R012849		GOTHIC CORRIDOR		PO BOX 2224	CRESTED BUTTE	CO	81208	AGRICULTURAL606				5.467 ACRES IN SECTION 35, TOWNSHIP 13S, RANGE 86W	5.47	5.27	0				https://property.spatailest.com/ce/gunnison#/property/R012849	
CRESTED BUTTE TOWN OF	3.1774E+1	1R012857	450 COUNTY ROAD 317	GOTHIC CORRIDOR		PO BOX 39	CRESTED BUTTE	CO	81208	606				14.083 ACRES, CRESTED BUTTE CEMETERY IN SECTION 35, TOWNSHIP 13S, RANGE 86W	0	13.85	0				https://property.spatailest.com/ce/gunnison#/property/R012857	
CRESTED BUTTE TOWN OF	3.1774E+1	1R012859	BUTTE AVE	GOTHIC CORRIDOR	GUNNISON COUNTY ELECTRIC ASSOCIATION	PO BOX 39	CRESTED BUTTE	CO	81208	606	DYER SUBDIVISION	1		TRACT 1, DYER SUBDIVISION	11.57	12.05	0				https://property.spatailest.com/ce/gunnison#/property/R012859	
CRESTED BUTTE TOWN OF	3.1774E+1	1R073451	TP1	GOTHIC CORRIDOR		PO BOX 39	CRESTED BUTTE	CO	81208	606	SLATE RIVER SUBDIVISION	TP1		LOT TP 1, SLATE RIVER SUBDIVISION	1.55	1.55	0				https://property.spatailest.com/ce/gunnison#/property/R073451	
CRESTED BUTTE TOWN OF	3.1774E+1	1R073452	TP2	GOTHIC CORRIDOR		PO BOX 39	CRESTED BUTTE	CO	81208	606	SLATE RIVER SUBDIVISION	TP2		LOT TP 2, SLATE RIVER SUBDIVISION	2.04	2.04	0				https://property.spatailest.com/ce/gunnison#/property/R073452	
CRESTED BUTTE TOWN OF	3.1774E+1	1R073454	TP4	GOTHIC CORRIDOR		PO BOX 39	CRESTED BUTTE	CO	81208	606	SLATE RIVER SUBDIVISION	TP4		LOT TP 4, SLATE RIVER SUBDIVISION	3.15	3.15	0				https://property.spatailest.com/ce/gunnison#/property/R073454	
CRESTED BUTTE TOWN OF	3.1774E+1	1R073456	TP6(A)	GOTHIC CORRIDOR		PO BOX 39	CRESTED BUTTE	CO	81208	606	SLATE RIVER SUBDIVISION	TP6(A)		LOT TP 6(A), SLATE RIVER SUBDIVISION	0.63	0.63	0				https://property.spatailest.com/ce/gunnison#/property/R073456	
CRESTED BUTTE TOWN OF	3.1774E+1	1R073457	TP6(B)	GOTHIC CORRIDOR		PO BOX 39	CRESTED BUTTE	CO	81208	606	SLATE RIVER SUBDIVISION	TP6(B)		LOT TP 6(B), SLATE RIVER SUBDIVISION	0.24	0.24	0				https://property.spatailest.com/ce/gunnison#/property/R073457	
CRESTED BUTTE TOWN OF	3.1774E+1	1R073458	TP7	GOTHIC CORRIDOR		PO BOX 39	CRESTED BUTTE	CO	81208	606	SLATE RIVER SUBDIVISION	TP7		LOT TP 7, SLATE RIVER SUBDIVISION	1.2	1.22	0				https://property.spatailest.com/ce/gunnison#/property/R073458	
CRESTED BUTTE TOWN OF	3.1774E+1	1R073459	TP8	GOTHIC CORRIDOR		PO BOX 39	CRESTED BUTTE	CO	81208	606	SLATE RIVER SUBDIVISION	TP8		LOT TP 8, SLATE RIVER SUBDIVISION	0.09	0.09	0				https://property.spatailest.com/ce/gunnison#/property/R073459	
CRESTED BUTTE TOWN OF	3.1774E+1	1R073460	TP9	GOTHIC CORRIDOR		PO BOX 39	CRESTED BUTTE	CO	81208	606	SLATE RIVER SUBDIVISION	TP9		LOT TP 9, SLATE RIVER SUBDIVISION	0.55	0.55	0				https://property.spatailest.com/ce/gunnison#/property/R073460	
CYPRESS FOOTHILLS LP	3.1774E+1	1R073461	HILL LN	GOTHIC CORRIDOR		8144 WALNUT HILL LN STE 1200	DALLAS	TX	75208	606	SLATE RIVER SUBDIVISION			STREETS & ALLEYS IN: SLATE RIVER SUBDIVISION	0	1.34	0				https://property.spatailest.com/ce/gunnison#/property/R073461	
CYPRESS FOOTHILLS LP	3.1774E+1	1R073462	T1	GOTHIC CORRIDOR		8144 WALNUT HILL LN STE 1200	DALLAS	TX	75208	606	SLATE RIVER SUBDIVISION	T1		LOT T1, SLATE RIVER SUBDIVISION	0.21	0.21	0				https://property.spatailest.com/ce/gunnison#/property/R073462	
CYPRESS FOOTHILLS LP	3.1774E+1	1R073463	T2	GOTHIC CORRIDOR		8144 WALNUT HILL LN STE 1200	DALLAS	TX	75208	606	SLATE RIVER SUBDIVISION	T2		LOT T2, SLATE RIVER SUBDIVISION	0.21	0.21	0				https://property.spatailest.com/ce/gunnison#/property/R073463	
CYPRESS FOOTHILLS LP	3.1774E+1	1R073464	T3	GOTHIC CORRIDOR		8144 WALNUT HILL LN STE 1200	DALLAS	TX	75208	606	SLATE RIVER SUBDIVISION	T3		LOT T3, SLATE RIVER SUBDIVISION	0.22	0.22	0				https://property.spatailest.com/ce/gunnison#/property/R073464	
CYPRESS FOOTHILLS LP	3.1774E+1	1R073465	T4	GOTHIC CORRIDOR		8144 WALNUT HILL LN STE 1200	DALLAS	TX	75208	606	SLATE RIVER SUBDIVISION	T4		LOT T4, SLATE RIVER SUBDIVISION	0.21	0.21	0				https://property.spatailest.com/ce/gunnison#/property/R073465	
CYPRESS FOOTHILLS LP	3.1774E+1	1R073466	T5	GOTHIC CORRIDOR		8144 WALNUT HILL LN STE 1200	DALLAS	TX	75208	606	SLATE RIVER SUBDIVISION	T5		LOT T5, SLATE RIVER SUBDIVISION	0.19	0.2	0				https://property.spatailest.com/ce/gunnison#/property/R073466	
CYPRESS FOOTHILLS LP	3.1774E+1	1R073467	T6	GOTHIC CORRIDOR		8144 WALNUT HILL LN STE 1200	DALLAS	TX	75208	606	SLATE RIVER SUBDIVISION	T6		LOT T6, SLATE RIVER SUBDIVISION	0.2	0.22	0				https://property.spatailest.com/ce/gunnison#/property/R073467	
CYPRESS FOOTHILLS LP	3.1774E+1	1R073468		GOTHIC CORRIDOR		8144 WALNUT HILL LN STE 1200	DALLAS	TX	75208	606	SLATE RIVER SUBDIVISION				OPEN SPACE (SNOW STORAGE) IN: SLATE RIVER SUBDIVISION	0.07	0.07	0				https://property.spatailest.com/ce/gunnison#/property/R073468
CYPRESS FOOTHILLS LP	3.1774E+1	1R073469		GOTHIC CORRIDOR		8144 WALNUT HILL LN STE 1200	DALLAS	TX	75208	606	SLATE RIVER SUBDIVISION				OPEN SPACE (SNOW STORAGE) IN: SLATE RIVER SUBDIVISION	0.02	0.02	0				https://property.spatailest.com/ce/gunnison#/property/R073469
CYPRESS FOOTHILLS LP	3.1774E+1	1R073470		GOTHIC CORRIDOR		8144 WALNUT HILL LN STE 1200	DALLAS	TX	75208	606	SLATE RIVER SUBDIVISION				OPEN SPACE (SNOW STORAGE) IN: SLATE RIVER SUBDIVISION	0.01	0.01	0				https://property.spatailest.com/ce/gunnison#/property/R073470
CYPRESS FOOTHILLS LP	3.1774E+1	1R073471		GOTHIC CORRIDOR		8144 WALNUT HILL LN STE 1200	DALLAS	TX	75208	606	SLATE RIVER SUBDIVISION				STREETS & ALLEYS IN: SLATE RIVER SUBDIVISION	0	0.05	0				https://property.spatailest.com/ce/gunnison#/property/R073471
MCLEAN R BRUCE	3.1774E+1	1R072540	APERTURE LN	GOTHIC CORRIDOR		2820 31ST ST NW	WASHINGTON	DC	20008	Residential606	APERTURE	5		LOT 5, APERTURE SUBDIVISION	0.73	0.73	1E+06#####DEED - FEE	66640	WARRANTY		https://property.spatailest.com/ce/gunnison#/property/R072540	
MIDTOWN MOUNTAIN LLC	3.1774E+1	1R072539	44 COUNTY ROAD 317	GOTHIC CORRIDOR		6919 RYWOOD COUNTRY RD	DALLAS	TX	75208	606	APERTURE	4		LOT 4, APERTURE SUBDIVISION	0.51	0.51	1E+06#####DEED - FEE	68361	GEN WARRANT		https://property.spatailest.com/ce/gunnison#/property/R072539	
SCHICHEL ADAM J	3.1774E+1	1R014505	APERTURE LN	GOTHIC CORRIDOR		3712 STANFORD AVE	CRESTED BUTTE	CO	81208	Residential606	APERTURE			LOT 21, APERTURE SUBDIVISION	5.5	5.23	0				https://property.spatailest.com/ce/gunnison#/property/R014505	
SHARPE LANTZ SHELBY	3.1774E+1	1R072556	PYRAMID AVE	GOTHIC CORRIDOR		3542 LOST CREEK BLVD	DALLAS	TX	75208	606	APERTURE	21		LOT 21, APERTURE SUBDIVISION	0.42	0.42	1E+06#####DEED - FEE	68456	GEN WARRANT		https://property.spatailest.com/ce/gunnison#/property/R072556	
SLATE RIVER LLC	3.1774E+1	1R072555	APERTURE LN	GOTHIC CORRIDOR		36781 US HIGHWAY 50	AUSTIN	TX	78708	606	APERTURE	20		LOT 20, APERTURE SUBDIVISION	0.55	0.55	1E+06#####DEED - FEE	67937	GEN WARRANT		https://property.spatailest.com/ce/gunnison#/property/R072555	
SPANN VIRGIL & LEE RANCHES INC	3.1774E+1	1R012856	APERTURE LN	GOTHIC CORRIDOR		36781 US HIGHWAY 50	GUNNISON	CO	81208	AGRICULTURAL606	APERTURE			17,856 ACRES IN SECTION 35, TOWNSHIP 13S, RANGE 86W	17.86	17.03	0				https://property.spatailest.com/ce/gunnison#/property/R012856	
WELL ADRIENNE EDMONDS	3.1774E+1	1R072538	APERTURE LN	GOTHIC CORRIDOR		PO BOX 1481	CRESTED BUTTE	CO	81208	606	APERTURE	3	REPLAT	LOT 3, APERTURE SUBDIVISION	0.5	0.5	1E+06#####DEED - FEE	68411	GEN WARRANT		https://property.spatailest.com/ce/gunnison#/property/R072538	
WELL MICHAEL S	3.1774E+1	1R072538	APERTURE LN	GOTHIC CORRIDOR		PO BOX 1481	CRESTED BUTTE	CO	81208	606	APERTURE	3	REPLAT	LOT 3, APERTURE SUBDIVISION	0.5	0.5	1E+06#####DEED - FEE	68411	GEN WARRANT		https://property.spatailest.com/ce/gunnison#/property/R072538	
WOODWARD CHARLES ANDREW	3.1774E+1	1R072537	PYRAMID AVE	GOTHIC CORRIDOR		4109 SHENANDOAH ST	DALLAS	TX	75208	606	APERTURE	2		LOT 2, APERTURE SUBDIVISION	0.58	0.58	1E+06#####DEED - FEE	68438	GEN WARRANT		https://property.spatailest.com/ce/gunnison#/property/R072537	
WOODWARD MELINDA MURPHEY	3.1774E+1	1R072537	PYRAMID AVE	GOTHIC CORRIDOR		4109 SHENANDOAH ST	DALLAS	TX	75208	606	APERTURE	2		LOT 2, APERTURE SUBDIVISION	0.58	0.58	1E+06#####DEED - FEE	68438	GEN WARRANT		https://property.spatailest.com/ce/gunnison#/property/R072537	

This file is password protected and cannot be consolidated into the PDF. It has been included in the file individually or is available at this link: GEOTECH



GEOTECHNICAL STUDY
Crested Butte Fire Protection District Campus
Crested Butte, Colorado



Prepared for:

Mr. Sean Caffrey, CEO
Crested Butte Fire Protection District
PO Box 1009
Crested Butte, CO 81224

Project No. 22.6156
December 15, 2022

Colorado Regional Office: 7108 South Alton Way, Building B • Centennial, CO 80112
Arizona • Colorado • Idaho • Texas • Utah
Phone 303-220-0300 • www.CMTinc.com

**Transportation Impact Study
For
Crested Butte Fire Protection District
Crested Butte, CO**



March 28, 2023

PREPARED FOR:

Crested Butte Fire Protection District
306 Maroon Ave. / PO Box 1009
Crested Butte, CO 81224
Contact: Todd Goulding

PREPARED BY:

McDowell Engineering, LLC
PO Box 4259
Eagle, CO 81631
970.623.078
Contact: Kari J. McDowell Schroeder, PE, PTOE
Project Number: M1541

Statement of Engineering Qualifications

Kari J. McDowell Schroeder, PE, PTOE is a Transportation and Traffic Engineer for McDowell Engineering, LLC. Ms. McDowell Schroeder has over twenty years of extensive traffic and transportation engineering experience. She has completed numerous transportation studies and roadway design projects throughout the State of Colorado. Ms. McDowell Schroeder is a licensed Professional Engineer in the State of Colorado and has her certification as a Professional Traffic Operations Engineer from the Institute of Transportation Engineers.

Table of Contents

1.0	PROJECT DESCRIPTION	5
1.1	PROJECT PHASING.....	7
1.2	PROJECT ACCESS LOCATIONS.....	7
1.3	INTERSECTION ANALYSIS LOCATIONS.....	7
2.0	EXISTING CONDITIONS	8
2.1	DESCRIPTION OF EXISTING TRANSPORTATION SYSTEM.....	8
2.2	EXISTING TRAFFIC DATA	8
3.0	FUTURE TRAFFIC PROJECTIONS	10
3.1	EXISTING & COMMITTED CAPITAL IMPROVEMENT PROJECTS.....	10
3.2	PLANNED OR EXISTING LAND DEVELOPMENT PROJECTS.....	10
3.3	BACKGROUND TRAFFIC GROWTH	10
3.4	BACKGROUND TRAFFIC LEVEL OF SERVICE.....	13
4.0	PROJECT TRAFFIC	14
4.1	TRIP GENERATION.....	14
4.1	SITE-GENERATED TRAFFIC	20
4.2	TRIP DISTRIBUTION	21
4.3	TRIP ASSIGNMENT	21
4.4	TOTAL TRAFFIC.....	22
5.0	TRANSPORTATION IMPACT ANALYSIS	34
5.1	SITE DESIGN, TRAFFIC CIRCULATION, AND QUEUE EVALUATION	34
5.2	MULTIMODAL IMPROVEMENTS	34
5.3	AUXILIARY TURN LANES	34
5.4	TOTAL TRAFFIC LEVELS OF SERVICE.....	35
5.5	SITE ACCESS ENTERING SIGHT DISTANCE	36
5.6	VEHICULAR TRAFFIC WARNING SIGNS AND BEACONS.....	36
5.7	STATE HIGHWAY ACCESS PERMIT.....	37
6.0	RECOMMENDATIONS AND CONCLUSIONS	38
7.0	APPENDIX	40

Figures and Tables

FIGURE 1: VICINITY MAP.....	5
FIGURE 2: SITE PLAN	6
FIGURE 3: YEAR 2023 EXISTING TRAFFIC.....	9
FIGURE 4: YEAR 2024 BACKGROUND TRAFFIC VOLUMES.....	11
FIGURE 5: YEAR 2045 BACKGROUND TRAFFIC VOLUMES.....	12
FIGURE 6: PROJECT GENERATED TRAFFIC DISTRIBUTION – VISITORS & DELIVERIES.....	23
FIGURE 7: PROJECT GENERATED TRAFFIC DISTRIBUTION – SEARCH AND RESCUE CALLS.....	24
FIGURE 8: PROJECT GENERATED TRAFFIC DISTRIBUTION – HQ EMERGENCY CALLS	25
FIGURE 9: PROJECT GENERATED TRAFFIC DISTRIBUTION – EMPLOYEE PARKING.....	26
FIGURE 10: PROJECT GENERATED TRAFFIC ASSIGNMENT – VISITORS & DELIVERIES.....	27
FIGURE 11: PROJECT GENERATED TRAFFIC ASSIGNMENT – SEARCH AND RESCUE CALLS.....	28
FIGURE 12: PROJECT GENERATED TRAFFIC ASSIGNMENT – HQ EMERGENCY CALLS.....	29
FIGURE 13: PROJECT GENERATED TRAFFIC ASSIGNMENT – EMPLOYEE PARKING.....	30
FIGURE 14: PROJECT GENERATED TRAFFIC ASSIGNMENT – TOTAL	31
FIGURE 15: YEAR 2024 TOTAL TRAFFIC	32
FIGURE 16: YEAR 2045 TOTAL TRAFFIC	33
FIGURE 17: VEHICULAR TRAFFIC WARNING SIGN	36
TABLE 1: HCM LEVEL OF SERVICE CRITERIA	13
TABLE 2: BACKGROUND TRAFFIC LEVEL OF SERVICE	13
TABLE 3: CUSTOM TRIP GENERATION – VISITORS & DELIVERIES.....	16
TABLE 4: CUSTOM TRIP GENERATION - SEARCH AND RESCUE CALLS.....	17
TABLE 5: CUSTOM TRIP GENERATION - HQ EMERGENCY CALLS.....	18
TABLE 6: CUSTOM TRIP GENERATION - EMPLOYEE PARKING & TOTAL SUM.....	19
TABLE 7: AUXILIARY TURN LANE RECOMMENDATIONS.....	34
TABLE 8: TOTAL TRAFFIC LEVEL OF SERVICE.....	35

1.0 Project Description

McDowell Engineering has prepared this Transportation Impact Analysis for the New Emergency Service Campus for the Crested Butte Fire Protection District (CBFPD) located in unincorporated Gunnison County near the Town of Crested Butte. The purpose of this Transportation Impact Analysis is to forecast and analyze the impacts of the additional traffic volumes associated with the addition of the proposed development on the surrounding roadway network.

The development is located directly northeast of the CR 317/Gothic Rd & Pyramid Ave intersection on the east side of Gothic Rd. The lot is currently empty with no existing development. The project is proposing to develop a new emergency service campus. This includes a new search and rescue (SAR) building, training facility, and a new headquarters (HQ) building.

The location of proposed development is shown in the vicinity map in **Figure 1**.

Figure 1: Vicinity Map



The project is proposing three accesses located on the west side of the lot. The three accesses are located along CR 317/Gothic Rd. The three accesses will be paved and have direct connectivity to CR 317/Gothic Rd and Pyramid Ave. The internal traffic is two-way in the north and south access and one-way in the headquarters (HQ) access. The proposed site plan with the proposed accesses is shown in **Figure 2**.

Figure 2: Site Plan



1.1 Project Phasing

The emergency service campus is proposed to be constructed in a single-phase with an assumed completion year of 2024. Analysis has been performed for both short-term buildout Year 2024 conditions as well as the long-range planning Year 2045.

1.2 Project Access Locations

The emergency service campus site will have three accesses with direct connectivity to CR 317/Gothic Rd. Refer to the site plan in **Figure 2**.

1. CR 317/Gothic Road & North Access
2. CR 317/Gothic Road & HQ Access
3. CR 317/Gothic Road & South Access

Per Section 4.5.1 and 4.5.2 of the *Gunnison County Standards and Specifications for New Construction of Roads and Bridges*¹, the access spacing requirements are based upon the roadway classification.

1.3 Intersection Analysis Locations

This report does not study any additional off-site intersections.

¹ Gunnison Standards and Specifications for New Construction of Roads and Bridges. Gunnison County, 2008.

2.0 Existing Conditions

2.1 Description of Existing Transportation System

CR 317/Gothic Rd: CR 317/Gothic Road is a two lane north-south roadway connecting Mt Crested Butte to Crested Butte. It is classified as a major arterial road by the *Crested Butte Area Plan*². The posted speed limit of CR 317/Gothic Rd within the vicinity of the project is 35mph.

Pedestrian and Bicycle Facilities: There are no pedestrian and bicycle facilities near the vicinity of the project. There are 10-12ft shoulders on both sides of Pyramid Ave along its entire length.

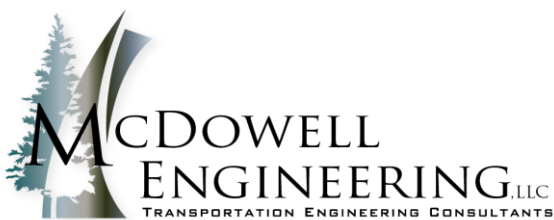
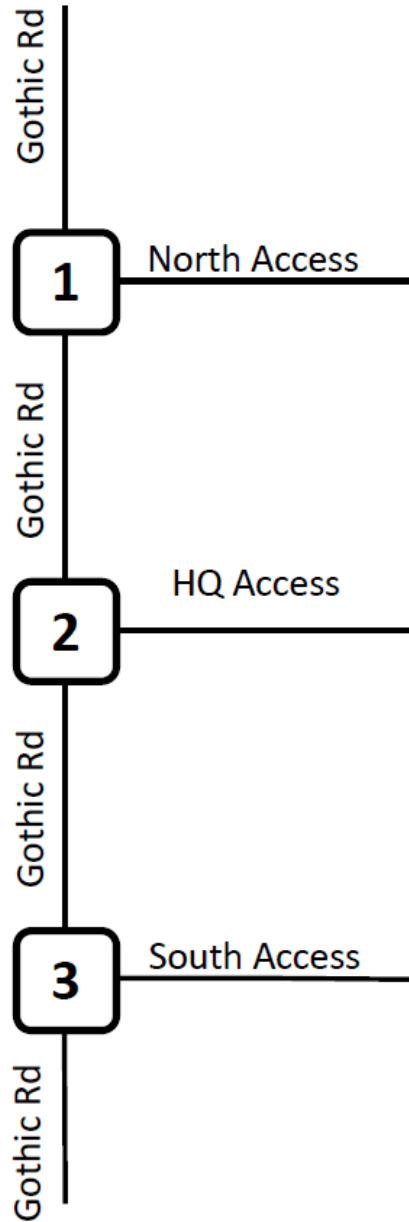
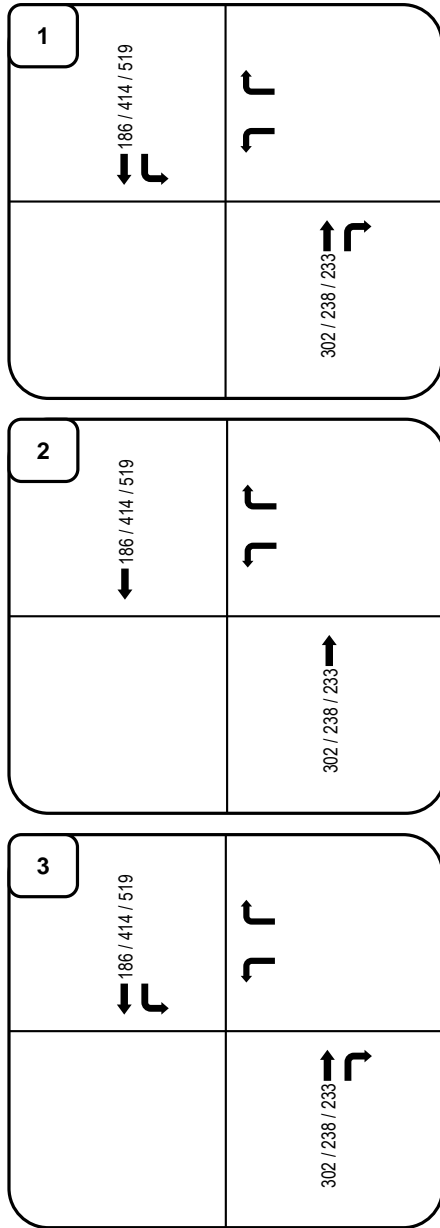
2.2 Existing Traffic Data

Year 2022 weekday and Saturday traffic data was collected at the CR 317/Gothic Rd & Pyramid Ave intersection. Morning peak hour turning movement counts were taken on Thursday, January 27, 2022, from 7:00-9:00 am. Afternoon peak hour turning movement counts were taken on Wednesday, January 26, 2022, from 3:00-6:00 pm. Saturday peak hour turning movement counts were taken were taken on Saturday, January 1, 2022, from 7am-7pm.

The traffic counts taken in Year 2022 were grown to Year 2023 using a growth rate obtained from Colorado Department of Transportation. This growth rate is discussed in more detail in **Section 3.3** below. The growth rate obtained was used to forecast the Year 2022 traffic volumes to Year 2023. Year 2023 traffic data can be found in **Figure 3**. Data collected can be seen in the **Appendix**.

² Crested Butte Area Planning. Crested Butte Planning Commission, July 2011.

Figure 3: Year 2023 Existing Traffic



LEGEND:

Directional Distribution = Inbound% (Outbound %)

AM/PM/SAT Volumes = XX/XX/XX VPH (in PCEs)

Turning Movements

Project Number

M1541

Prepared By

EP

3.0 Future Traffic Projections

3.1 Existing & Committed Capital Improvement Projects

The Town of Crested Butte does not have any existing and committed capital improvement projects near the project vicinity.

3.2 Planned or Existing Land Development Projects

There are no planned or existing land development projects near the vicinity of the project.

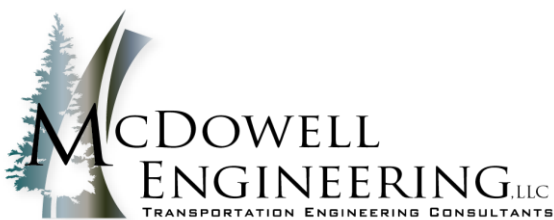
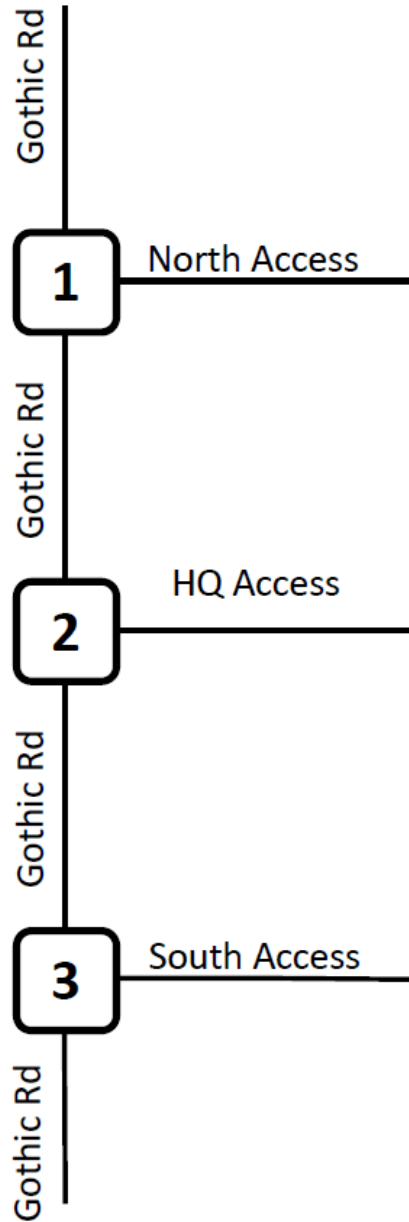
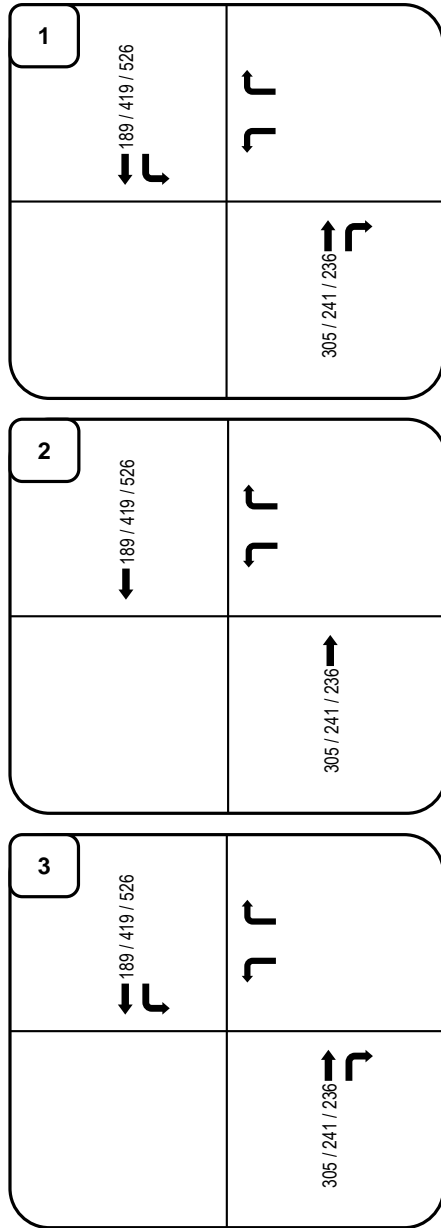
3.3 Background Traffic Growth

CDOT's Online Transportation Information System³ (OTIS) publishes 20-year growth factors for every segment of State Highway in Colorado. For the Segment of State Highway 135 near Gothic Road, the 20-year factor is 1.28. This is equivalent to an annual growth rate of 1.24%. This growth rate was applied to the through volumes on CR 317/Gothic Rd.

Projected Year 2024 and 2045 background traffic can be seen in **Figure 4 and 5**.

³ Online Transportation Information System, Colorado Department of Transportation, 2022.
<https://dtdapps.coloradodot.info/otis>

Figure 4: Year 2024 Background Traffic



LEGEND:

Directional Distribution = Inbound% (Outbound %)

AM/PM/SAT Volumes = XX/XX/XX VPH (in PCEs)

Turning Movements

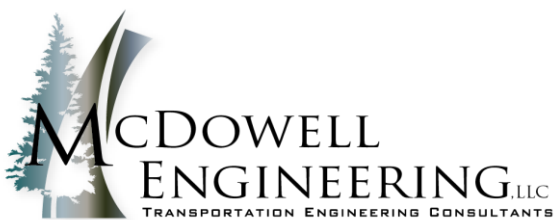
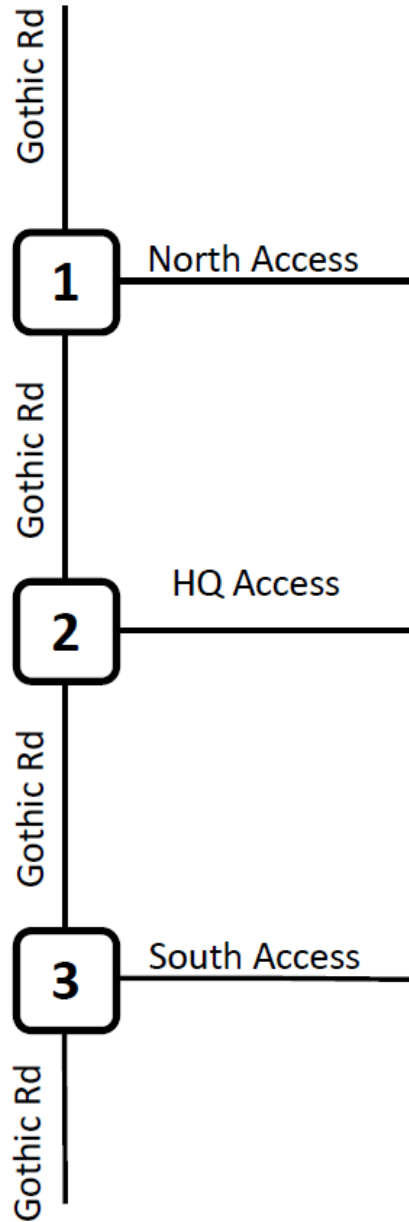
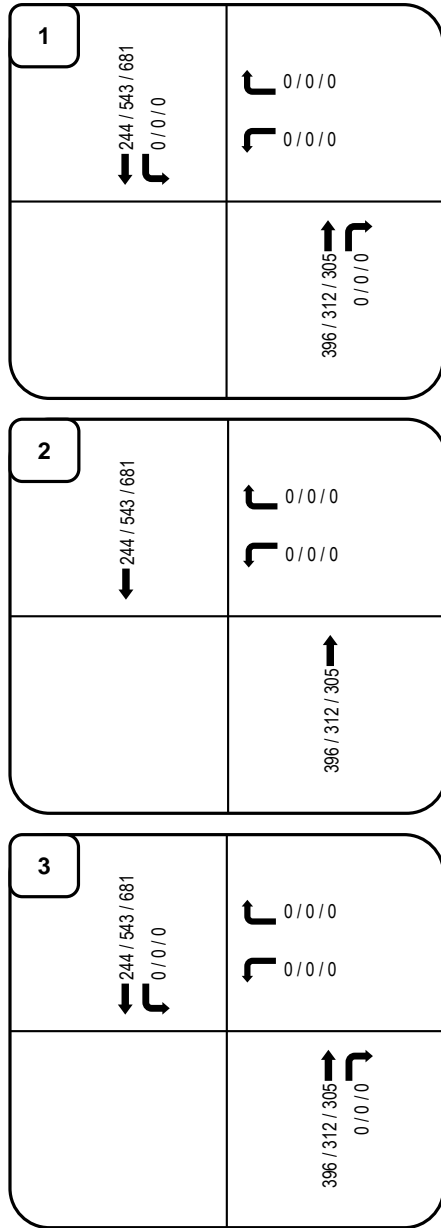
Project Number

M1541

Prepared By

EP

Figure 5: Year 2045 Background Traffic



LEGEND:

Directional Distribution = Inbound% (Outbound %)

AM/PM/SAT Volumes = XX/XX/XX VPH (in PCEs)

Turning Movements

Project Number

M1541

Prepared By

EP

3.4 Background Traffic Level of Service

Using *Highway Capacity Manual 6th Edition 2016⁴ (HCM)* methodology, Synchro software was used to determine the delay and Level of Service (LOS). HCM LOS is defined by the following criteria:

Table 1: HCM Level of Service Criteria

LOS	Expected Delay to Minor Street Traffic	Average Signal Delay (Seconds/Vehicle)	Average Stop-Controlled Delay (Seconds/Vehicle)
A	Little or no delay.	0-10	0-10
B	Short traffic delays.	>10-20	>10-15
C	Average traffic delays.	>20-35	>15-25
D	Long traffic delays.	>35-55	>25-35
E	Very long traffic delays.	>55-80	>35-50
F	When volume exceeds the capacity of the lane extreme delays will be encountered with queuing that may cause severe congestion affecting other traffic movements in the intersection. This condition usually warrants improving the intersection.	>80	>50

The following **Table 2** shows the resulting LOS as determined by HCM analysis:

Table 2: Background Traffic Level of Service

#	Int.	Traffic Control	Approach	Year 2023 Existing Level of Service (Delay in Seconds)			Year 2024 Background Level of Service (Delay in Seconds)			Year 2045 Background Level of Service (Delay in Seconds)		
				AM	PM	SAT	AM	PM	SAT	AM	PM	SAT
1	Gothic Road & North Access	WB Stop	WB	A (0.0)	A (0.0)	A (0.0)	A (0.0)	A (0.0)	A (0.0)	A (0.0)	A (0.0)	A (0.0)
			NB	A (0.0)	A (0.0)	A (0.0)	A (0.0)	A (0.0)	A (0.0)	A (0.0)	A (0.0)	A (0.0)
			SB	A (0.0)	A (0.0)	A (0.0)	A (0.0)	A (0.0)	A (0.0)	A (0.0)	A (0.0)	A (0.0)
2	Gothic Road & HQ Access	WB Stop	WB	A (0.0)	A (0.0)	A (0.0)	A (0.0)	A (0.0)	A (0.0)	A (0.0)	A (0.0)	A (0.0)
			NB	A (0.0)	A (0.0)	A (0.0)	A (0.0)	A (0.0)	A (0.0)	A (0.0)	A (0.0)	A (0.0)
			SB	A (0.0)	A (0.0)	A (0.0)	A (0.0)	A (0.0)	A (0.0)	A (0.0)	A (0.0)	A (0.0)
3	Gothic Road & South Access	WB Stop	WB	A (0.0)	A (0.0)	A (0.0)	A (0.0)	A (0.0)	A (0.0)	A (0.0)	A (0.0)	A (0.0)
			NB	A (0.0)	A (0.0)	A (0.0)	A (0.0)	A (0.0)	A (0.0)	A (0.0)	A (0.0)	A (0.0)
			SB	A (0.0)	A (0.0)	A (0.0)	A (0.0)	A (0.0)	A (0.0)	A (0.0)	A (0.0)	A (0.0)

As can be seen in **Table 2**, all three of the intersections are anticipated to operate at acceptable overall intersection Levels of Service through the long-term planning

⁴ Highway Capacity Manual, 6th Edition. Transportation Research Board, 2016.

horizon Year 2045. All operations are of LOS A due to each access being a new access with no background traffic on the westbound approaches, or inbound turns on them.

CR 317/Gothic Road & North Access: This intersection is anticipated to operate at an acceptable LOS A on all three legs through Year 2045 background traffic conditions.

CR 317/Gothic Road & HQ Access: This intersection is anticipated to operate at an acceptable LOS A on all three legs through Year 2045 background traffic conditions.

CR 317/Gothic Road & South Access: This intersection is anticipated to operate at an acceptable LOS A on all three legs through Year 2045 background traffic conditions.

4.0 Project Traffic

4.1 Trip Generation

Trip Generation is normally calculated by using the methods presented in the *ITE Trip Generation Handbook*⁵, with data provided from the *ITE Trip Generation Manual*⁶. This method is accepted by CDOT and most other jurisdictions.

The *Trip Generation Handbook* does not detail specific times to use other methods, especially when existing data is sparse, or when conditions are different than one of the available land use categories in the Trip Generation Manual. Often this involves counting a similar sized facility. However, at this time it is impractical to do such given the lack of a similar facility in the vicinity.

A customized trip generation can also be created by examining actual operations and presenting an analysis and counting of these items. This method is generally accepted provided that the methods and rationale is logical and reasonable.

A customized trip generation for the new emergency service campus was created using anticipated operation of these land uses. A summary of the assumptions is below: these assumptions were made with the help of CBFPD staff.

- This custom trip generation grouped the emergency service campus activities and operations into three categories: visitors & deliveries, SAR calls, HQ emergency calls, & employee parking. This was done because each of these four categories have different distributions and different travel patterns.
- Visitors & Deliveries: This category will only have access to the north and south access. It will not have access to the HQ access.
 - Visitors: 10 visitors per day dispersed from 8am-6pm.

⁵ Institute of Transportation Engineers, Trip Generation Handbook, 3rd Edition, September 2017.

⁶ Institute of Transportation Engineers, Trip Generation Manual, 11th Edition, 2021.

- EMT Classes: The HQ building will host EMT classes 2 nights a week with an assumed 7 students per class.
- Deliveries & Trash Pickup: Three deliveries per day for the entire campus. One garbage and one recycle truck pickup per day for the entire campus. It also assumes there is only one pickup and drop-off location for all deliveries and trash/recycle pickups.
- Training Sessions: Assumes 15 people per training session and each training session lasts 3 hours.
- Scheduled meetings: It was assumed that there would be a couple of meetings per day with a couple of people attending each meeting. It was assumed that half of the people attending the meetings would already be on-site and the other half would have to commute to these meetings.
- Search and Rescue Calls: 50 calls per year. Assumes two light duty vehicles, one ambulance, and one fire truck per SAR call. This category uses the south access for outbound traffic and the north access for all inbound traffic.
- Headquarters Emergency Calls: Four calls per day. Assumes two light duty vehicles, one ambulance, and one fire truck per emergency calls. This category uses the HQ access for all outbound traffic and the south access for all inbound traffic.
- Employee Parking: Assumed the employee parking would be split 50%/50% between the north and south access.

Refer to **Table 3 – Table 6** for trip generation calculations and further breakdown of these trips.

Table 3: Custom Trip Generation - Visitors & Deliveries

Visitors & Deliveries		Vehicles Total per day	Vehicle Trips Total per day	Passenger Car Equivalent (PCE) Factor ²	Trips per day (PCEs ¹)	Vehicle Trips per Hour (in PCEs ¹)														Notes										
		(vpd)	(vpd)		(vpd)	12am	1am	2am	3am	4am	5am	6am	7am	8am	9am	10am	11am	12pm	1pm	2pm	3pm	4pm	5pm	6pm	7pm	8pm	9pm	10pm	11pm	
C3	Head Quarters: Guests	10	20	1	20	inbound								2		2		2		2		2								10 guests per day
						outbound									2		2		2		2		2							
D1	Training Facility: Training Sessions	15	30	1	30	inbound																	15							Assuming a 3 hr training session (might be too high) and 15 people per training session
						outbound																			15					
D2	Training Facility: Scheduled Meetings	10	20	1	20	inbound								2		2		2		2		2								Assumed a couple meetings a day with approx 6 people per meeting. Assumed half of the people attending each meeting is already on site. The other half must commute.
						outbound									2		2		2		2		2							
D3	Training Facility: EMT classes	7	14	1	14	inbound																	7							EMT classes meet 2 nights a week. Assumed 7 students per class
						outbound																				7				
G	Deliveries	3	6	1	6	inbound								1				1				1								3 deliveries per day. Assume all deliveries for each building are dropped off at same access point (south parking lot on Pyramid Ave)
						outbound									1					1					1					
H	Trash/Waste Pickup Employee Housing	2	4	2	8	inbound								2					2											1 recycle truck and one garbage truck. Assume this same truck picks up the employee housing, SAR building, Head quarters, and training facility trash
						outbound								2					2											
Total (in PCEs)		47	94		98	inbound	0	0	0	0	0	0	0	4	3	4	0	4	1	6	0	4	23	0	0	0	0	0	0	
						outbound	0	0	0	0	0	0	0	0	6	1	4	0	4	3	4	0	4	1	0	15	7	0	0	
Visitors & Deliveries - Total peak hour trips (in PCEs)						0	0	0	0	0	0	0	0	4	9	5	4	4	5	9	4	4	27	1	0	15	7	0	0	

Table 4: Custom Trip Generation - Search and Rescue Calls

Search & Rescue calls

					12am	1am	2am	3am	4am	5am	6am	7am	8am	9am	10am	11am	12pm	1pm	2pm	3pm	4pm	5pm	6pm	7pm	8pm	9pm	10pm	11pm
B1	Search and Rescue - Light Duty Vehicles	2	4	1	4	inbound																						
						outbound																						
B2	Search and Rescue - Ambulance	1	2	1	2	inbound																						
						outbound																						
B3	Search and Rescue - Fire Trucks	1	2	3	6	inbound																						
						outbound																						

50 calls/year. 30% to the north & 70% to the south.
 50 calls/year. 30% to the north & 70% to the south.
 50 calls/year. 30% to the north & 70% to the south.

				(vpd)	(vpd)	(vpd)		12am	1am	2am	3am	4am	5am	6am	7am	8am	9am	10am	11am	12pm	1pm	2pm	3pm	4pm	5pm	6pm	7pm	8pm	9pm	10pm	11pm
Total (in PCEs)	4	8		12	Inbound	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
					Outbound	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	2	0	0	0	0	0	4	0

Search & Rescue calls - Total peak hour trips (in PCEs) 0 2 0 0 0 0 0 0 0 4 0 0 6 0 0 0 0

Table 5: Custom Trip Generation - HQ Emergency Calls

HQ Emergency Calls

					12am	1am	2am	3am	4am	5am	6am	7am	8am	9am	10am	11am	12pm	1pm	2pm	3pm	4pm	5pm	6pm	7pm	8pm	9pm	10pm	11pm	
C1	Head Quarters: Resident calls (Light Duty Vehicles)	8	16	1	16	inbound																							4 calls/day using 2 vehicles per call. 30% to the north & 70% to the south.
						outbound															2		2		2		2		
C2	Head Quarters: Resident calls (Ambulances)	4	8	1	8	inbound														1		1		1		1			4 calls/day using 1 ambulance per call. 30% to the north & 70% to the south.
						outbound														1		1		1		1			
C6	Head Quarters: Resident calls (Firetrucks)	1	2	3	6	inbound																3							4 calls/day but fire trucks only get used on 20% of these calls. 30% to the north & 70% to the south.
						outbound																	3						
E	Deliveries HQ	0	0	1	0	inbound																							Assume deliveries for each building are dropped off at the same access point (South parking lot on Pytamid Ave)
						outbound																							
F	Trash/Waste Pickup HQ	0	0	2	0	inbound																							Assume trash/wast for each building is picked up at the same access point (South parking lot on Pytamid Ave)
						outbound																							

		(vpd)	(vpd)	(vpd)		12am	1am	2am	3am	4am	5am	6am	7am	8am	9am	10am	11am	12pm	1pm	2pm	3pm	4pm	5pm	6pm	7pm	8pm	9pm	10pm	11pm	
Total (in PCEs)	13	26		30	inbound	0	0	0	0	0	0	0	0	0	0	0	0	0	3	0	6	0	6	0	3	0	3	0	0	0
					Outbound	0	0	0	0	0	0	0	0	0	0	0	0	3	0	6	0	3	0	3	0	0	0	0	0	0

HQ Emergency Calls - Total peak hour trips (in PCEs)

0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	3	0	9	0	9	0	6	0	3	0	0	0	0
---	---	---	---	---	---	---	---	---	---	---	---	---	---	---	---	---	---	---	---	---	---	---	---	---	---	---	---	---	---

Table 6: Custom Trip Generation - Employee Parking & Total Sum

Employee Parking

						12am	1am	2am	3am	4am	5am	6am	7am	8am	9am	10am	11am	12pm	1pm	2pm	3pm	4pm	5pm	6pm	7pm	8pm	9pm	10pm	11pm	
C4	Head Quarters: Full time employee Commutes	5	10	1	10	inbound								5																Shift changes are every other day at 8 am for 5 people.
						outbound												5												
C5	Head Quarters: Part-time & volunteer employee Commutes	4	8	1	8	inbound								2										2						2 additional people coming and going at 8am an 6 pm
						outbound												2									2			

	(vpd)	(vpd)		(vpd)		12am	1am	2am	3am	4am	5am	6am	7am	8am	9am	10am	11am	12pm	1pm	2pm	3pm	4pm	5pm	6pm	7pm	8pm	9pm	10pm	11pm	
Total (in PCEs)	9	18		18	inbound	0	0	0	0	0	0	0	0	7	0	0	0	0	0	0	0	0	0	0	2	0	0	0	0	0
					outbound	0	0	0	0	0	0	0	0	0	0	0	0	7	0	0	0	0	0	0	0	0	2	0	0	0

Employee Parking - Total peak hour trips (in PCEs)	0	0	0	0	0	0	0	0	0	0	0	0	0	14	0	0	0	0	0	0	0	0	0	4	0	0	0	0	0
--	---	---	---	---	---	---	---	---	---	---	---	---	---	----	---	---	---	---	---	---	---	---	---	---	---	---	---	---	---

Total daily trips (in PCEs)	inbound	79	vpd
	outbound	79	vpd
	Total	158	vpd

	(vpd)	(vpd)		(vpd)		12am	1am	2am	3am	4am	5am	6am	7am	8am	9am	10am	11am	12pm	1pm	2pm	3pm	4pm	5pm	6pm	7pm	8pm	9pm	10pm	11pm	
Total (in PCEs)	9	18		158	inbound	0	0	0	0	0	0	0	0	11	3	4	0	4	1	9	0	10	23	5	0	9	0	0	0	
					outbound	0	0	0	0	0	0	0	0	0	0	0	7	6	1	4	5	4	9	4	3	4	10	0	15	7

Total peak hour trips (in PCEs)	0	0	0	0	0	0	0	0	0	0	0	0	0	18	9	5	4	9	5	18	4	13	27	15	0	24	7	0	0
---------------------------------	---	---	---	---	---	---	---	---	---	---	---	---	---	----	---	---	---	---	---	----	---	----	----	----	---	----	---	---	---

Total daily trips (in PCEs)	inbound	85	vpd
	outbound	82	vpd
	Total	164	vpd

4.1 Site-Generated Traffic

The project is anticipated to generate a total of 164 vehicle trips over the course of an average weekday (vehicle trips per day, vpd), of which 85 are inbound trips and 82 are outbound trips over the course of an average weekday. During the morning peak hour, this includes 11 inbound and 7 outbound trips (vehicles trips per hour, vph). The evening peak hour is expected to generate 23 inbound and 4 outbound trips.

Refer to **Tables 3 – 6** for trip generation calculations and further breakdown of these trips.

4.2 Trip Distribution

The distribution of project-generated vehicular traffic on adjacent roadways is influenced by several factors including the following:

- The location of the site relative to other commercial and healthcare facilities and the roadway network.
- The configuration of the existing and proposed adjacent roadway network
- Relative location of neighboring population centers

Directional Distribution: As mentioned in **Section 4.1**, the custom trip generation grouped the activities and operations of the new emergency service campus into four categories; visitors & deliveries, search and rescue calls, headquarters emergency calls, employee parking. These four categories have their own distinct distribution.

- Visitors & Deliveries: 90% of the visitors and deliveries were assumed to be coming from Crested Butte (south of the project site). The other 10% were assumed be coming from Mt. Crested Butte (north of the project site)
- Search and Rescue Calls: 30% of the SAR calls were assumed to be coming from Mt Crested Butte (north of the project site). The other 70% were assumed to be coming from Crested Butte (south of the project site).
- Headquarters Emergency Calls: 30% of the HQ emergency calls were assumed to be coming from Mt Crested Butte (north of the project site). The other 70% were assumed to be coming from Crested Butte (south of the project site).
- Employee Parking: 10% of the employees were assumed to come from Mt Crested Butte (north of the project site). The other 90% are coming from Crested Butte (south of the project site).

Refer to **Figure 6 – Figure 9** for directional distribution breakdowns.

4.3 Trip Assignment

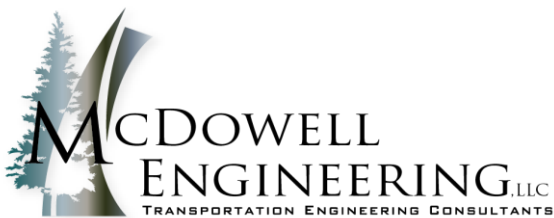
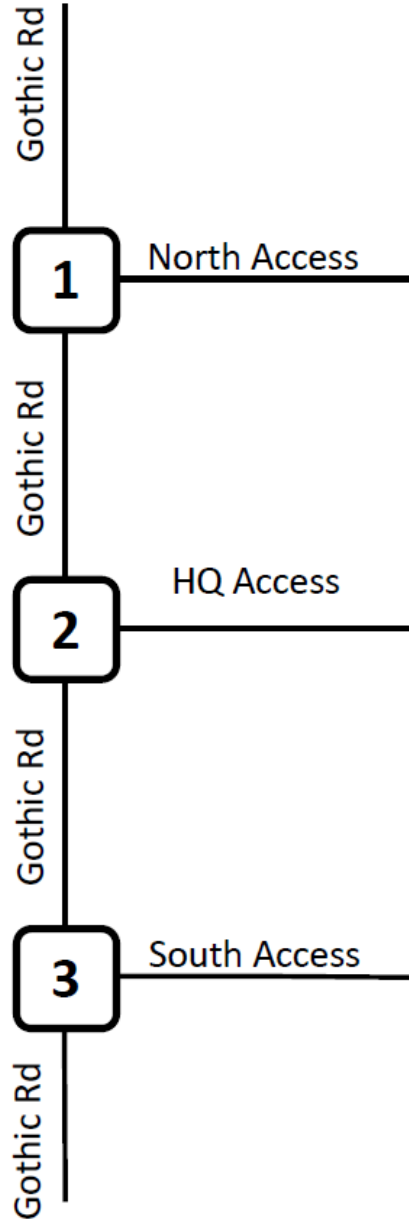
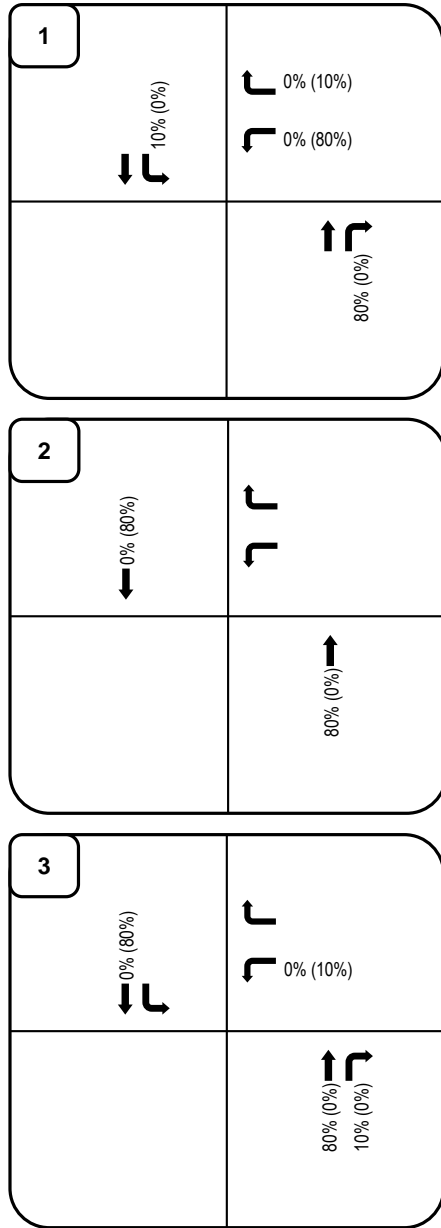
When the trip generation expected for this site (**Table 3 – Table 6**) is applied to the estimated trip distribution (**Figure 6 – Figure 9**), the result is the anticipated assignment of trips on the roadway system. **Figure 10 – Figure 13** depicts the new vehicle trips that are anticipated from the new emergency service campus for each of the four categories described above. **Figure 14** depicts the sum of the traffic generated by the four categories.

4.4 Total Traffic

The total traffic anticipated at each intersection is the sum of background traffic with the site-generated traffic.

For Year 2024, the background traffic (**Figure 4**) added to the total site-generated traffic (**Figure 14**) yields the total Year 2024 traffic in **Figure 15**. For Year 2045, the background traffic (**Figure 5**) added to the total site-generated traffic (**Figure 14**) yields the total Year 2045 traffic in **Figure 16**.

Figure 6: Project Generated Traffic Distribution (Visitors & Deliveries/Pickups)



LEGEND:

Directional Distribution = Inbound% (Outbound %)

AM/PM/SAT Volumes = XX/XX/XX VPH (in PCEs)

Turning Movements

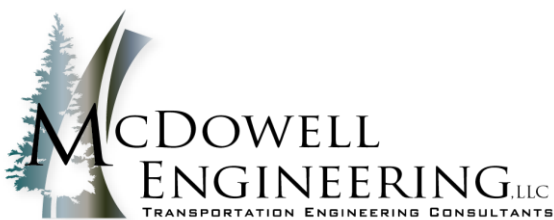
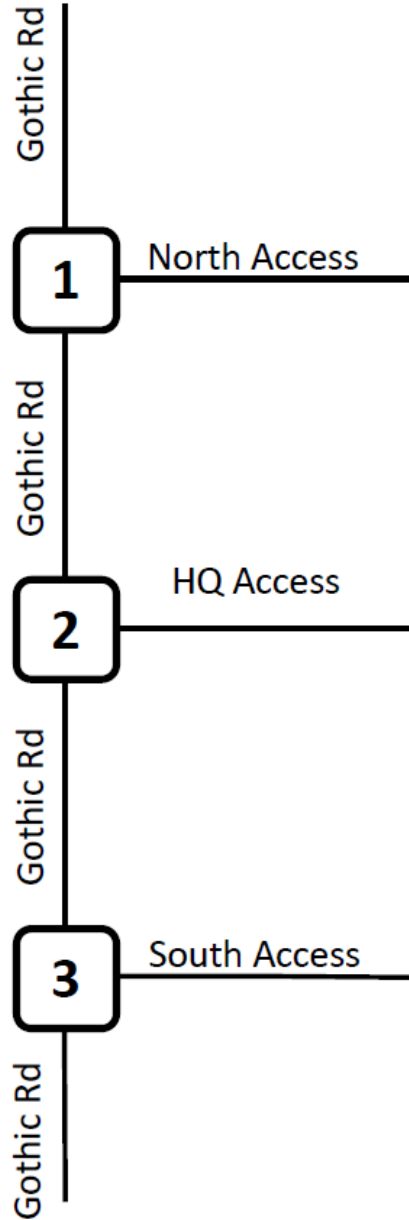
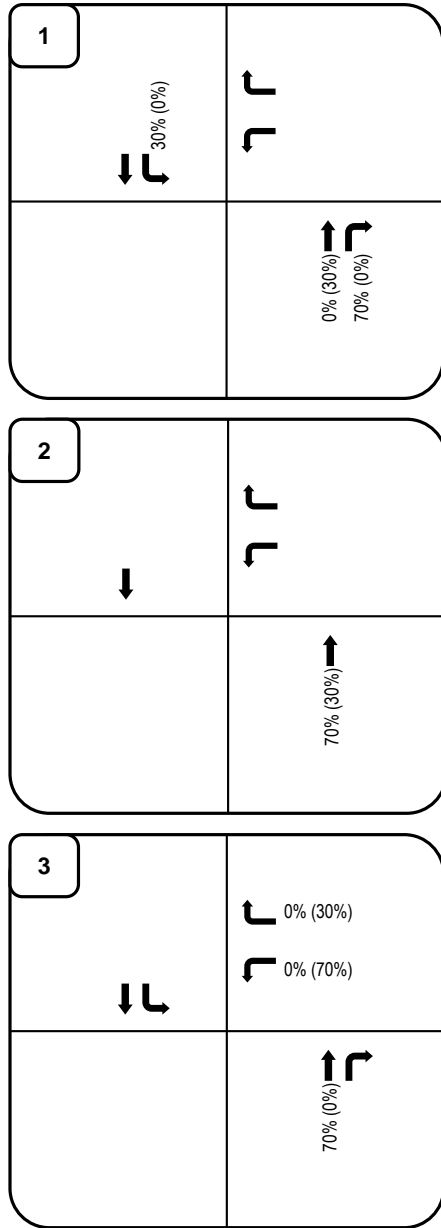
Project Number

M1541

Prepared By

EP

Figure 7: Project Generated Traffic Distribution (SAR Calls)



LEGEND:

Directional Distribution = Inbound% (Outbound %)

AM/PM/SAT Volumes = XX/XX/XX VPH (in PCEs)

Turning Movements

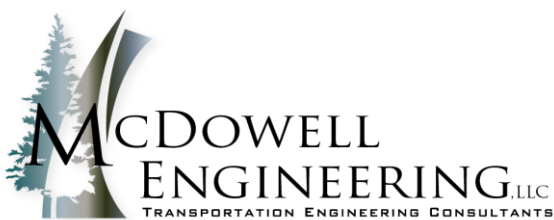
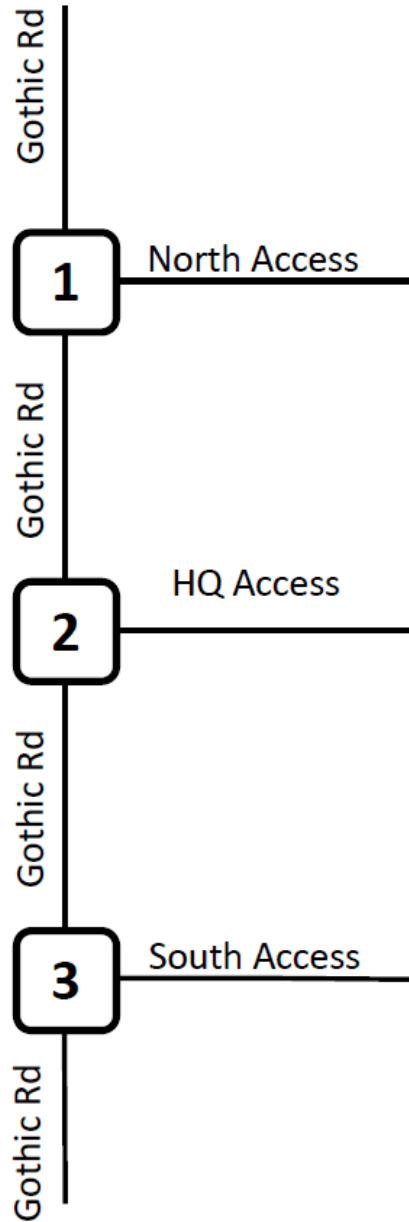
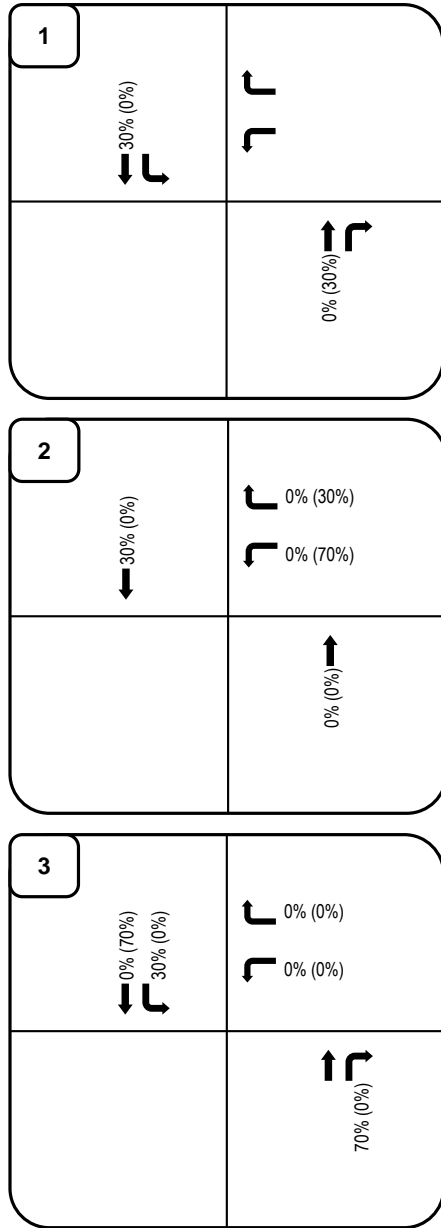
Project Number

M1541

Prepared By

EP

Figure 8: Project Generated Traffic Distribution (HQ Emergency Calls)



LEGEND:

Directional Distribution = Inbound% (Outbound %)

AM/PM/SAT Volumes = XX/XX/XX VPH (in PCEs)

Turning Movements

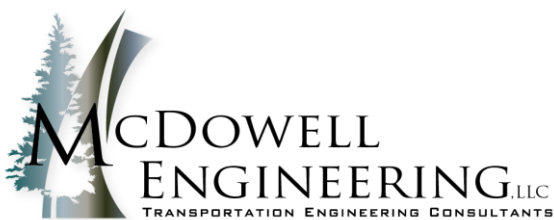
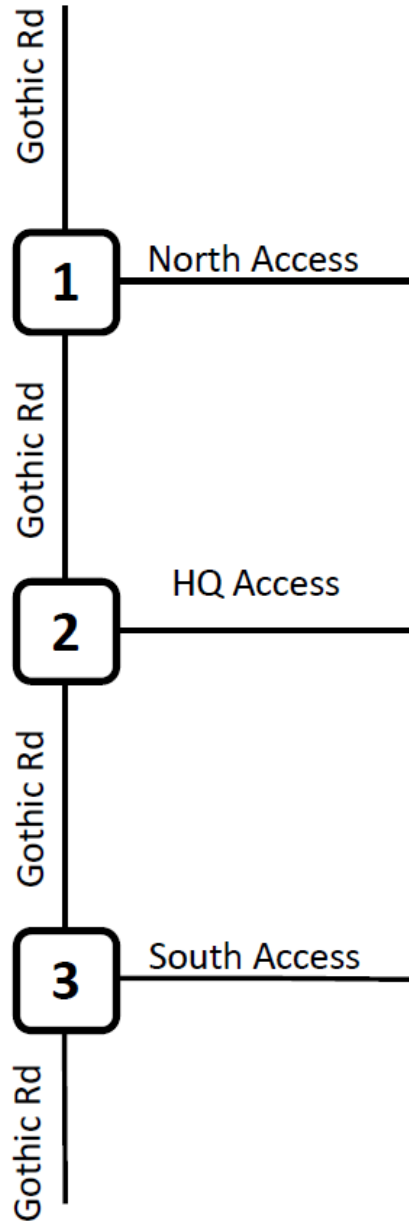
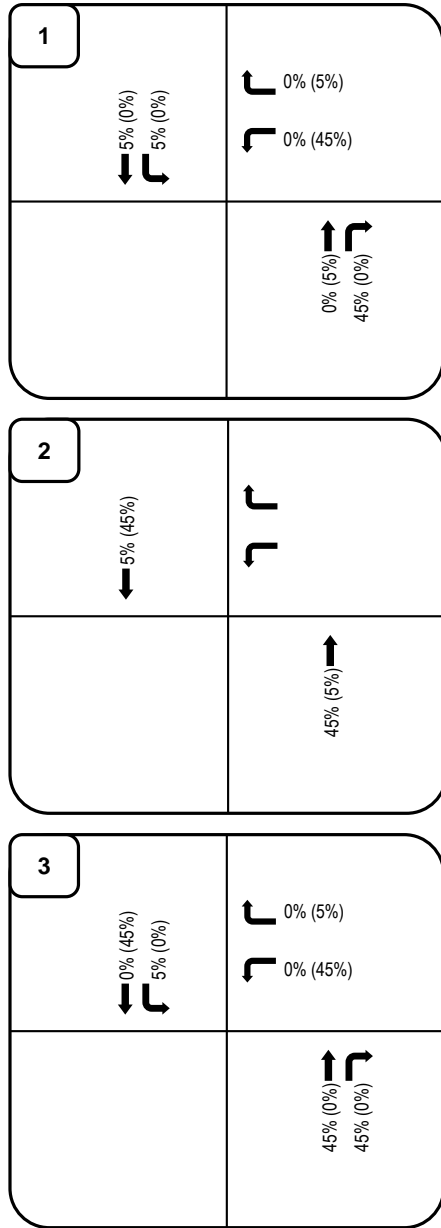
Project Number

M1541

Prepared By

EP

Figure 9: Project Generated Traffic Distribution (Employee Parking)



LEGEND:

Directional Distribution = Inbound% (Outbound %)

AM/PM/SAT Volumes = XX/XX/XX VPH (in PCEs)

Turning Movements

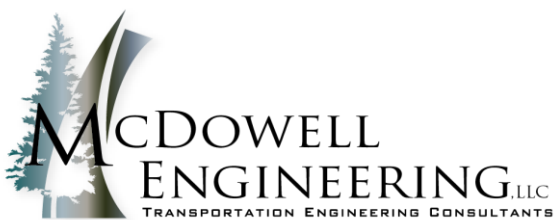
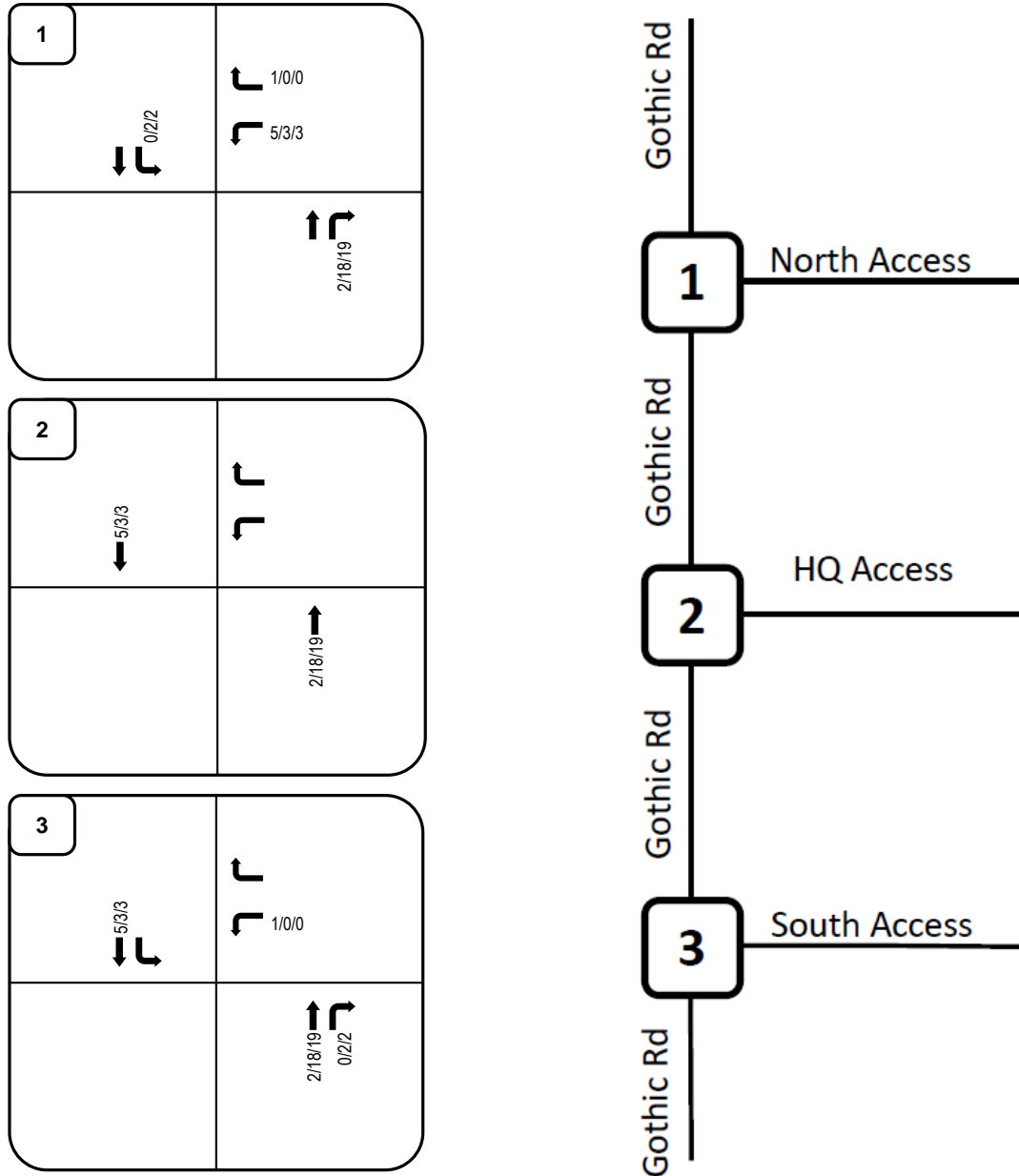
Project Number

M1541

Prepared By

EP

Figure 10: Project Generated Traffic Assignment (Visitors & Deliveries/Pickups)



LEGEND:

Directional Distribution = Inbound% (Outbound %)

AM/PM/SAT Volumes = XX/XX/XX VPH (in PCEs)

Turning Movements

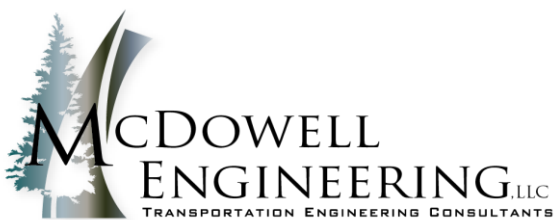
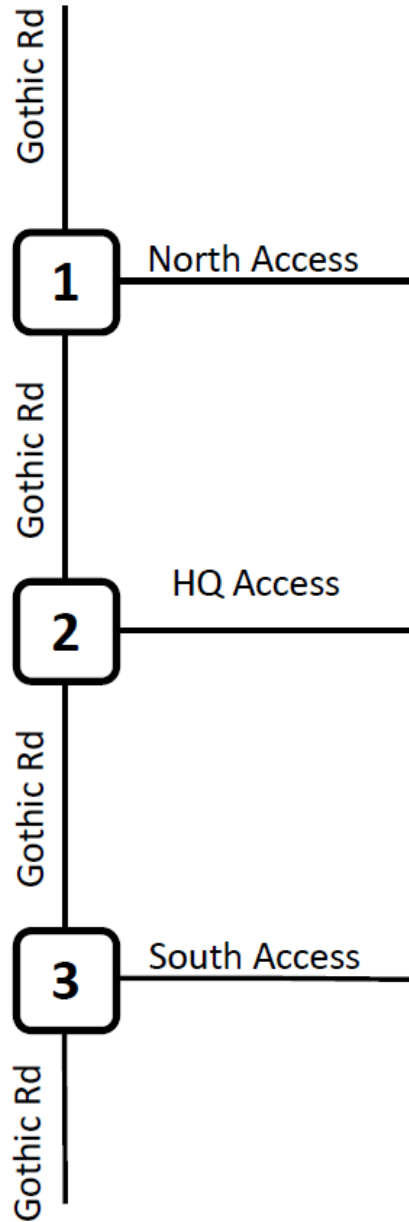
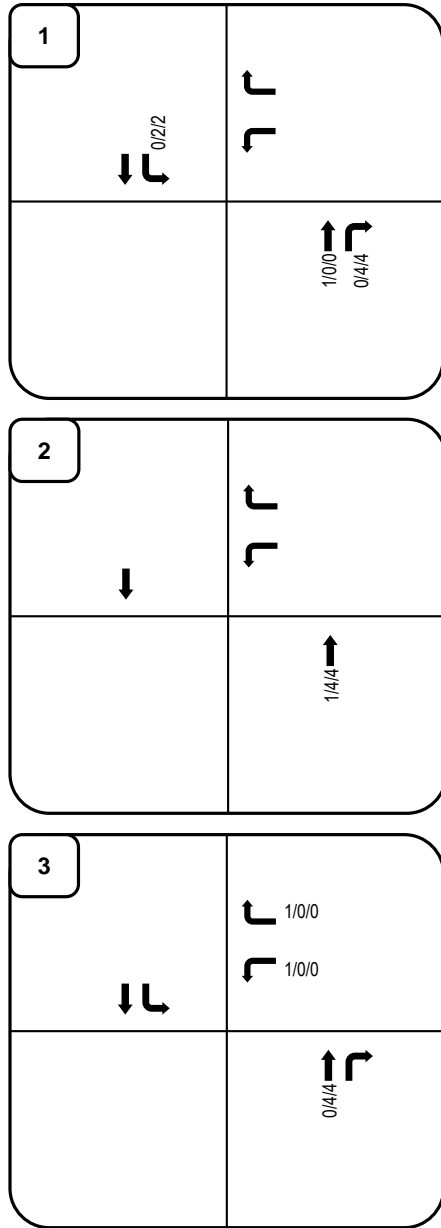
Project Number

M1541

Prepared By

EP

Figure 11: Project Generated Traffic Assignment (SAR Calls)



LEGEND:

Directional Distribution = Inbound% (Outbound %)

AM/PM/SAT Volumes = XX/XX/XX VPH (in PCEs)

Turning Movements

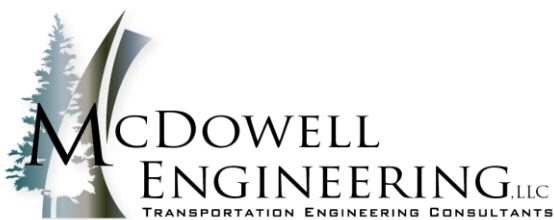
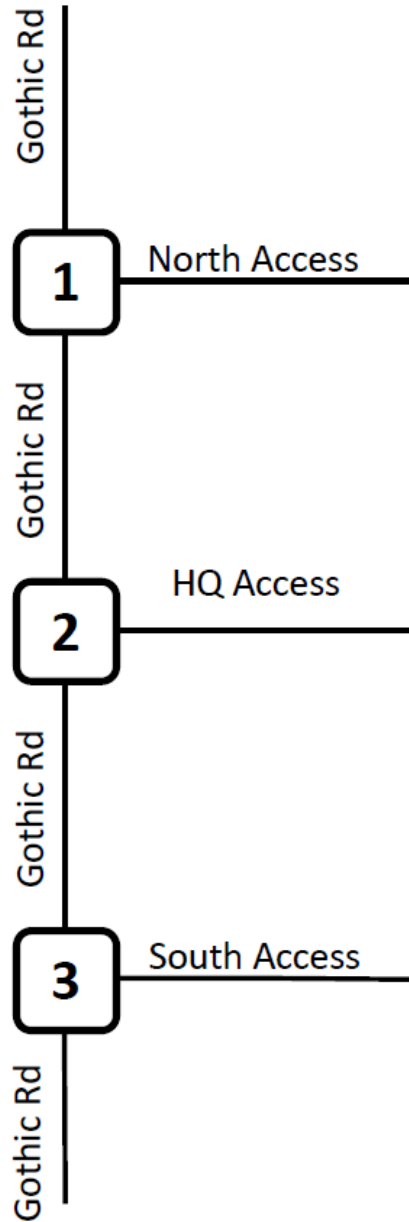
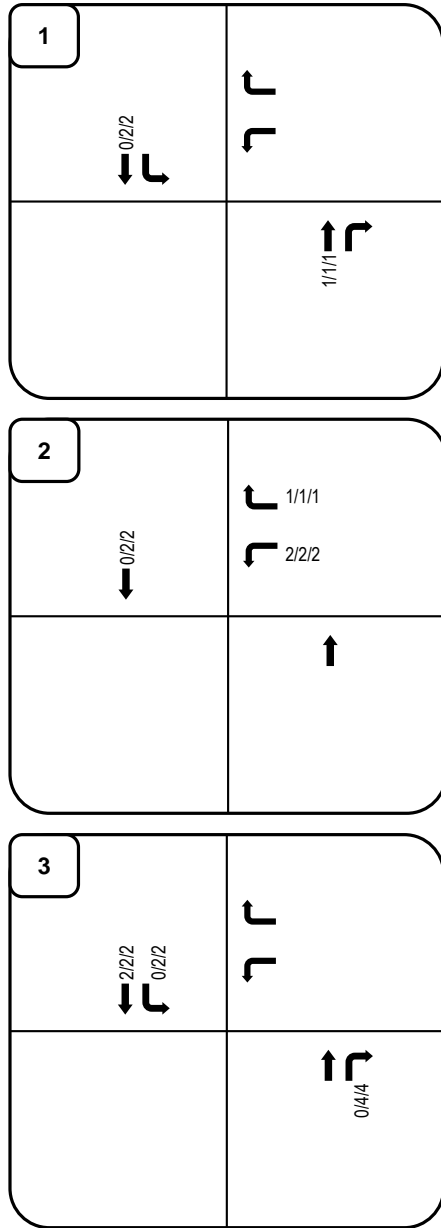
Project Number

M1541

Prepared By

EP

Figure 12: Project Generated Traffic Assignment (HQ Emergency Calls)



LEGEND:

Directional Distribution = Inbound% (Outbound %)

AM/PM/SAT Volumes = XX/XX/XX VPH (in PCEs)

Turning Movements

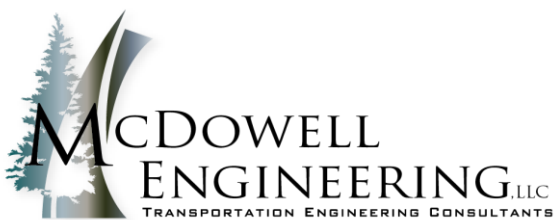
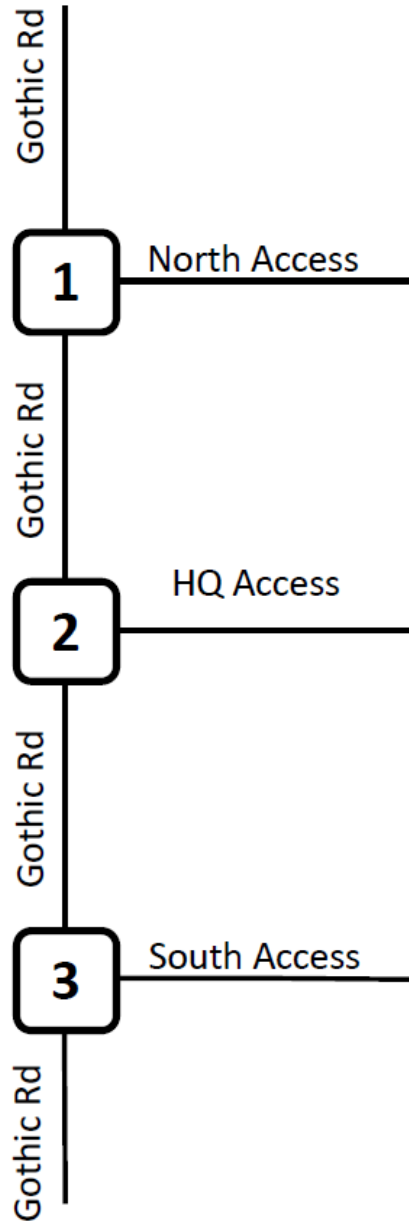
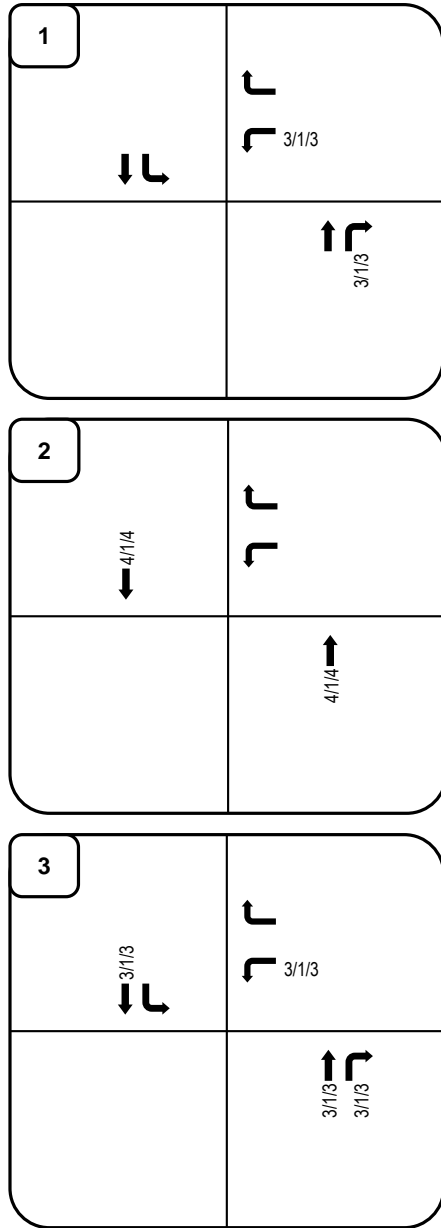
Project Number

M1541

Prepared By

EP

Figure 13: Project Generated Traffic Assignment (Employee Parking)



LEGEND:

Directional Distribution = Inbound% (Outbound %)

AM/PM/SAT Volumes = XX/XX/XX VPH (in PCEs)

Turning Movements

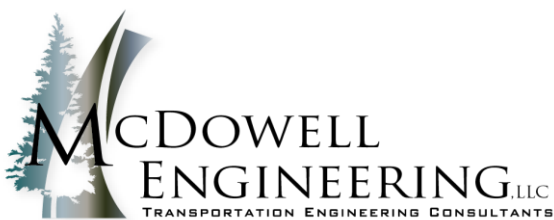
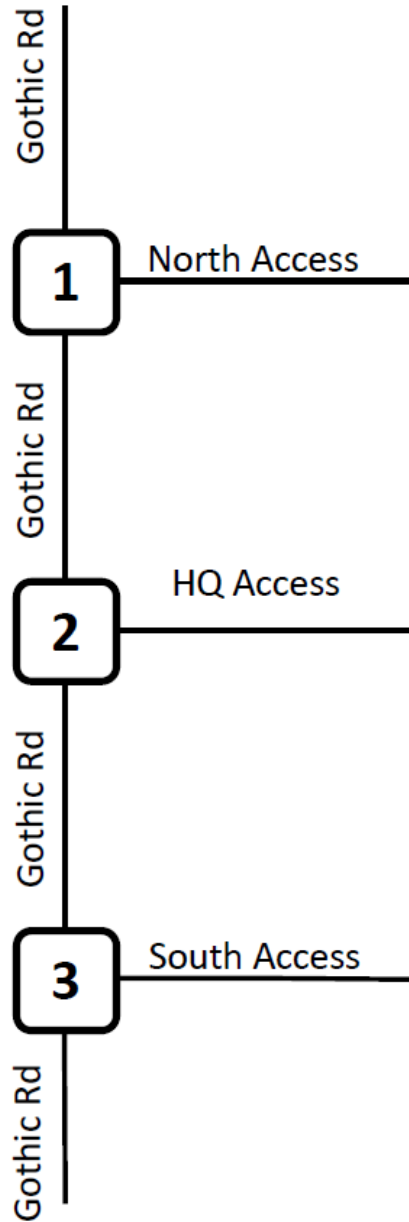
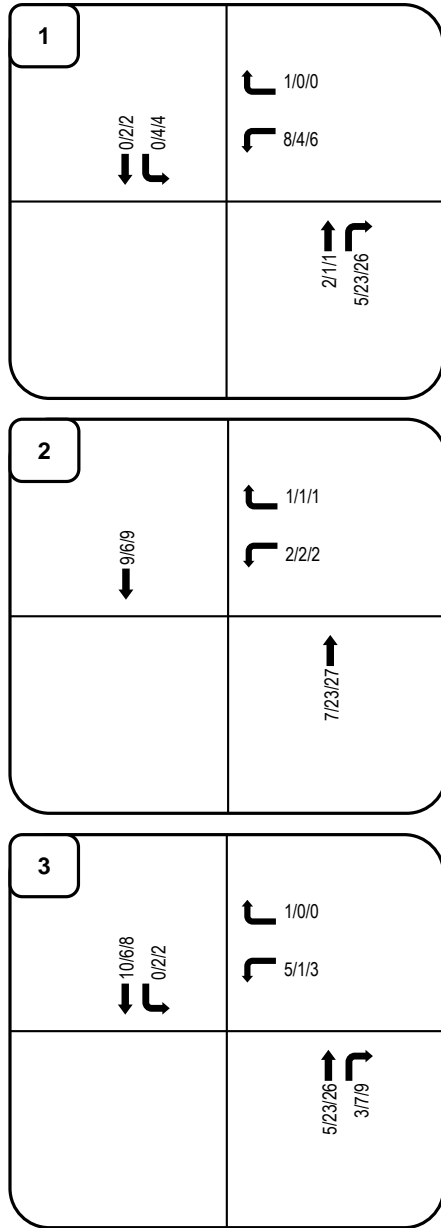
Project Number

M1541

Prepared By

EP

Figure 14: Project Generated Traffic Assignment (Total)



LEGEND:

Directional Distribution = Inbound% (Outbound %)

AM/PM/SAT Volumes = XX/XX/XX VPH (in PCEs)

Turning Movements

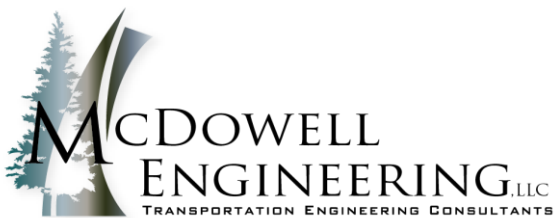
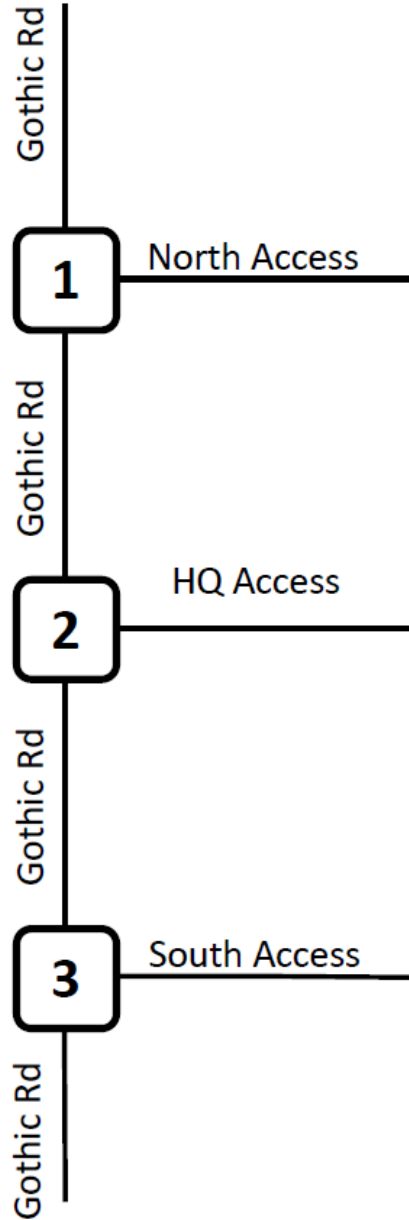
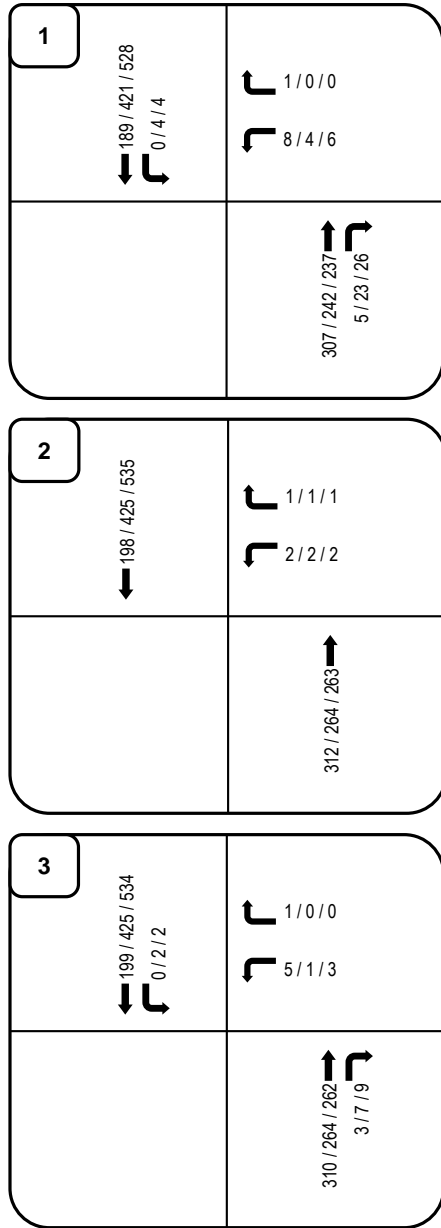
Project Number

M1541

Prepared By

EP

Figure 15: Year 2024 Total Traffic



LEGEND:

Directional Distribution = Inbound% (Outbound %)

AM/PM/SAT Volumes = XX/XX/XX VPH (in PCEs)

Turning Movements

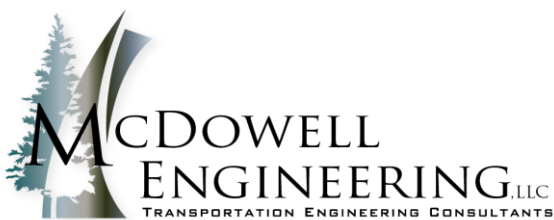
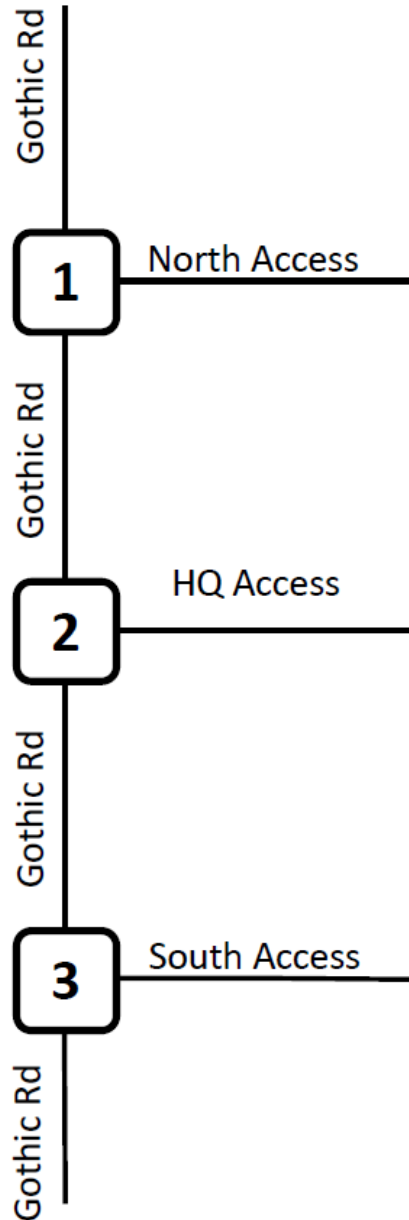
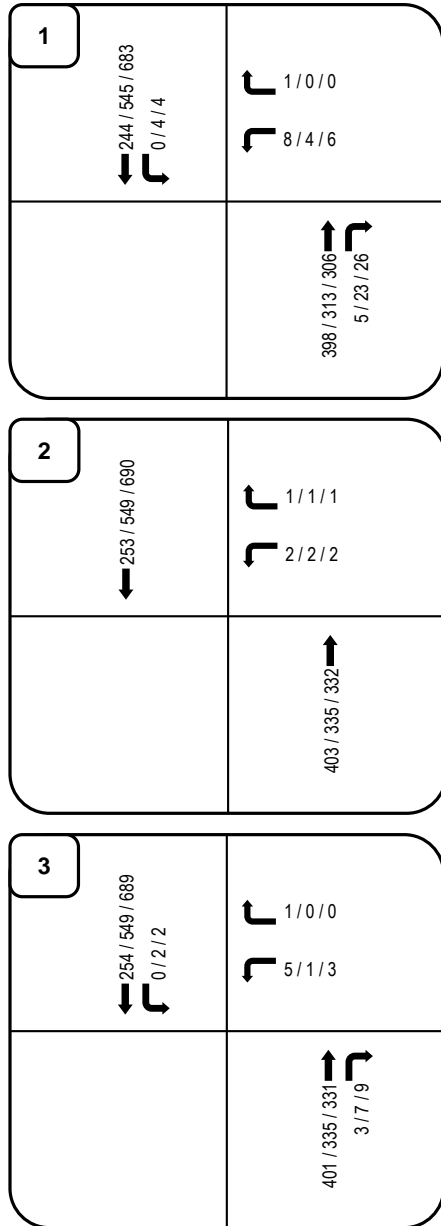
Project Number

M1541

Prepared By

EP

Figure 16: Year 2045 Total Traffic



LEGEND:

Directional Distribution = Inbound% (Outbound %)

AM/PM/SAT Volumes = XX/XX/XX VPH (in PCEs)

Turning Movements

Project Number

M1541

Prepared By

EP

5.0 Transportation Impact Analysis

5.1 Site Design, Traffic Circulation, and Queue Evaluation

Based upon review of CBFPD’s new emergency service campus latest site plan, it is anticipated to have adequate internal street connectivity to accommodate the site traffic.

5.2 Multimodal Improvements

The CBFPD Emergency Service Campus shall construct sidewalk facilities adjacent to all constructed streets. Connectivity shall be incorporated to adjacent undeveloped properties.

5.3 Auxiliary Turn Lanes

The need for both auxiliary turn lanes was assessed per the *State of Colorado State Highway Access Code*⁷ (*Access code*) standards. Gunnison County does not have any auxiliary turn lane warrants within their codes. Therefore, turn lane warrants provided here are for reference only. Refer to **Table 7** below for the auxiliary turn lane recommendations and details.

Table 7: Auxiliary Turn Lane Recommendations

#	Int.	Mvmt	Accel or Decel	Posted Speed Limit (MPH)	Road Classification	SHAC Trigger Volume (VPH)	Year 2023 Existing			Year 2024 BG			Year 2045 BG			Year 2024 Total			Year 2045 Total			Existing Turn Lane	Access Code Required Turn Lane	Trigger Year & Condition			
							AM	PM	SAT	AM	PM	SAT	AM	PM	SAT	AM	PM	SAT	AM	PM	SAT				AM	PM	SAT
1	Gothic Road & North Access	WBL	Decel	20	NR-B	> 25	0	0	0	0	0	0	0	0	0	0	0	8	4	6	8	4	6	None	Not Warranted	Not Triggered	
		WBR	Decel	20	NR-B	> 50	0	0	0	0	0	0	0	0	0	0	0	0	1	0	0	1	0	0	None	Not Warranted	Not Triggered
		NBR	Decel	35	NR-B	> 50	0	0	0	0	0	0	0	0	0	0	0	0	5	23	26	5	23	26	None	Not Warranted	Not Triggered
		SBL	Decel	35	NR-B	> 25	0	0	0	0	0	0	0	0	0	0	0	0	0	4	4	0	4	4	None	Not Warranted	Not Triggered
2	Gothic Road & HQ Access	WBL	Decel	20	NR-B	> 25	0	0	0	0	0	0	0	0	0	0	0	2	2	2	2	2	2	None	Not Warranted	Not Triggered	
		WBR	Decel	20	NR-B	> 50	0	0	0	0	0	0	0	0	0	0	0	0	1	1	1	1	1	1	None	Not Warranted	Not Triggered
2	Gothic Road & South Access	WBL	Decel	20	NR-B	> 25	0	0	0	0	0	0	0	0	0	0	0	5	1	3	5	1	3	None	Not Warranted	Not Triggered	
		WBR	Decel	20	NR-B	> 50	0	0	0	0	0	0	0	0	0	0	0	0	1	0	0	1	0	0	None	Not Warranted	Not Triggered
		NBR	Decel	35	NR-B	> 50	0	0	0	0	0	0	0	0	0	0	0	0	3	7	9	3	7	9	None	Not Warranted	Not Triggered
		SBL	Decel	35	NR-B	> 25	0	0	0	0	0	0	0	0	0	0	0	0	0	2	2	0	2	2	None	Not Warranted	Not Triggered

⁷Based upon State Highway Access Code requirements for an R-A roadway with posted speed of 45mph.

Triggered by State Highway Access Code Volumes

Triggered by State Highway Access Code Safety and Operations

Gothic Road & North Access: There are no auxiliary turn lanes that are warranted through long-term Year 2045 total traffic volumes.

Gothic Road & HQ Access: There are no auxiliary turn lanes that are warranted through long-term Year 2045 total traffic volumes.

Gothic Road & South Access: There are no auxiliary turn lanes that are warranted through long-term Year 2045 total traffic volumes.

⁷ State of Colorado State Highway Access Code, 2002.

5.4 Total Traffic Levels of Service

An HCM analysis under total traffic conditions was performed for the proposed site access under both short-term Year 2024 and long-term Year 2045 traffic conditions. The results can be seen in **Table 8**.

Table 8: Total Traffic Level of Service

#	Int.	Traffic Control	Approach	Year 2024 Total Level of Service (Delay in Seconds)			Year 2045 Total Level of Service (Delay in Seconds)		
				AM	PM	SAT	AM	PM	SAT
1	Gothic Road & North	WB Stop	WB	B (12.1)	B (14.6)	C (16.2)	B (13.8)	C (17.8)	C (20.8)
			NB	A (0.0)	A (0.0)	A (0.0)	A (0.0)	A (0.0)	A (0.0)
			SB	A (0.0)	A (0.1)	A (0.1)	A (0.0)	A (0.1)	A (0.0)
2	Gothic Road & HQ	WB Stop	WB	B (11.6)	B (13.0)	B (14.1)	B (13.0)	C (15.6)	C (17.3)
			NB	A (0.0)	A (0.0)	A (0.0)	A (0.0)	A (0.0)	A (0.0)
			SB	A (0.0)	A (0.0)	A (0.0)	A (0.0)	A (0.0)	A (0.0)
3	Gothic Road & South	WB Stop	WB	B (12.0)	B (14.7)	C (16.4)	B (13.6)	C (17.0)	C (21.0)
			NB	A (0.0)	A (0.0)	A (0.0)	A (0.0)	A (0.0)	A (0.0)
			SB	A (0.0)	A (0.0)	A (0.0)	A (0.0)	A (0.0)	A (0.0)

As can be seen in **Table 8**, all three intersections are anticipated to operate at acceptable overall intersections Levels of Service through the long-term planning horizon Year 2045.

CR 317/Gothic Road & North Access: This intersection is anticipated to operate at an acceptable LOS A on the north and south legs through Year 2045 total traffic conditions. The west leg is anticipated to operate at a LOS C or better through Year 2045 total traffic conditions. The west leg has a LOS C due to traffic on the west leg having to wait for a gap to open so they can merge onto Gothic Road. This causes a delay leading to a LOS C.

CR 317/Gothic Road & HQ Access: This intersection is anticipated to operate at an acceptable LOS A on all three legs through Year 2045 total traffic conditions. The west leg is anticipated to operate at a LOS C or better through Year 2045 total traffic conditions. The west leg has a LOS C due to traffic on the west leg having to wait for a gap to open so they can merge onto Gothic Road. This causes a delay leading to a LOS C.

CR 317/Gothic Road & South Access: This intersection is anticipated to operate at an acceptable LOS A on all three legs through Year 2045 total traffic conditions. The west leg is anticipated to operate at a LOS C or better through Year 2045 total traffic conditions. The west leg has a LOS C due to traffic on the west leg having to wait for a gap to open so they can merge onto Gothic Road. This causes a delay leading to a LOS C.

5.5 Site Access Entering Sight Distance

Per *Gunnison County Standards and Specifications for New Construction of Roads and Bridges*, Section 4.3.1(B), for a design speed of 35mph, 250' of stopping sight distance is required.

Required Stopping Sight Distance: The current sight distance along Gothic Road at all of the site accesses exceeds 250' per Section 4.3.1(B) for a posted speed of 35 mph.

5.6 Vehicular Traffic Warning Signs and Beacons

Vehicular Traffic Warning Signs (W11-8) may be installed on Gothic Road in both directions in anticipation of the fire station per the MUTCD, Section 2C.49. The sign may also have optional Intersection Control Beacons (MUTCD 4L.02) installed that may be actuated by emergency vehicles looking to enter or egress the facility.

Figure 17: Vehicular Traffic Warning Sign

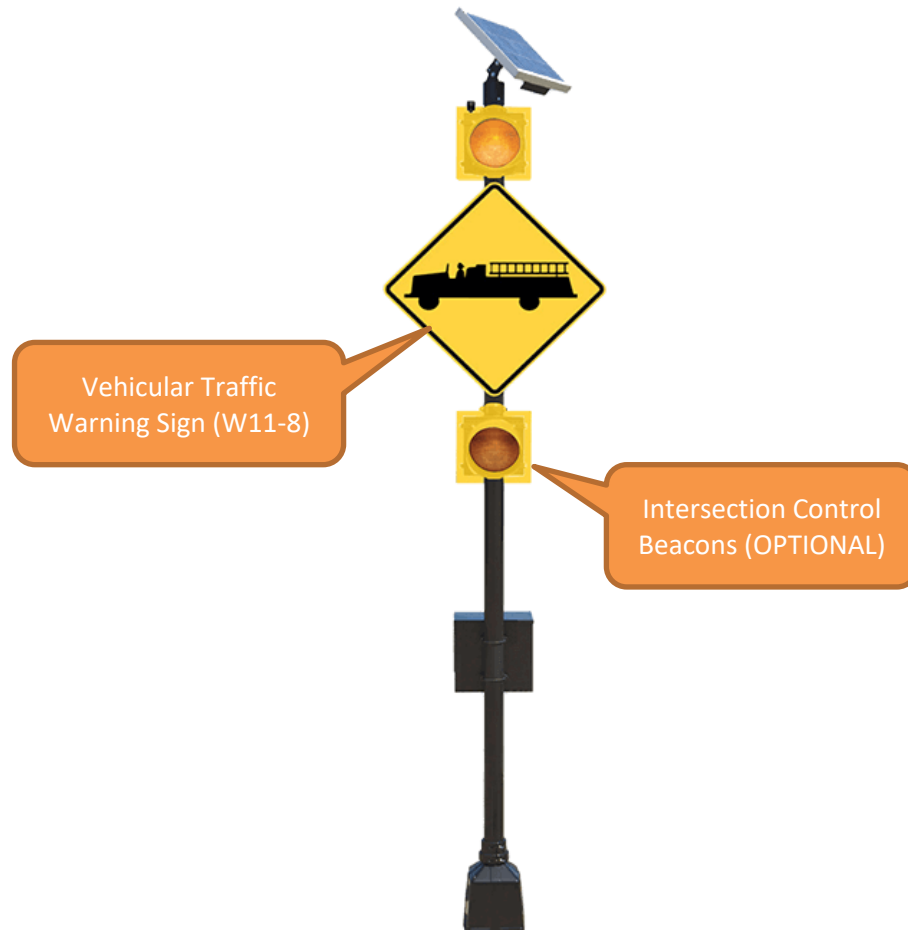


Figure 17 shows a sample Vehicular Traffic Warning Sign with an optional Intersection Control Beacon. The installation and location of the signs should be in conformance with the MUTCD. Additionally, although not required at this time, consideration should be given to providing a source of power and communications if beacons or

control systems are desired to be added at a later date. Remote installations can be operated by battery power with solar recharge and wireless communications technology, however, permanently wired configurations have been observed to have better resiliency especially in the high alpine climates of Gunnison County.

5.7 State Highway Access Permit

No state highway access permit is required due to the proposed project not having any direct accesses a state highway.

6.0 Recommendations and Conclusions

The Crested Butte Fire Protection District (CBFPD) is proposing to develop a new emergency service campus. This includes a new search and rescue (SAR) building, training facility, and a new headquarters building. The development is located directly northeast of the CR 317/Gothic Road & Pyramid Avenue intersection.

Trip Generation: The project is anticipated to generate a total of 164 trips over the course of an average weekday. This includes 85 inbound and 82 outbound over the course of an average weekday. This includes 11 inbound and 7 outbound trips during the morning peak hour. The evening peak hour is expected to generate 23 inbound and 4 outbound trips.

Site Accesses: The project is proposing three accesses located on the west side of the lot. The three access are located along CR 317/Gothic Rd. The three accesses will be paved and have direct connectivity to CR 317/Gothic Rd and Pyramid Ave. The internal traffic is two-way in the north and south access and one-way in the headquarters (HQ) access. The proposed site plan with the proposed accesses is shown in **Figure 2**.

Intersection Analysis: This report does not study any additional off-site intersections.

1. CR 317/Gothic Road & North Access: This intersection is anticipated to operate at an acceptable LOS A on the north and south legs through Year 2045 total traffic conditions. The west leg is anticipated to operate at a LOS C or better through Year 2045 total traffic conditions. The west leg has a LOS C due to traffic on the west leg having to wait for a gap to open so they can merge onto Gothic Road. This causes a delay leading to a LOS C.
2. CR 317/Gothic Road & HQ Access: This intersection is anticipated to operate at an acceptable LOS A on all three legs through Year 2045 total traffic conditions. The west leg is anticipated to operate at a LOS C or better through Year 2045 total traffic conditions. The west leg has a LOS C due to traffic on the west leg having to wait for a gap to open so they can merge onto Gothic Road. This causes a delay leading to a LOS C.
3. CR 317/Gothic Road & South Access: This intersection is anticipated to operate at an acceptable LOS A on all three legs through Year 2045 total traffic conditions. The west leg is anticipated to operate at a LOS C or better through Year 2045 total traffic conditions. The west leg has a LOS C due to traffic on the west leg having to wait for a gap to open so they can merge onto Gothic Road. This causes a delay leading to a LOS C

Multimodal Improvements: The proposed development should construct sidewalk facilities adjacent to all constructed streets.

Auxiliary Turn Lanes: Auxiliary turn lane requirements are detailed in **Table 7**.

Gothic Road & North Access: There are no auxiliary turn lanes that are warranted through long-term Year 2045 total traffic volumes.

Gothic Road & HQ Access: There are no auxiliary turn lanes that are warranted through long-term Year 2045 total traffic volumes.

Gothic Road & South Access: There are no auxiliary turn lanes that are warranted through long-term Year 2045 total traffic volumes.

State Highway Access Permit: A State Highway Access Permit is not required due to the proposed project not having any direct access to a state highway.

Vehicular Traffic Warning Signs and Beacons: A Vehicular Traffic Warning Sign (W11-8) may be installed on Gothic Road in both directions. Additionally optional Intersection Control Beacons (MUTCD 4L.02) may also be installed.

In summary, the proposed Crested Butte Fire Protection District is anticipated to be fully served by the surrounding transportation infrastructure, with the above recommended infrastructure improvements.

7.0 Appendix

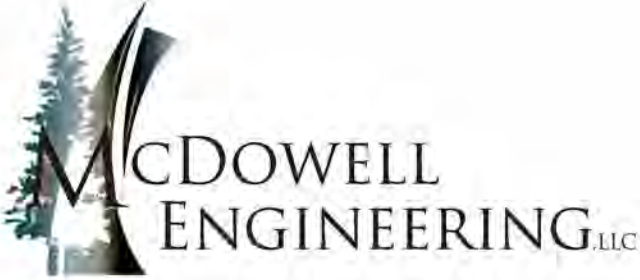
Reference Documents

1. Gunnison Standards and Specifications for New Construction of Roads and Bridges. Gunnison County, 2008.
2. Crested Butte Area Planning. Crested Butte Planning Commission, July 2011.
3. *Online Transportation Information System, Colorado Department of Transportation, 2022.*
<https://dtdapps.coloradodot.info/otis>.
4. *Highway Capacity Manual, 6th Edition. Transportation Research Board, 2016.*
5. *Trip Generation Handbook, An ITE Recommended Practice. Institute of Transportation Engineers, 2001.*
6. *Trip Generation Manual, 11th Edition of Transportation Engineers, 2021.*
7. *State of Colorado State Highway Access Code, 2002.*

Included Documents

1. Traffic Impact Study Scoping Form
2. CDOT OTIS Data
3. Traffic Counts
4. Synchro Reports

Traffic Study Scoping Form



Contact Information	
Consultant Name:	McDowell Engineering, Greg Schroeder
Tele:	(970) 948-1376
E-mail:	greg@mcdowelleng.com
Developer/Owner Name:	Crested Butte Fire Protection District (CBFPD)

Project Information <i>(Attach proposed Site Plan)</i>					
Project Name:	Crested Butte Fire Protection District Campus				
Project Location:	The project is located on the northeast corner of Pyramid Avenue & Gothic Road				
Project Description: Application type (rezoning, subdivision), acreage, new or re-development, etc.	CBFPD intends to develop a new emergency services campus. The new campus will include the headquarters/training/fire house, employee housing, and search & rescue facility.				
Existing / Proposed Land Uses	ITE Code	#units or Size	Existing / Proposed Land Uses	ITE Code	#units or Size
Employee Housing	NA		Training Facility	NA	
Headquarters Building	NA		Search and Rescue Facility	NA	
<i>Please attach Trip Generation Summary table for large or mixed use projects</i>					

Assumptions			
Study Horizons	Current Year: <u>2022</u>	Build-out : <u>2023</u>	Long Term : <u>2043</u>
Study Area Boundaries <i>(Attach map if needed)</i>	North: Gothic Road		South: Gothic Road
	East: Pyramid Ave		West: None
Intersections and Road Segments to be Evaluated <i>(Attach map if needed)</i>	1. All Site entrances		5. Employee Housing & Pyramid Ave
	2. Pyramid Avenue & Gothic Road		6.
	3. HQ/Training Facility & Gothic Road		7.
	4. SAR & Gothic Road		8.
Trip Distribution	<i>See Attached Sketch</i>		

Assumptions (continued)			
Trip Reductions <i>(include in Trip Generation table if provided)</i>	Internal Capture	Use: Residential 40 ⁰ % Use: NA _____ %	Pass By Use: NA _____ % Use: NA _____ %
Anticipated Future Traffic Growth Rates <i>(Describe methodology)</i>	Traffic growth rate = 1.24% based on CDOT Otis, Colorado State Demography Office & other articles	Study Time Periods <i>(circle all that apply)</i>	AM (7-9) PM (4-6) SAT (noon) Other
Other Factors proposed/assumed transp. improvements, other studies, nearby proposed developments, etc.	Employee housing distributions were assumed due to employees commuting to work (internal trip reductions). The people per scheduled meetings, training sessions, and EMT classes were assumed per CBFP. The number and type of vehicles were assumed per CBFP. See trip generation attached for further assumption descriptions. Assumes 2 of the 5 full time employees commute to work.		
Analysis Methods & Issues <i>(check all that apply)</i>	<input checked="" type="checkbox"/> Synchro <input type="checkbox"/> HCS <input type="checkbox"/> aaSidra or Rodel <input type="checkbox"/> Intersections <input type="checkbox"/> Roadway Sections <input type="checkbox"/> Signal Warrants <input type="checkbox"/> Safety/Sight Distance <input checked="" type="checkbox"/> Queuing & Storage <input type="checkbox"/> CDOT (Access Permit, other) <input type="checkbox"/> Identify Bicycle, Pedestrian & Transit Accommodations <input type="checkbox"/> TDM <input type="checkbox"/> Neighborhood Impacts <input type="checkbox"/> Other _____		

ATTACHMENTS, NOTES, & other ASSUMPTIONS:

There are 4 separate customized trip generation calculations directional distributions attached. There are also 4 separate directional distributions attached. Each distribution shows both the inbound and outbound percentages of each customized trip generation. The SAR access (Int. #2) will be egress only.

SIGNED: 
Applicant or Consultant

PRINT NAME: Greg Schroeder
Applicant or Consultant

DATE: 03/30/2022

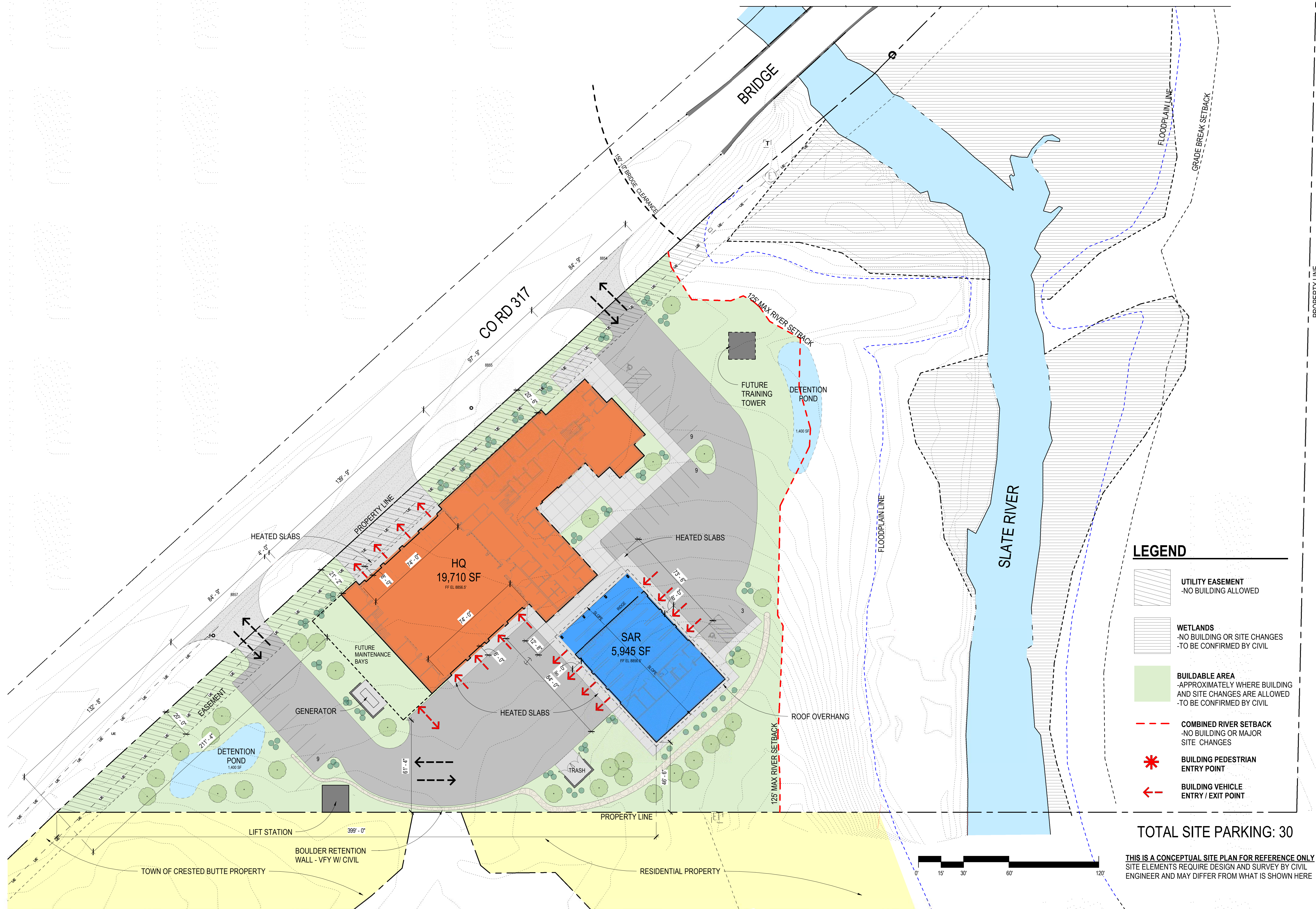
REVIEW AGENCY: _____

DEPARTMENT: _____

SIGNED: _____

PRINT NAME: _____

DATE: _____



LEGEND

- UTILITY EASEMENT
-NO BUILDING ALLOWED
- WETLANDS
-NO BUILDING OR SITE CHANGES
-TO BE CONFIRMED BY CIVIL
- BUILDABLE AREA
-APPROXIMATELY WHERE BUILDING
AND SITE CHANGES ARE ALLOWED
-TO BE CONFIRMED BY CIVIL
- COMBINED RIVER SETBACK
-NO BUILDING OR MAJOR
SITE CHANGES
- BUILDING PEDESTRIAN
ENTRY POINT
- BUILDING VEHICLE
ENTRY / EXIT POINT

TOTAL SITE PARKING: 30

THIS IS A CONCEPTUAL SITE PLAN FOR REFERENCE ONLY
SITE ELEMENTS REQUIRE DESIGN AND SURVEY BY CIVIL
ENGINEER AND MAY DIFFER FROM WHAT IS SHOWN HERE

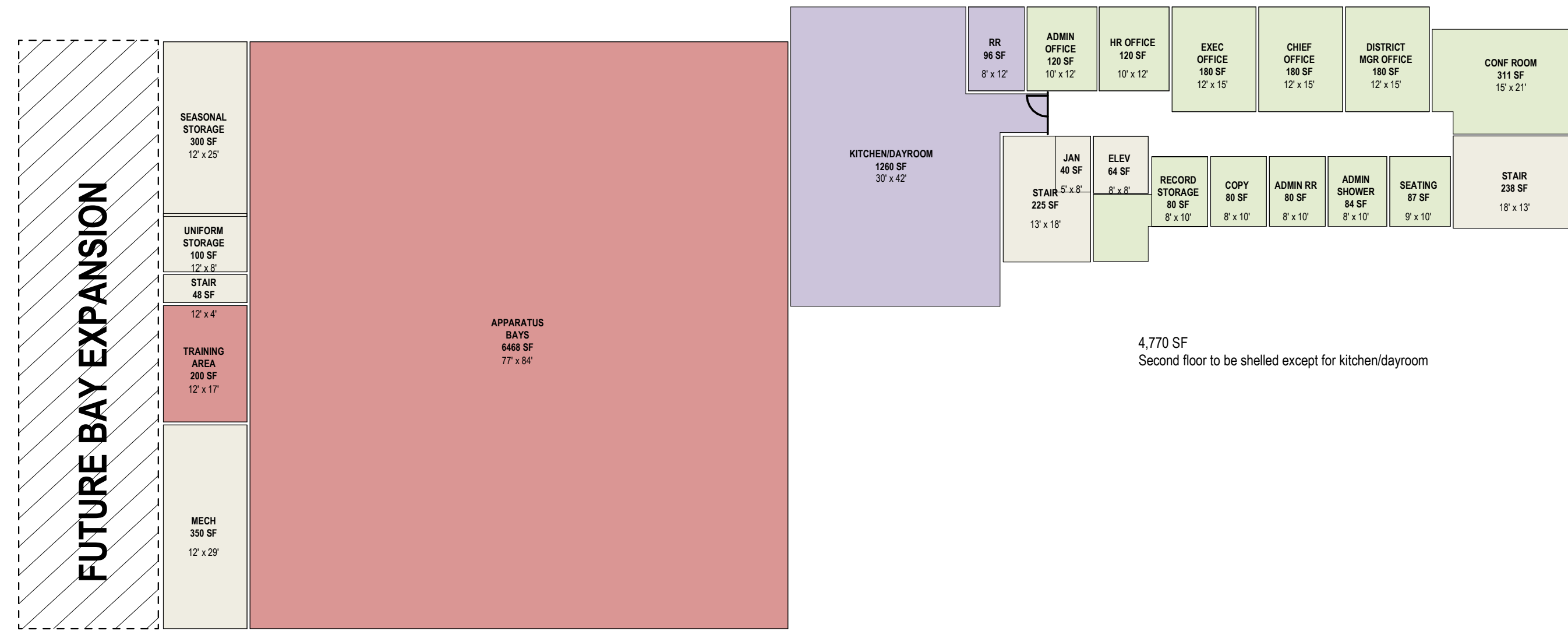
ARCHITECTURAL SITE PLAN

CRESTED BUTTE FIRE PROTECTION DISTRICT

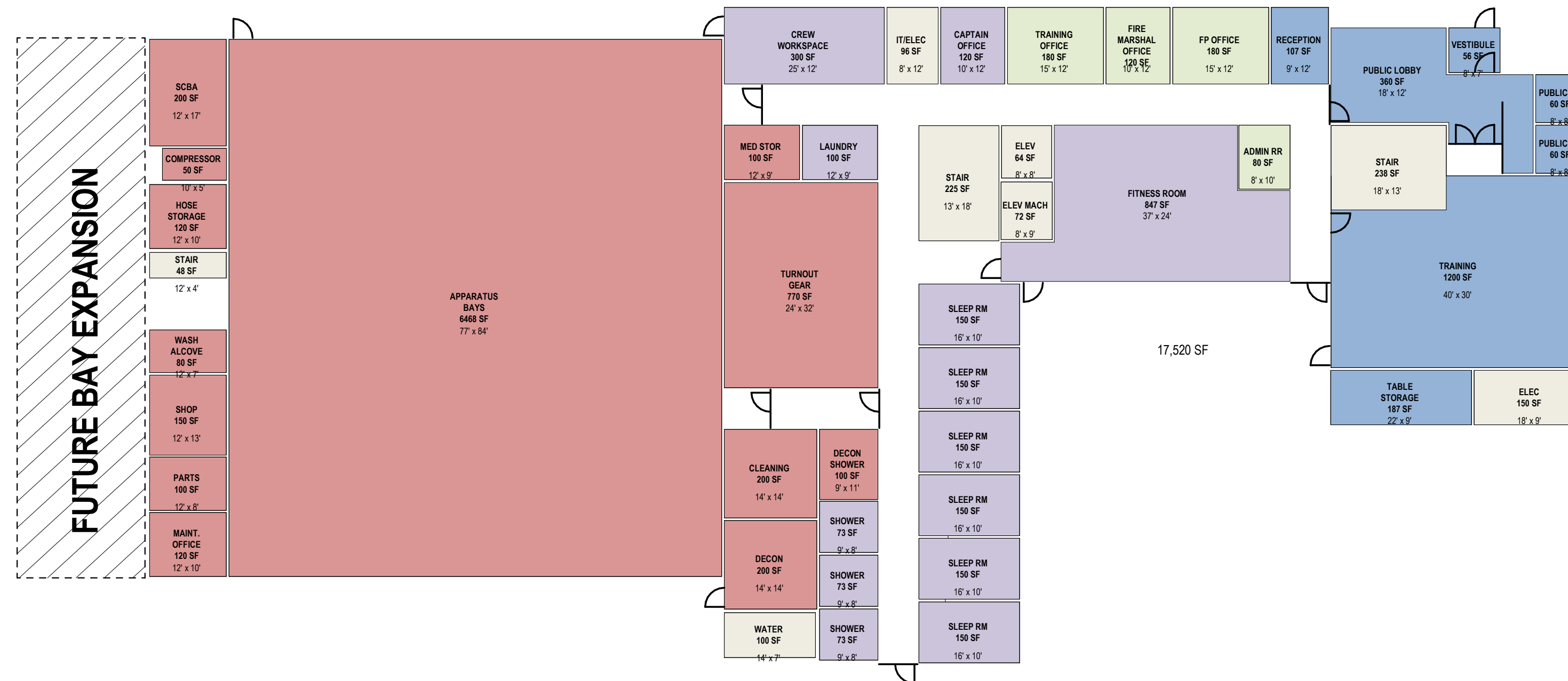
306 MAROON AVE., CRESTED BUTTE, CO 81224

1/25/2023





2 SECOND FLOOR PROGRAM DIAGRAM
AS1-2 1/16" = 1'-0"



1 FIRST FLOOR PROGRAM DIAGRAM
AS1-2 1/16" = 1'-0"

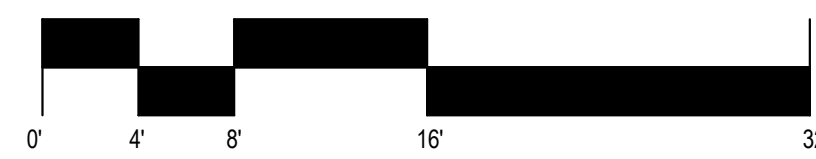
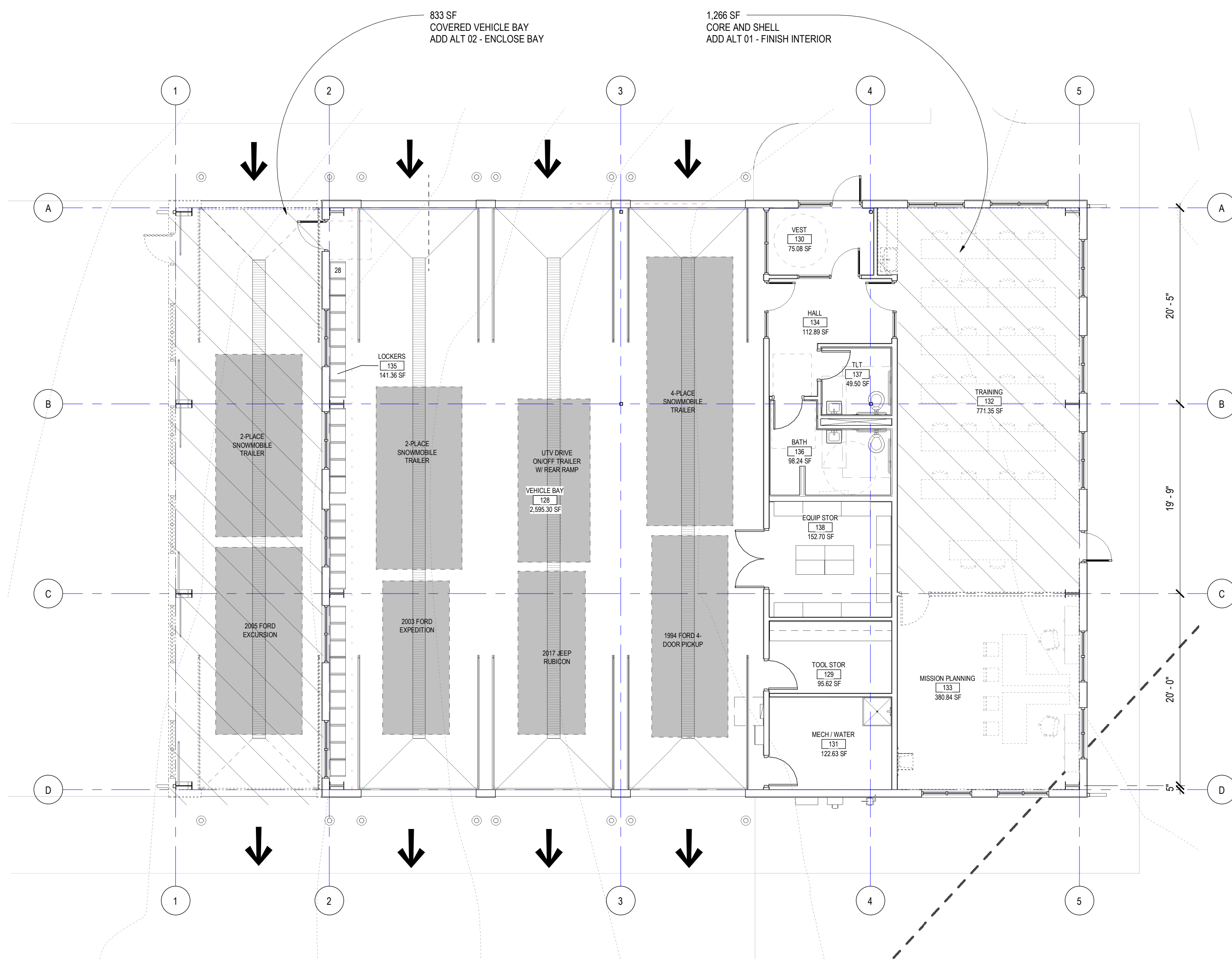
HQ Program Diagrams

CRESTED BUTTE FIRE PROTECTION DISTRICT

306 MAROON AVE., CRESTED BUTTE, CO 81224

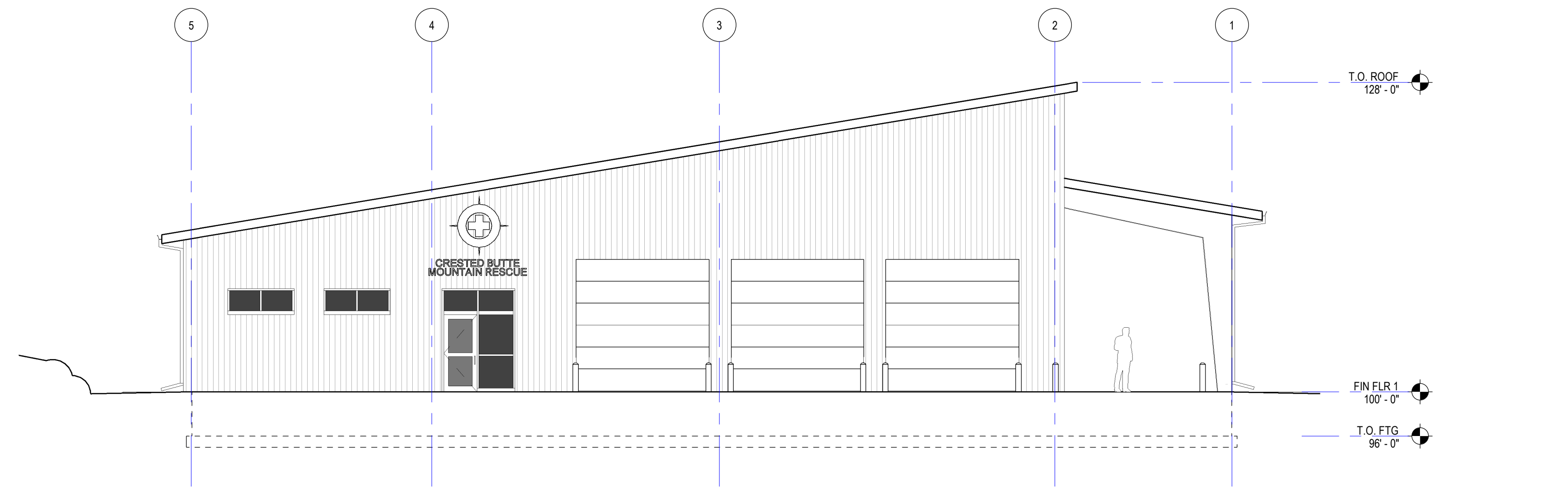
1/5/2023



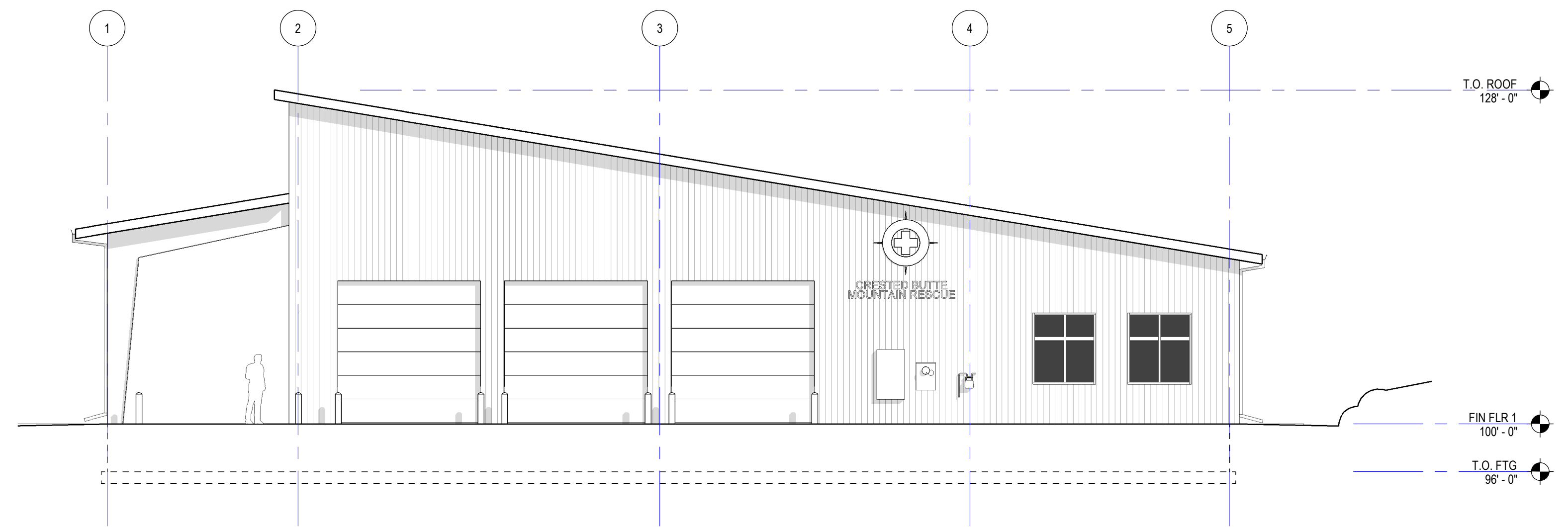


FLOOR PLAN
1/8" = 1'-0"

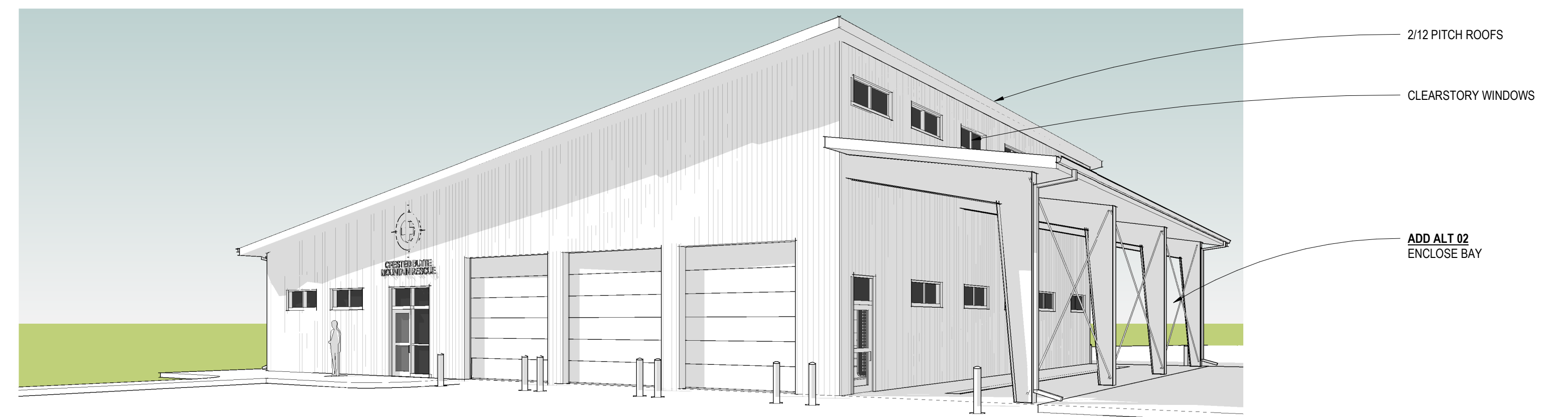
5,947 SF TOTAL BUILDING AREA ONE FLOOR



NORTH EAST ELEVATION
1/8" = 1'-0"



SOUTH WEST ELEVATION
1/8" = 1'-0"



SAR CONCEPTUAL DESIGN

CRESTED BUTE FIRE PROTECTION DISTRICT - SEARCH AND RESCUE

306 MAROON AVE., CRESTED BUTTE, CO 81224

1/9/2023

Expectations of Growth 2010-2040

Western Slope and Central Mountains

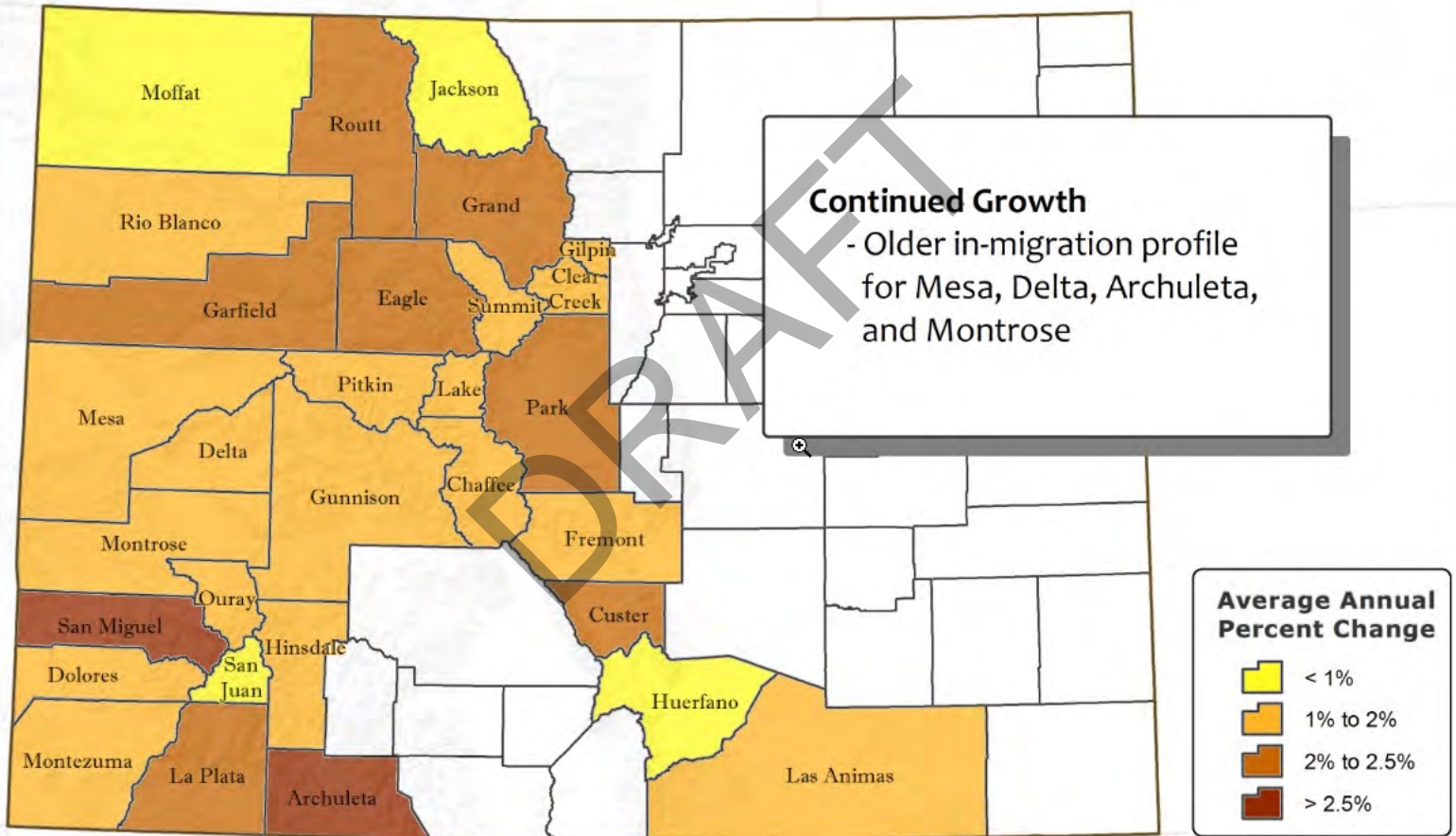


Table 3: Custom Trip Generation - Visitors & Deliveries

Visitors & Deliveries		Vehicles Total per day	Vehicle Trips Total per day	Passenger Car Equivalent (PCE) Factor ²	Trips per day (PCEs ¹)	Vehicle Trips per Hour (in PCEs ¹)														Notes										
		(vpd)	(vpd)		(vpd)	12am	1am	2am	3am	4am	5am	6am	7am	8am	9am	10am	11am	12pm	1pm	2pm	3pm	4pm	5pm	6pm	7pm	8pm	9pm	10pm	11pm	
C3	Head Quarters: Guests	10	20	1	20	inbound								2		2		2		2		2								10 guests per day
						outbound									2		2		2		2									
D1	Training Facility: Training Sessions	15	30	1	30	inbound																	15							Assuming a 3 hr training session (might be too high) and 15 people per training session
						outbound																				15				
D2	Training Facility: Scheduled Meetings	10	20	1	20	inbound								2		2		2		2		2								Assumed a couple meetings a day with approx 6 people per meeting. Assumed half of the people attending each meeting is already on site. The other half must commute.
						outbound									2		2		2		2		2							
D3	Training Facility: EMT classes	7	14	1	14	inbound																	7							EMT classes meet 2 nights a week. Assumed 7 students per class
						outbound																				7				
G	Deliveries	3	6	1	6	inbound								1				1				1								3 deliveries per day. Assume all deliveries for each building are dropped off at same access point (south parking lot on Pyramid Ave)
						outbound									1					1					1					
H	Trash/Waste Pickup Employee Housing	2	4	2	8	inbound								2					2											1 recycle truck and one garbage truck. Assume this same truck picks up the employee housing, SAR building, Head quarters, and training facility trash
						outbound								2					2											
Total (in PCEs)		47	94		98	inbound	0	0	0	0	0	0	0	4	3	4	0	4	1	6	0	4	23	0	0	0	0	0	0	
						outbound	0	0	0	0	0	0	0	0	6	1	4	0	4	3	4	0	4	1	0	15	7	0	0	
Visitors & Deliveries - Total peak hour trips (in PCEs)						0	0	0	0	0	0	0	0	4	9	5	4	4	5	9	4	4	27	1	0	15	7	0	0	

Table 4: Custom Trip Generation - Search and Rescue Calls

Search & Rescue calls

					12am	1am	2am	3am	4am	5am	6am	7am	8am	9am	10am	11am	12pm	1pm	2pm	3pm	4pm	5pm	6pm	7pm	8pm	9pm	10pm	11pm
B1	Search and Rescue - Light Duty Vehicles	2	4	1	4	inbound																						
						outbound																						
B2	Search and Rescue - Ambulance	1	2	1	2	inbound																						
						outbound																						
B3	Search and Rescue - Fire Trucks	1	2	3	6	inbound																						
						outbound																						

50 calls/year. 30% to the north & 70% to the south.
 50 calls/year. 30% to the north & 70% to the south.
 50 calls/year. 30% to the north & 70% to the south.

				(vpd)	(vpd)	(vpd)		12am	1am	2am	3am	4am	5am	6am	7am	8am	9am	10am	11am	12pm	1pm	2pm	3pm	4pm	5pm	6pm	7pm	8pm	9pm	10pm	11pm
Total (in PCEs)	4	8		12	Inbound	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
					Outbound	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	2	0	0	0	0	0	4	0

Search & Rescue calls - Total peak hour trips (in PCEs) 0 2 0 0 0 0 0 0 4 0 0 6 0 0 0

Table 5: Custom Trip Generation - HQ Emergency Calls

HQ Emergency Calls

					12am	1am	2am	3am	4am	5am	6am	7am	8am	9am	10am	11am	12pm	1pm	2pm	3pm	4pm	5pm	6pm	7pm	8pm	9pm	10pm	11pm	
C1	Head Quarters: Resident calls (Light Duty Vehicles)	8	16	1	16	inbound																						4 calls/day using 2 vehicles per call. 30% to the north & 70% to the south.	
						outbound															2		2		2		2		
C2	Head Quarters: Resident calls (Ambulances)	4	8	1	8	inbound														1		1		1		1			4 calls/day using 1 ambulance per call. 30% to the north & 70% to the south.
						outbound														1		1		1		1			
C6	Head Quarters: Resident calls (Firetrucks)	1	2	3	6	inbound																3							4 calls/day but fire trucks only get used on 20% of these calls. 30% to the north & 70% to the south.
						outbound																	3						
E	Deliveries HQ	0	0	1	0	inbound																						Assume deliveries for each building are dropped off at the same access point (South parking lot on Pytamid Ave)	
outbound																													
F	Trash/Waste Pickup HQ	0	0	2	0	inbound																						Assume trash/wast for each building is picked up at the same access point (South parking lot on Pytamid Ave)	
						outbound																							

		(vpd)	(vpd)		(vpd)	12am	1am	2am	3am	4am	5am	6am	7am	8am	9am	10am	11am	12pm	1pm	2pm	3pm	4pm	5pm	6pm	7pm	8pm	9pm	10pm	11pm		
Total (in PCEs)		13	26		30	Inbound	0	0	0	0	0	0	0	0	0	0	0	0	0	3	0	6	0	6	0	3	0	3	0	0	0
						Outbound	0	0	0	0	0	0	0	0	0	0	0	3	0	6	0	3	0	3	0	3	0	0	0	0	0

HQ Emergency Calls - Total peak hour trips (in PCEs)

0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	3	0	9	0	9	0	6	0	3	0	0	0
---	---	---	---	---	---	---	---	---	---	---	---	---	---	---	---	---	---	---	---	---	---	---	---	---	---	---	---	---	---

Table 6: Custom Trip Generation - Employee Parking & Total Sum

Employee Parking

						12am	1am	2am	3am	4am	5am	6am	7am	8am	9am	10am	11am	12pm	1pm	2pm	3pm	4pm	5pm	6pm	7pm	8pm	9pm	10pm	11pm	
C4	Head Quarters: Full time employee Commutes	5	10	1	10	inbound								5																Shift changes are every other day at 8 am for 5 people.
						outbound												5												
C5	Head Quarters: Part-time & volunteer employee Commutes	4	8	1	8	inbound								2										2						2 additional people coming and going at 8am an 6 pm
						outbound											2										2			

	(vpd)	(vpd)		(vpd)		12am	1am	2am	3am	4am	5am	6am	7am	8am	9am	10am	11am	12pm	1pm	2pm	3pm	4pm	5pm	6pm	7pm	8pm	9pm	10pm	11pm	
Total (in PCEs)	9	18		18	inbound	0	0	0	0	0	0	0	0	7	0	0	0	0	0	0	0	0	0	0	2	0	0	0	0	0
					outbound	0	0	0	0	0	0	0	0	0	0	0	7	0	0	0	0	0	0	0	0	0	2	0	0	0

Employee Parking - Total peak hour trips (in PCEs)	0	0	0	0	0	0	0	0	0	0	0	0	0	14	0	0	0	0	0	0	0	0	0	4	0	0	0	0	0
--	---	---	---	---	---	---	---	---	---	---	---	---	---	----	---	---	---	---	---	---	---	---	---	---	---	---	---	---	---

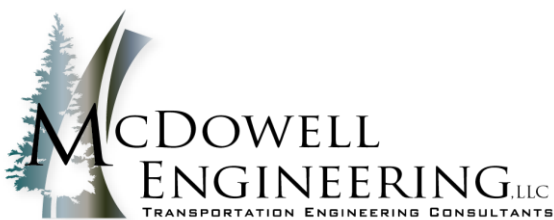
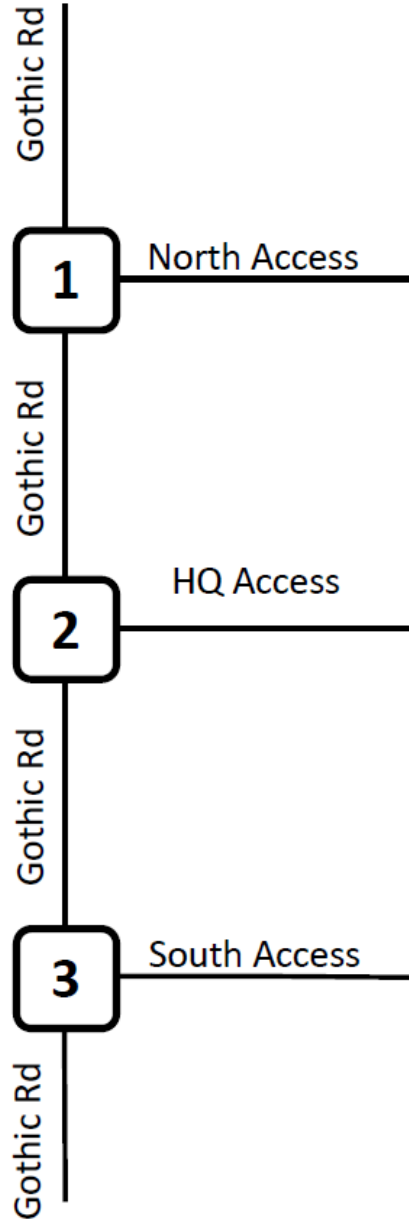
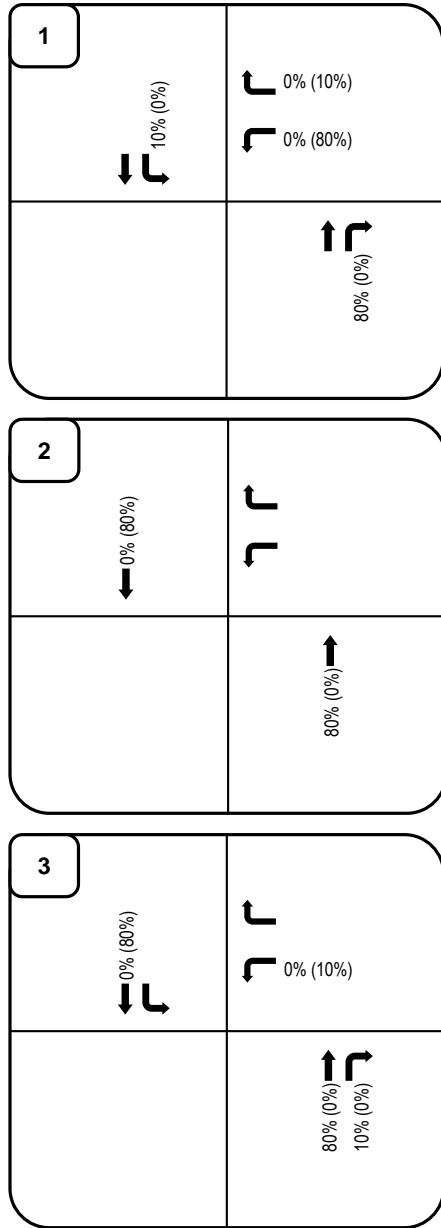
Total daily trips (in PCEs)	inbound	79	vpd
	outbound	79	vpd
	Total	158	vpd

	(vpd)	(vpd)		(vpd)		12am	1am	2am	3am	4am	5am	6am	7am	8am	9am	10am	11am	12pm	1pm	2pm	3pm	4pm	5pm	6pm	7pm	8pm	9pm	10pm	11pm	
Total (in PCEs)	9	18		158	inbound	0	0	0	0	0	0	0	0	11	3	4	0	4	1	9	0	10	23	5	0	9	0	0	0	
					outbound	0	0	0	0	0	0	0	0	0	0	0	7	6	1	4	5	4	9	4	3	4	10	0	15	7

Total peak hour trips (in PCEs)	0	0	0	0	0	0	0	0	0	0	0	0	0	18	9	5	4	9	5	18	4	13	27	15	0	24	7	0	0
---------------------------------	---	---	---	---	---	---	---	---	---	---	---	---	---	----	---	---	---	---	---	----	---	----	----	----	---	----	---	---	---

Total daily trips (in PCEs)	inbound	85	vpd
	outbound	82	vpd
	Total	164	vpd

Figure 6: Project Generated Traffic Distribution (Visitors & Deliveries/Pickups)



LEGEND:

Directional Distribution = Inbound% (Outbound %)

AM/PM/SAT Volumes = XX/XX/XX VPH (in PCEs)

Turning Movements

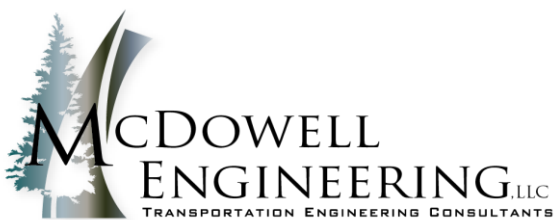
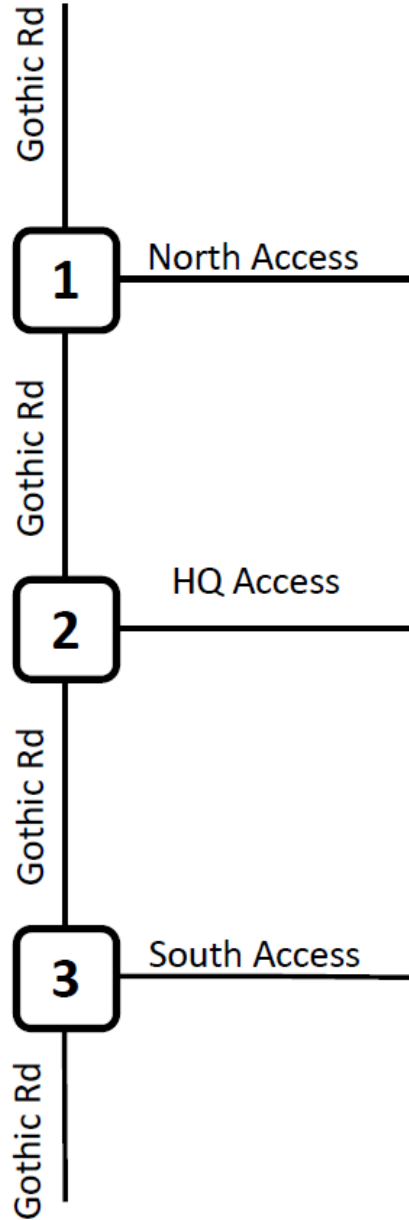
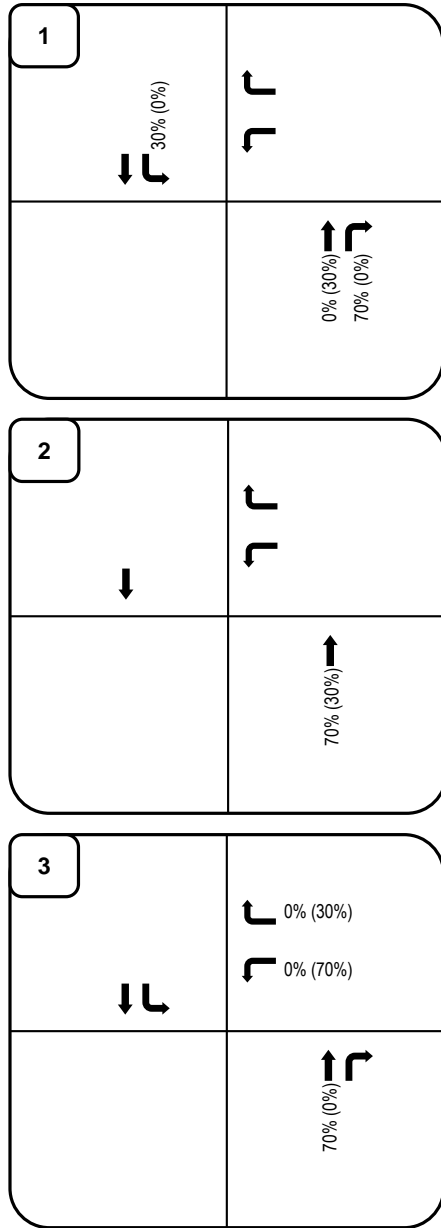
Project Number

M1541

Prepared By

EP

Figure 7: Project Generated Traffic Distribution (SAR Calls)



LEGEND:

Directional Distribution = Inbound% (Outbound %)

AM/PM/SAT Volumes = XX/XX/XX VPH (in PCEs)

Turning Movements

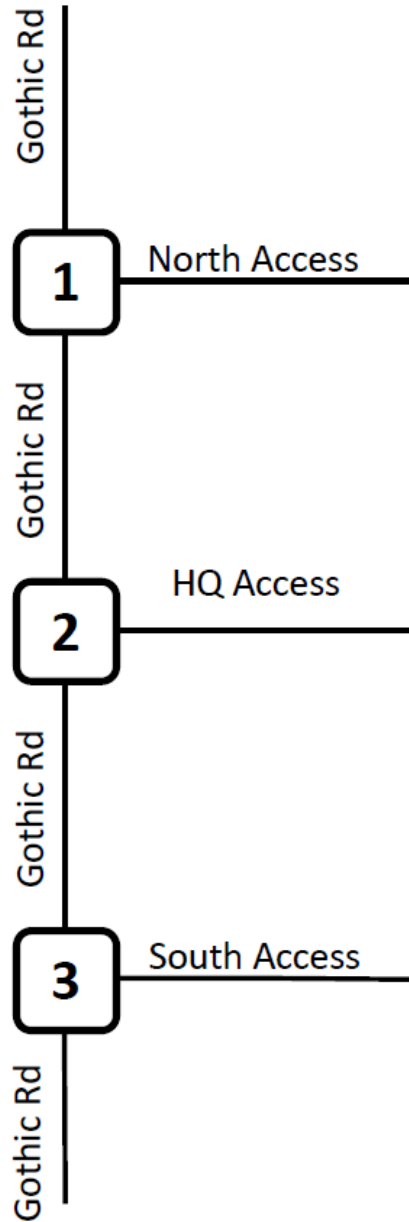
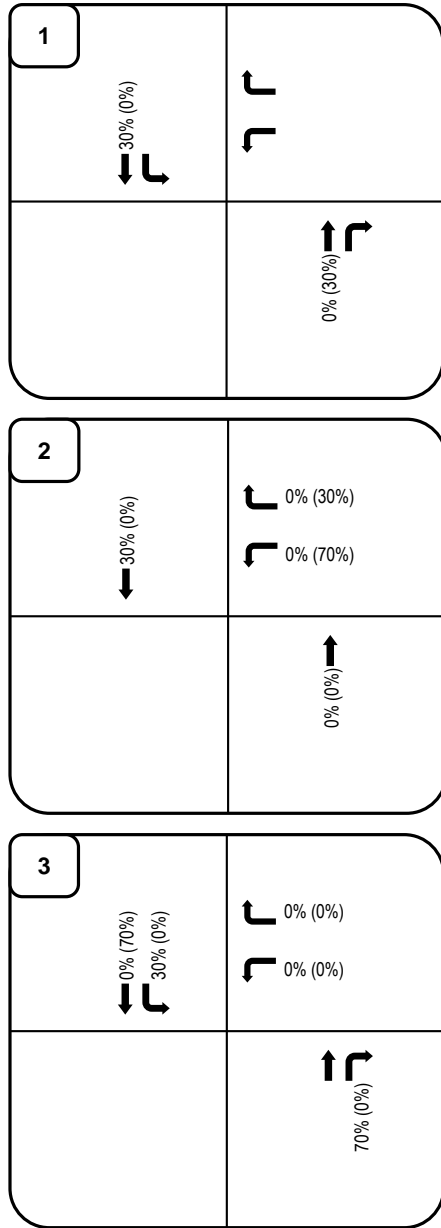
Project Number

M1541

Prepared By

EP

Figure 8: Project Generated Traffic Distribution (HQ Emergency Calls)



LEGEND:

Directional Distribution = Inbound% (Outbound %)

AM/PM/SAT Volumes = XX/XX/XX VPH (in PCEs)

Turning Movements

Project Number

M1541

Prepared By

EP

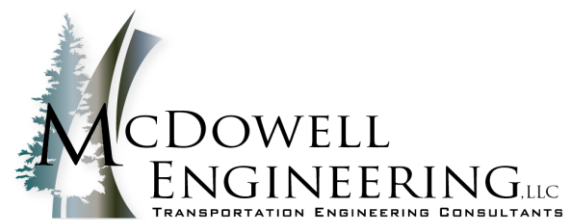
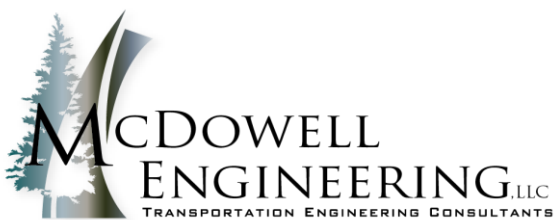
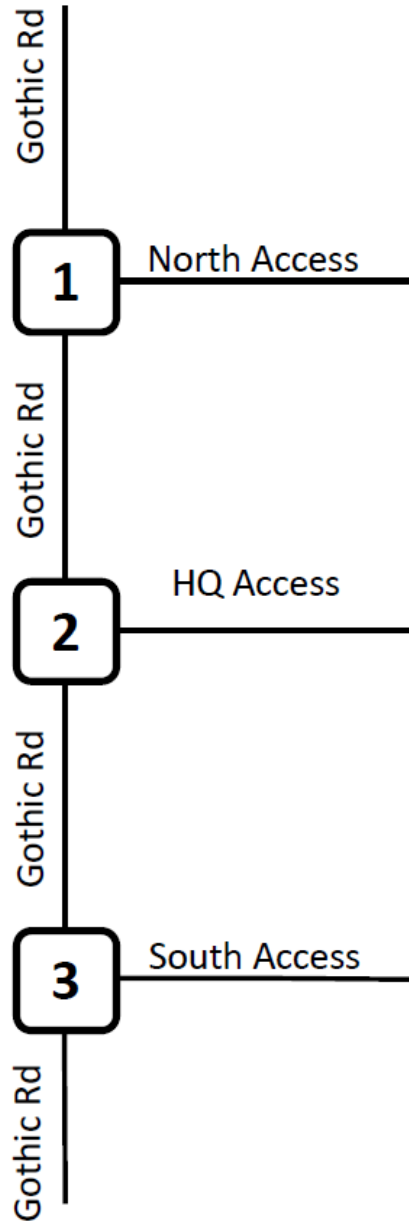
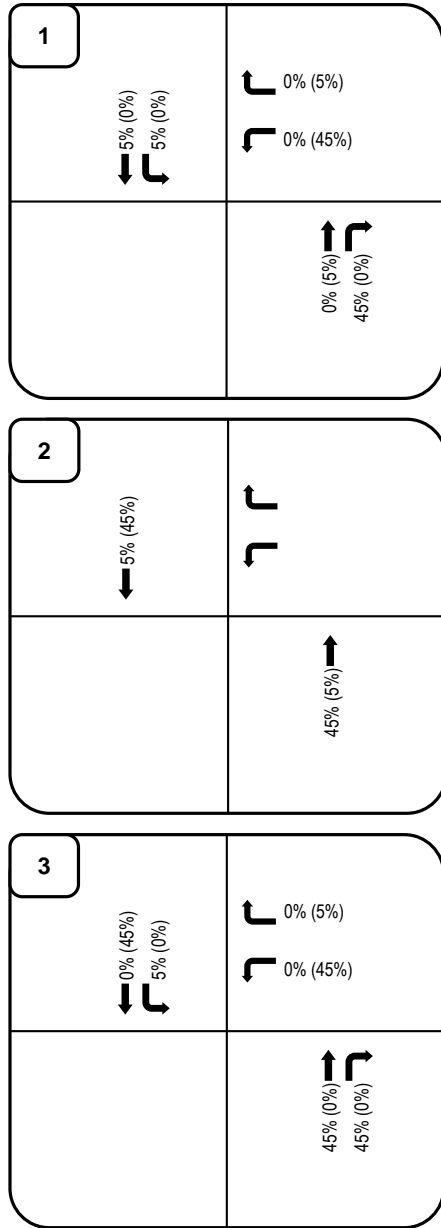


Figure 9: Project Generated Traffic Distribution (Employee Parking)



LEGEND:

Directional Distribution = Inbound% (Outbound %)

AM/PM/SAT Volumes = XX/XX/XX VPH (in PCEs)

Turning Movements

Project Number

M1541

Prepared By

EP

Route 135A From 26 to 28



Legend

— Route

▪ Milepoint

Structures

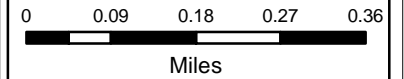
● Major Structure

● Minor Structure

Created:

Date: 1/21/2022

Time: 9:42:23 AM



The information contained in this map is based on the most currently available data and has been checked for accuracy. CDOT does not guarantee the accuracy of any information presented, is not liable in any respect for any errors or omissions, and is not responsible for determining "fitness for use".

Route 135A
From 27 To 28

- ◊ Ramps
- Overpass
- |- Underpass
- Structures

Journeys End Rd

7th St

Red Lady Ave

Bellevue Ave

Whitlock Ave

Sports Ave

CLASSIFICATION

Access Control	R-A: Regional Highway	NR-B: Non-Rural Arterial
Administrative Class	CDOT Highway	
Forest Route	0	
Functional Class	4 Minor Arterial	
Highway Designation	SH	
NHS Designation	0 Not on NHS	
Scenic Byway	West Elk Loop	
Special System	NON-STRAHNET	
Toll Road		

SAFETY

Primary Speed Limit	45	35	25
Secondary Speed Limit	45	35	25

TRAFFIC

AADT	7200	6300
DHV	15.5	
Off Peak Truck Percentage	3.80	3.50
Peak Truck Percentage	0.36	0.48
Route Capacity	2000	1840
V/C Ratio	0.65	0.62
V/C Ratio 20	0.83	0.74
VMT	46209	1877
Year 20 Factor	1.28	1.20

It may appear that information is missing from the straight line diagram. If so, reduce the number of miles/page and re-submit the request.

Route 135A
From 26 To 27

- ◊ Ramps
- ┆ Overpass
- ┆ Underpass
- Structures

CLASSIFICATION

Access Control	R-A: Regional Highway	
Administrative Class	CDOT Highway	
Forest Route	0	
Functional Class	4 Minor Arterial	
Highway Designation	SH	
NHS Designation	0 Not on NHS	
Scenic Byway	West Elk Loop	
Special System	NON-STRAHNET	
Toll Road		

SAFETY

Primary Speed Limit	55	45
Secondary Speed Limit	55	45

TRAFFIC

AADT	7200
DHV	15.5
Off Peak Truck Percentage	3.80
Peak Truck Percentage	0.36
Route Capacity	2000
V/C Ratio	0.65
V/C Ratio 20	0.83
VMT	46209
Year 20 Factor	1.28

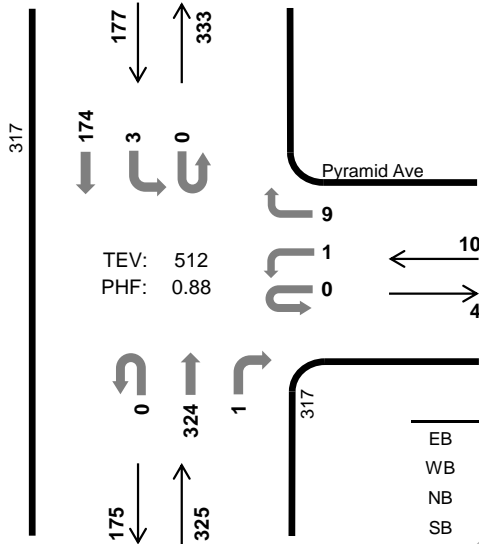
It may appear that information is missing from the straight line diagram. If so, reduce the number of miles/page and re-submit the request.

317 Pyramid Ave

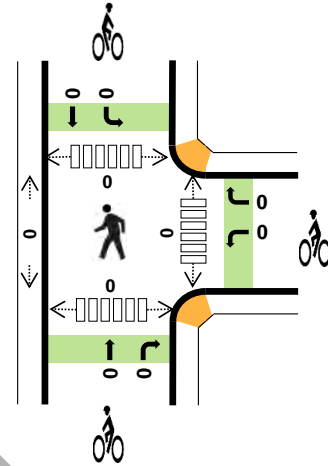


Peak Hour

Date: 01/01/2022
Count Period: 7:00 AM to 10:00 AM
Peak Hour: 8:15 AM to 9:15 AM



TEV: 512
PHF: 0.88



	HV %:	PHF
EB	-	-
WB	0.0%	0.83
NB	3.7%	0.88
SB	6.8%	0.68
TOTAL	4.7%	0.88

Three-Hour Count Summaries

Interval Start	n/a	Pyramid Ave				317				317				15-min Total	Rolling One Hour				
		Eastbound				Westbound				Northbound						Southbound			
		UT	LT	TH	RT	UT	LT	TH	RT	UT	LT	TH	RT			UT	LT	TH	RT
8:15 AM	0	0	0	0	0	1	0	2	0	0	86	0	0	1	28	0	118	0	
8:30 AM	0	0	0	0	0	0	0	3	0	0	81	0	0	0	32	0	116	0	
8:45 AM	0	0	0	0	0	0	0	2	0	0	92	0	0	2	49	0	145	0	
9:00 AM	0	0	0	0	0	0	0	2	0	0	65	1	0	0	65	0	133	512	
Peak Hour	All	0	0	0	0	0	1	0	9	0	0	324	1	0	3	174	0	512	0
	HV	0	0	0	0	0	0	0	0	0	0	12	0	0	1	11	0	24	0
	HV%	-	-	-	-	-	0%	-	0%	-	-	4%	0%	-	33%	6%	-	5%	0

Note: For all three-hour count summary, see next page.

Interval Start	Heavy Vehicle Totals					Bicycles					Pedestrians (Crossing Leg)				
	EB	WB	NB	SB	Total	EB	WB	NB	SB	Total	East	West	North	South	Total
8:15 AM	0	0	3	2	5	0	0	0	0	0	0	0	0	0	0
8:30 AM	0	0	3	2	5	0	0	0	0	0	0	0	0	0	0
8:45 AM	0	0	4	4	8	0	0	0	0	0	0	0	0	0	0
9:00 AM	0	0	2	4	6	0	0	0	0	0	0	0	0	0	0
Peak Hour	0	0	12	12	24	0	0	0	0	0	0	0	0	0	0

Three-Hour Count Summaries																			
Interval Start	n/a				Pyramid Ave				317				317				15-min Total	Rolling One Hour	
	Eastbound				Westbound				Northbound				Southbound						
	UT	LT	TH	RT	UT	LT	TH	RT	UT	LT	TH	RT	UT	LT	TH	RT			
7:00 AM	0	0	0	0	0	0	0	2	0	0	21	2	0	1	8	0	34	0	
7:15 AM	0	0	0	0	0	0	0	1	0	0	36	0	0	1	30	0	68	0	
7:30 AM	0	0	0	0	0	0	0	2	0	0	42	1	0	0	19	0	64	0	
7:45 AM	0	0	0	0	0	0	0	4	0	0	40	1	0	1	32	0	78	244	
8:00 AM	0	0	0	0	0	0	0	2	0	0	82	1	0	1	31	0	117	327	
8:15 AM	0	0	0	0	0	1	0	2	0	0	86	0	0	1	28	0	118	377	
8:30 AM	0	0	0	0	0	0	0	3	0	0	81	0	0	0	32	0	116	429	
8:45 AM	0	0	0	0	0	0	0	2	0	0	92	0	0	2	49	0	145	496	
9:00 AM	0	0	0	0	0	0	0	2	0	0	65	1	0	0	65	0	133	512	
9:15 AM	0	0	0	0	0	1	0	2	0	0	55	0	0	0	53	0	111	505	
9:30 AM	0	0	0	0	0	0	0	2	0	0	61	2	0	0	46	0	111	500	
9:45 AM	0	0	0	0	0	0	0	4	0	0	62	0	0	0	67	0	133	488	
Count Total	0	0	0	0	0	2	0	28	0	0	723	8	0	7	460	0	1,228	0	
Peak Hour	All	0	0	0	0	0	1	0	9	0	0	324	1	0	3	174	0	512	0
	HV	0	0	0	0	0	0	0	0	0	0	12	0	0	1	11	0	24	0
	HV%	-	-	-	-	-	0%	-	0%	-	-	4%	0%	-	33%	6%	-	5%	0

Note: Three-hour count summary volumes include heavy vehicles but exclude bicycles in overall count.

Interval Start	Heavy Vehicle Totals					Bicycles					Pedestrians (Crossing Leg)				
	EB	WB	NB	SB	Total	EB	WB	NB	SB	Total	East	West	North	South	Total
7:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
7:15 AM	0	0	2	1	3	0	0	0	0	0	0	0	0	0	0
7:30 AM	0	0	5	1	6	0	0	0	0	0	0	0	0	0	0
7:45 AM	0	2	3	5	10	0	0	0	0	0	0	0	0	0	0
8:00 AM	0	0	3	2	5	0	0	0	0	0	0	0	0	0	0
8:15 AM	0	0	3	2	5	0	0	0	0	0	0	0	0	0	0
8:30 AM	0	0	3	2	5	0	0	0	0	0	0	0	0	0	0
8:45 AM	0	0	4	4	8	0	0	0	0	0	0	0	0	0	0
9:00 AM	0	0	2	4	6	0	0	0	0	0	0	0	0	0	0
9:15 AM	0	0	4	4	8	0	0	0	0	0	0	0	0	0	0
9:30 AM	0	0	3	3	6	0	0	0	0	0	0	0	0	0	0
9:45 AM	0	0	4	3	7	0	0	0	0	0	0	0	0	0	0
Count Total	0	2	36	31	69	0	0	0	0	0	0	0	0	0	0
Peak Hr	0	0	12	12	24	0	0	0	0	0	0	0	0	0	0

Three-Hour Count Summaries - Heavy Vehicles																		
Interval Start	n/a				Pyramid Ave				317				317				15-min Total	Rolling One Hour
	Eastbound				Westbound				Northbound				Southbound					
	UT	LT	TH	RT	UT	LT	TH	RT	UT	LT	TH	RT	UT	LT	TH	RT		
7:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
7:15 AM	0	0	0	0	0	0	0	0	0	0	2	0	0	0	1	0	3	
7:30 AM	0	0	0	0	0	0	0	0	0	0	4	1	0	0	1	0	6	
7:45 AM	0	0	0	0	0	0	0	2	0	0	3	0	0	0	5	0	10	
8:00 AM	0	0	0	0	0	0	0	0	0	0	3	0	0	0	2	0	5	
8:15 AM	0	0	0	0	0	0	0	0	0	0	3	0	0	0	2	0	5	
8:30 AM	0	0	0	0	0	0	0	0	0	0	3	0	0	0	2	0	5	
8:45 AM	0	0	0	0	0	0	0	0	0	0	4	0	0	1	3	0	8	
9:00 AM	0	0	0	0	0	0	0	0	0	0	2	0	0	0	4	0	6	
9:15 AM	0	0	0	0	0	0	0	0	0	0	4	0	0	0	4	0	8	
9:30 AM	0	0	0	0	0	0	0	0	0	0	3	0	0	0	3	0	6	
9:45 AM	0	0	0	0	0	0	0	0	0	0	4	0	0	0	3	0	7	
Count Total	0	0	0	0	0	0	0	2	0	0	35	1	0	1	30	0	69	
Peak Hour	0	0	0	0	0	0	0	0	0	0	12	0	0	1	11	0	24	

Three-Hour Count Summaries - Bikes																		
Interval Start	n/a				Pyramid Ave				317				317				15-min Total	Rolling One Hour
	Eastbound				Westbound				Northbound				Southbound					
	LT	TH	RT	RT	LT	TH	RT	RT	LT	TH	RT	RT	LT	TH	RT	RT		
7:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
7:15 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
7:30 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
7:45 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
8:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
8:15 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
8:30 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
8:45 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
9:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
9:15 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
9:30 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
9:45 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Count Total	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Peak Hour	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	

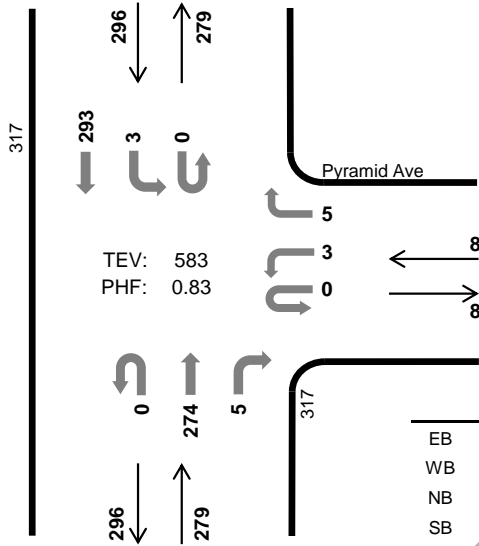
Note: U-Turn volumes for bikes are included in Left-Turn, if any.

317 Pyramid Ave

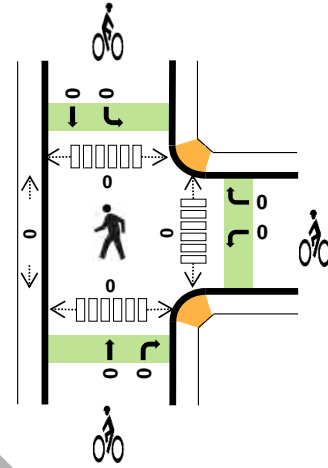


Peak Hour

Date: 01/01/2022
Count Period: 10:00 AM to 1:00 PM
Peak Hour: 11:30 AM to 12:30 PM



TEV: 583
PHF: 0.83



	HV %:	PHF
EB	-	-
WB	0.0%	0.67
NB	4.3%	0.75
SB	4.7%	0.91
TOTAL	4.5%	0.83

Three-Hour Count Summaries

Interval Start	n/a	Pyramid Ave				317				317				15-min Total	Rolling One Hour				
		Eastbound				Westbound				Northbound						Southbound			
	UT	LT	TH	RT	UT	LT	TH	RT	UT	LT	TH	RT	UT	LT	TH	RT			
11:30 AM	0	0	0	0	0	0	0	2	0	0	62	0	0	2	74	0	140	0	
11:45 AM	0	0	0	0	0	1	0	0	0	0	53	4	0	1	71	0	130	0	
12:00 PM	0	0	0	0	0	2	0	1	0	0	66	1	0	0	67	0	137	0	
12:15 PM	0	0	0	0	0	0	0	2	0	0	93	0	0	0	81	0	176	583	
Peak Hour	All	0	0	0	0	0	3	0	5	0	0	274	5	0	3	293	0	583	0
	HV	0	0	0	0	0	0	0	0	0	0	12	0	0	0	14	0	26	0
	HV%	-	-	-	-	-	0%	-	0%	-	-	4%	0%	-	0%	5%	-	4%	0

Note: For all three-hour count summary, see next page.

Interval Start	Heavy Vehicle Totals					Bicycles					Pedestrians (Crossing Leg)				
	EB	WB	NB	SB	Total	EB	WB	NB	SB	Total	East	West	North	South	Total
11:30 AM	0	0	3	5	8	0	0	0	0	0	0	0	0	0	0
11:45 AM	0	0	2	3	5	0	0	0	0	0	0	0	0	0	0
12:00 PM	0	0	3	3	6	0	0	0	0	0	0	0	0	0	0
12:15 PM	0	0	4	3	7	0	0	0	0	0	0	0	0	0	0
Peak Hour	0	0	12	14	26	0	0	0	0	0	0	0	0	0	0

Three-Hour Count Summaries																			
Interval Start	n/a				Pyramid Ave				317				317				15-min Total	Rolling One Hour	
	Eastbound				Westbound				Northbound				Southbound						
	UT	LT	TH	RT	UT	LT	TH	RT	UT	LT	TH	RT	UT	LT	TH	RT			
10:00 AM	0	0	0	0	0	1	0	3	0	0	54	0	0	1	65	0	124	0	
10:15 AM	0	0	0	0	0	0	0	1	0	0	58	1	0	2	62	0	124	0	
10:30 AM	0	0	0	0	0	1	0	4	0	0	60	0	0	2	60	0	127	0	
10:45 AM	0	0	0	0	0	0	0	2	0	0	60	0	0	1	78	0	141	516	
11:00 AM	0	0	0	0	0	0	0	3	0	0	59	0	0	1	68	0	131	523	
11:15 AM	0	0	0	0	0	0	0	3	0	0	52	0	0	2	58	0	115	514	
11:30 AM	0	0	0	0	0	0	0	2	0	0	62	0	0	2	74	0	140	527	
11:45 AM	0	0	0	0	0	1	0	0	0	0	53	4	0	1	71	0	130	516	
12:00 PM	0	0	0	0	0	2	0	1	0	0	66	1	0	0	67	0	137	522	
12:15 PM	0	0	0	0	0	0	0	2	0	0	93	0	0	0	81	0	176	583	
12:30 PM	0	0	0	0	0	1	0	1	0	0	53	0	0	0	56	0	111	554	
12:45 PM	0	0	0	0	0	0	0	1	0	0	77	0	0	1	78	0	157	581	
Count Total	0	0	0	0	0	6	0	23	0	0	747	6	0	13	818	0	1,613	0	
Peak Hour	All	0	0	0	0	0	3	0	5	0	0	274	5	0	3	293	0	583	0
	HV	0	0	0	0	0	0	0	0	0	0	12	0	0	0	14	0	26	0
	HV%	-	-	-	-	-	0%	-	0%	-	-	4%	0%	-	0%	5%	-	4%	0

Note: Three-hour count summary volumes include heavy vehicles but exclude bicycles in overall count.

Interval Start	Heavy Vehicle Totals					Bicycles					Pedestrians (Crossing Leg)				
	EB	WB	NB	SB	Total	EB	WB	NB	SB	Total	East	West	North	South	Total
10:00 AM	0	0	5	5	10	0	0	0	0	0	0	0	0	0	0
10:15 AM	0	0	5	4	9	0	0	0	0	0	0	0	0	0	0
10:30 AM	0	0	1	3	4	0	0	0	0	0	0	0	0	0	0
10:45 AM	0	0	3	4	7	0	0	0	0	0	0	0	0	0	0
11:00 AM	0	0	3	1	4	0	0	0	0	0	0	0	0	0	0
11:15 AM	0	0	3	3	6	0	0	0	0	0	0	0	0	0	0
11:30 AM	0	0	3	5	8	0	0	0	0	0	0	0	0	0	0
11:45 AM	0	0	2	3	5	0	0	0	0	0	0	0	0	0	0
12:00 PM	0	0	3	3	6	0	0	0	0	0	0	0	0	0	0
12:15 PM	0	0	4	3	7	0	0	0	0	0	0	0	0	0	0
12:30 PM	0	0	2	3	5	0	0	0	0	0	0	0	0	0	0
12:45 PM	0	0	4	3	7	0	0	0	0	0	2	0	0	0	2
Count Total	0	0	38	40	78	0	0	0	0	0	2	0	0	0	2
Peak Hr	0	0	12	14	26	0	0	0	0	0	0	0	0	0	0

Three-Hour Count Summaries - Heavy Vehicles																		
Interval Start	n/a				Pyramid Ave				317				317				15-min Total	Rolling One Hour
	Eastbound				Westbound				Northbound				Southbound					
	UT	LT	TH	RT	UT	LT	TH	RT	UT	LT	TH	RT	UT	LT	TH	RT		
10:00 AM	0	0	0	0	0	0	0	0	0	0	5	0	0	0	5	0	10	0
10:15 AM	0	0	0	0	0	0	0	0	0	0	5	0	0	0	4	0	9	0
10:30 AM	0	0	0	0	0	0	0	0	0	0	1	0	0	0	3	0	4	0
10:45 AM	0	0	0	0	0	0	0	0	0	0	3	0	0	0	4	0	7	30
11:00 AM	0	0	0	0	0	0	0	0	0	0	3	0	0	0	1	0	4	24
11:15 AM	0	0	0	0	0	0	0	0	0	0	3	0	0	0	3	0	6	21
11:30 AM	0	0	0	0	0	0	0	0	0	0	3	0	0	0	5	0	8	25
11:45 AM	0	0	0	0	0	0	0	0	0	0	2	0	0	0	3	0	5	23
12:00 PM	0	0	0	0	0	0	0	0	0	0	3	0	0	0	3	0	6	25
12:15 PM	0	0	0	0	0	0	0	0	0	0	4	0	0	0	3	0	7	26
12:30 PM	0	0	0	0	0	0	0	0	0	0	2	0	0	0	3	0	5	23
12:45 PM	0	0	0	0	0	0	0	0	0	0	4	0	0	0	3	0	7	25
Count Total	0	0	0	0	0	0	0	0	0	0	38	0	0	0	40	0	78	0
Peak Hour	0	0	0	0	0	0	0	0	0	0	12	0	0	0	14	0	26	0

Three-Hour Count Summaries - Bikes																		
Interval Start	n/a				Pyramid Ave				317				317				15-min Total	Rolling One Hour
	Eastbound				Westbound				Northbound				Southbound					
	LT	TH	RT	RT	LT	TH	RT	RT	LT	TH	RT	RT	LT	TH	RT	RT		
10:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
10:15 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
10:30 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
10:45 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
11:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
11:15 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
11:30 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
11:45 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
12:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
12:15 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
12:30 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
12:45 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Count Total	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Peak Hour	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0

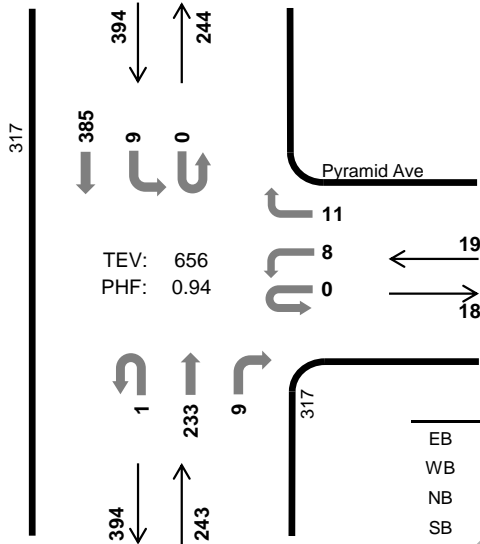
Note: U-Turn volumes for bikes are included in Left-Turn, if any.

317 Pyramid Ave

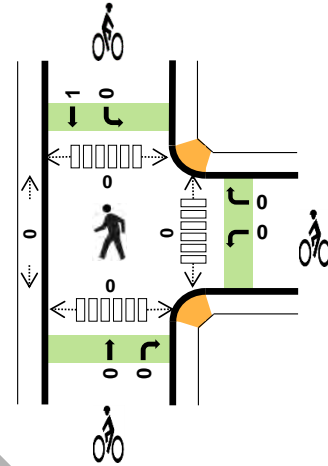


Peak Hour

Date: 01/01/2022
Count Period: 1:00 PM to 4:00 PM
Peak Hour: 2:45 PM to 3:45 PM



TEV: 656
PHF: 0.94



	HV %:	PHF
EB	-	-
WB	15.8%	0.68
NB	7.8%	0.93
SB	4.1%	0.95
TOTAL	5.8%	0.94

Three-Hour Count Summaries

Interval Start	n/a	Pyramid Ave				317				317				15-min Total	Rolling One Hour				
		Eastbound				Westbound				Northbound						Southbound			
	UT	LT	TH	RT	UT	LT	TH	RT	UT	LT	TH	RT	UT	LT	TH	RT			
2:45 PM	0	0	0	0	0	0	0	6	0	0	59	0	0	2	91	0	158	0	
3:00 PM	0	0	0	0	0	2	0	2	1	0	56	4	0	2	92	0	159	0	
3:15 PM	0	0	0	0	0	0	0	2	0	0	56	2	0	3	101	0	164	0	
3:30 PM	0	0	0	0	0	6	0	1	0	0	62	3	0	2	101	0	175	656	
Peak Hour	All	0	0	0	0	0	8	0	11	1	0	233	9	0	9	385	0	656	0
	HV	0	0	0	0	0	3	0	0	0	0	19	0	0	0	16	0	38	0
	HV%	-	-	-	-	-	38%	-	0%	0%	-	8%	0%	-	0%	4%	-	6%	0

Note: For all three-hour count summary, see next page.

Interval Start	Heavy Vehicle Totals					Bicycles					Pedestrians (Crossing Leg)				
	EB	WB	NB	SB	Total	EB	WB	NB	SB	Total	East	West	North	South	Total
2:45 PM	0	0	5	4	9	0	0	0	1	1	0	0	0	0	0
3:00 PM	0	0	4	3	7	0	0	0	0	0	0	0	0	0	0
3:15 PM	0	0	6	5	11	0	0	0	0	0	0	0	0	0	0
3:30 PM	0	3	4	4	11	0	0	0	0	0	0	0	0	0	0
Peak Hour	0	3	19	16	38	0	0	0	1	1	0	0	0	0	0

Three-Hour Count Summaries																			
Interval Start	n/a				Pyramid Ave				317				317				15-min Total	Rolling One Hour	
	Eastbound				Westbound				Northbound				Southbound						
	UT	LT	TH	RT	UT	LT	TH	RT	UT	LT	TH	RT	UT	LT	TH	RT			
1:00 PM	0	0	0	0	0	0	0	4	0	0	70	2	0	4	76	0	156	0	
1:15 PM	0	0	0	0	0	4	0	1	0	0	53	1	0	1	76	0	136	0	
1:30 PM	0	0	0	0	0	0	0	2	0	0	45	1	0	0	76	0	124	0	
1:45 PM	0	0	0	0	0	2	0	1	0	0	67	1	0	3	81	0	155	571	
2:00 PM	0	0	0	0	0	1	0	2	1	0	37	3	0	3	75	0	122	537	
2:15 PM	0	0	0	0	0	0	0	4	0	0	57	0	0	1	82	0	144	545	
2:30 PM	0	0	0	0	0	3	0	4	0	0	55	1	0	1	68	0	132	553	
2:45 PM	0	0	0	0	0	0	0	6	0	0	59	0	0	2	91	0	158	556	
3:00 PM	0	0	0	0	0	2	0	2	1	0	56	4	0	2	92	0	159	593	
3:15 PM	0	0	0	0	0	0	0	2	0	0	56	2	0	3	101	0	164	613	
3:30 PM	0	0	0	0	0	6	0	1	0	0	62	3	0	2	101	0	175	656	
3:45 PM	0	0	0	0	0	0	0	3	0	0	64	2	0	3	86	0	158	656	
Count Total	0	0	0	0	0	18	0	32	2	0	681	20	0	25	1,005	0	1,783	0	
Peak Hour	All	0	0	0	0	0	8	0	11	1	0	233	9	0	9	385	0	656	0
	HV	0	0	0	0	0	3	0	0	0	0	19	0	0	0	16	0	38	0
	HV%	-	-	-	-	-	38%	-	0%	0%	-	8%	0%	-	0%	4%	-	6%	0

Note: Three-hour count summary volumes include heavy vehicles but exclude bicycles in overall count.

Interval Start	Heavy Vehicle Totals					Bicycles					Pedestrians (Crossing Leg)				
	EB	WB	NB	SB	Total	EB	WB	NB	SB	Total	East	West	North	South	Total
1:00 PM	0	0	2	2	4	0	0	0	0	0	0	0	0	0	0
1:15 PM	0	0	1	2	3	0	0	0	0	0	0	0	0	0	0
1:30 PM	0	0	1	2	3	0	0	0	0	0	0	0	0	0	0
1:45 PM	0	0	3	1	4	0	0	0	0	0	0	0	0	0	0
2:00 PM	0	0	1	2	3	0	0	0	0	0	0	0	0	0	0
2:15 PM	0	0	5	2	7	0	0	0	0	0	0	0	0	0	0
2:30 PM	0	0	3	2	5	0	1	0	0	1	0	0	0	0	0
2:45 PM	0	0	5	4	9	0	0	0	1	1	0	0	0	0	0
3:00 PM	0	0	4	3	7	0	0	0	0	0	0	0	0	0	0
3:15 PM	0	0	6	5	11	0	0	0	0	0	0	0	0	0	0
3:30 PM	0	3	4	4	11	0	0	0	0	0	0	0	0	0	0
3:45 PM	0	0	5	4	9	0	0	0	1	1	0	0	0	0	0
Count Total	0	3	40	33	76	0	1	0	2	3	0	0	0	0	0
Peak Hr	0	3	19	16	38	0	0	0	1	1	0	0	0	0	0

Three-Hour Count Summaries - Heavy Vehicles																		
Interval Start	n/a				Pyramid Ave				317				317				15-min Total	Rolling One Hour
	Eastbound				Westbound				Northbound				Southbound					
	UT	LT	TH	RT	UT	LT	TH	RT	UT	LT	TH	RT	UT	LT	TH	RT		
1:00 PM	0	0	0	0	0	0	0	0	0	0	2	0	0	0	2	0	4	0
1:15 PM	0	0	0	0	0	0	0	0	0	0	1	0	0	0	2	0	3	0
1:30 PM	0	0	0	0	0	0	0	0	0	0	1	0	0	0	2	0	3	0
1:45 PM	0	0	0	0	0	0	0	0	0	0	3	0	0	0	1	0	4	14
2:00 PM	0	0	0	0	0	0	0	0	0	0	1	0	0	0	2	0	3	13
2:15 PM	0	0	0	0	0	0	0	0	0	0	5	0	0	0	2	0	7	17
2:30 PM	0	0	0	0	0	0	0	0	0	0	3	0	0	0	2	0	5	19
2:45 PM	0	0	0	0	0	0	0	0	0	0	5	0	0	0	4	0	9	24
3:00 PM	0	0	0	0	0	0	0	0	0	0	4	0	0	0	3	0	7	28
3:15 PM	0	0	0	0	0	0	0	0	0	0	6	0	0	0	5	0	11	32
3:30 PM	0	0	0	0	0	3	0	0	0	0	4	0	0	0	4	0	11	38
3:45 PM	0	0	0	0	0	0	0	0	0	0	5	0	0	0	4	0	9	38
Count Total	0	0	0	0	0	3	0	0	0	0	40	0	0	0	33	0	76	0
Peak Hour	0	0	0	0	0	3	0	0	0	0	19	0	0	0	16	0	38	0

Three-Hour Count Summaries - Bikes																		
Interval Start	n/a				Pyramid Ave				317				317				15-min Total	Rolling One Hour
	Eastbound				Westbound				Northbound				Southbound					
	LT	TH	RT	RT	LT	TH	RT	RT	LT	TH	RT	RT	LT	TH	RT	RT		
1:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
1:15 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
1:30 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
1:45 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
2:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
2:15 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
2:30 PM	0	0	0	0	0	0	1	0	0	0	0	0	0	0	0	0	1	1
2:45 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	1	0	0	1	2
3:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	2
3:15 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	2
3:30 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1
3:45 PM	0	0	0	0	0	0	0	0	0	0	0	0	1	0	0	0	1	1
Count Total	0	0	0	0	0	0	1	0	0	0	0	0	1	1	0	0	3	0
Peak Hour	0	0	0	0	0	0	0	0	0	0	0	0	0	1	0	0	1	0

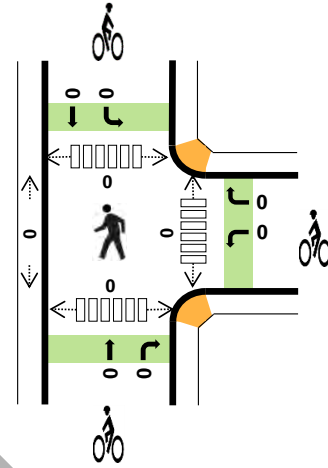
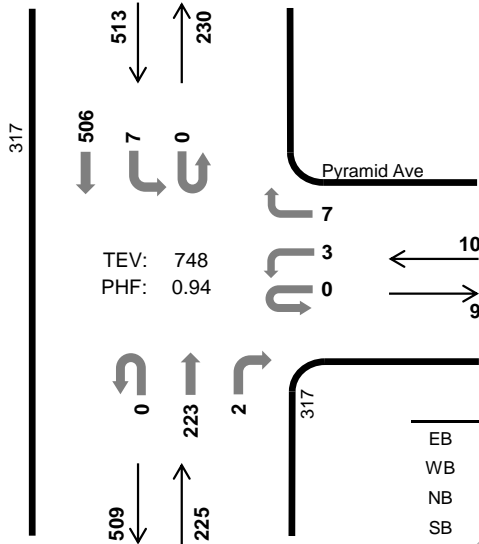
Note: U-Turn volumes for bikes are included in Left-Turn, if any.

317 Pyramid Ave



Peak Hour

Date: 01/01/2022
Count Period: 4:00 PM to 7:00 PM
Peak Hour: 4:00 PM to 5:00 PM



	HV %:	PHF
EB	-	-
WB	0.0%	0.63
NB	7.1%	0.83
SB	3.1%	0.85
TOTAL	4.3%	0.94

Three-Hour Count Summaries

Interval Start	n/a	Pyramid Ave				317				317				15-min Total	Rolling One Hour				
		Eastbound				Westbound				Northbound						Southbound			
	UT	LT	TH	RT	UT	LT	TH	RT	UT	LT	TH	RT	UT	LT	TH	RT			
4:00 PM	0	0	0	0	0	1	0	1	0	0	68	0	0	2	116	0	188	0	
4:15 PM	0	0	0	0	0	1	0	3	0	0	66	2	0	1	119	0	192	0	
4:30 PM	0	0	0	0	0	1	0	2	0	0	46	0	0	3	148	0	200	0	
4:45 PM	0	0	0	0	0	0	0	1	0	0	43	0	0	1	123	0	168	748	
Peak Hour	All	0	0	0	0	0	3	0	7	0	0	223	2	0	7	506	0	748	0
	HV	0	0	0	0	0	0	0	0	0	0	16	0	0	0	16	0	32	0
	HV%	-	-	-	-	-	0%	-	0%	-	-	7%	0%	-	0%	3%	-	4%	0

Note: For all three-hour count summary, see next page.

Interval Start	Heavy Vehicle Totals					Bicycles					Pedestrians (Crossing Leg)				
	EB	WB	NB	SB	Total	EB	WB	NB	SB	Total	East	West	North	South	Total
4:00 PM	0	0	4	4	8	0	0	0	0	0	0	0	0	0	0
4:15 PM	0	0	6	4	10	0	0	0	0	0	0	0	0	0	0
4:30 PM	0	0	3	5	8	0	0	0	0	0	0	0	0	0	0
4:45 PM	0	0	3	3	6	0	0	0	0	0	0	0	0	0	0
Peak Hour	0	0	16	16	32	0	0	0	0	0	0	0	0	0	0

Three-Hour Count Summaries														15-min Total	Rolling One Hour				
Interval Start	n/a				Pyramid Ave				317				317						
	Eastbound				Westbound				Northbound				Southbound						
	UT	LT	TH	RT	UT	LT	TH	RT	UT	LT	TH	RT	UT	LT	TH	RT			
4:00 PM	0	0	0	0	0	1	0	1	0	0	68	0	0	2	116	0	188	0	
4:15 PM	0	0	0	0	0	1	0	3	0	0	66	2	0	1	119	0	192	0	
4:30 PM	0	0	0	0	0	1	0	2	0	0	46	0	0	3	148	0	200	0	
4:45 PM	0	0	0	0	0	0	0	1	0	0	43	0	0	1	123	0	168	748	
5:00 PM	0	0	0	0	0	0	0	0	0	0	52	1	0	2	91	0	146	706	
5:15 PM	0	0	0	0	0	0	0	1	0	0	55	0	0	1	87	0	144	658	
5:30 PM	0	0	0	0	0	1	0	2	0	0	45	1	0	1	70	0	120	578	
5:45 PM	0	0	0	0	0	0	0	0	0	0	44	0	0	1	57	0	102	512	
6:00 PM	0	0	0	0	0	0	0	1	0	0	46	0	0	1	52	0	100	466	
6:15 PM	0	0	0	0	0	0	0	1	0	0	35	0	0	0	46	0	82	404	
6:30 PM	0	0	0	0	0	0	0	0	0	0	22	0	0	0	43	0	65	349	
6:45 PM	0	0	0	0	0	0	0	1	0	0	39	0	0	0	32	0	72	319	
Count Total	0	0	0	0	0	4	0	13	0	0	561	4	0	13	984	0	1,579	0	
Peak Hour	All	0	0	0	0	0	3	0	7	0	0	223	2	0	7	506	0	748	0
	HV	0	0	0	0	0	0	0	0	0	0	16	0	0	0	16	0	32	0
	HV%	-	-	-	-	-	0%	-	0%	-	-	7%	0%	-	0%	3%	-	4%	0

Note: Three-hour count summary volumes include heavy vehicles but exclude bicycles in overall count.

Interval Start	Heavy Vehicle Totals					Bicycles					Pedestrians (Crossing Leg)					
	EB	WB	NB	SB	Total	EB	WB	NB	SB	Total	East	West	North	South	Total	
4:00 PM	0	0	4	4	8	0	0	0	0	0	0	0	0	0	0	0
4:15 PM	0	0	6	4	10	0	0	0	0	0	0	0	0	0	0	0
4:30 PM	0	0	3	5	8	0	0	0	0	0	0	0	0	0	0	0
4:45 PM	0	0	3	3	6	0	0	0	0	0	0	0	0	0	0	0
5:00 PM	0	0	4	3	7	0	0	0	0	0	0	0	0	0	0	0
5:15 PM	0	0	4	6	10	0	0	0	0	0	0	0	0	0	0	0
5:30 PM	0	0	3	5	8	0	0	0	0	0	0	0	0	0	0	0
5:45 PM	0	0	3	4	7	0	0	0	0	0	0	0	0	0	0	0
6:00 PM	0	0	4	1	5	0	0	0	0	0	0	0	0	0	0	0
6:15 PM	0	0	3	3	6	0	0	0	0	0	0	0	0	0	0	0
6:30 PM	0	0	3	3	6	0	0	0	0	0	0	0	0	0	0	0
6:45 PM	0	0	3	3	6	0	0	0	0	0	0	0	0	0	0	0
Count Total	0	0	43	44	87	0	0	0	0	0	0	0	0	0	0	0
Peak Hr	0	0	16	16	32	0	0	0	0	0	0	0	0	0	0	0

Three-Hour Count Summaries - Heavy Vehicles														15-min Total	Rolling One Hour			
Interval Start	n/a				Pyramid Ave				317				317					
	Eastbound				Westbound				Northbound				Southbound					
	UT	LT	TH	RT	UT	LT	TH	RT	UT	LT	TH	RT	UT	LT	TH	RT		
4:00 PM	0	0	0	0	0	0	0	0	0	0	4	0	0	0	4	0	8	0
4:15 PM	0	0	0	0	0	0	0	0	0	0	6	0	0	0	4	0	10	0
4:30 PM	0	0	0	0	0	0	0	0	0	0	3	0	0	0	5	0	8	0
4:45 PM	0	0	0	0	0	0	0	0	0	0	3	0	0	0	3	0	6	32
5:00 PM	0	0	0	0	0	0	0	0	0	0	4	0	0	0	3	0	7	31
5:15 PM	0	0	0	0	0	0	0	0	0	0	4	0	0	1	5	0	10	31
5:30 PM	0	0	0	0	0	0	0	0	0	0	3	0	0	0	5	0	8	31
5:45 PM	0	0	0	0	0	0	0	0	0	0	3	0	0	0	4	0	7	32
6:00 PM	0	0	0	0	0	0	0	0	0	0	4	0	0	0	1	0	5	30
6:15 PM	0	0	0	0	0	0	0	0	0	0	3	0	0	0	3	0	6	26
6:30 PM	0	0	0	0	0	0	0	0	0	0	3	0	0	0	3	0	6	24
6:45 PM	0	0	0	0	0	0	0	0	0	0	3	0	0	0	3	0	6	23
Count Total	0	0	0	0	0	0	0	0	0	0	43	0	0	1	43	0	87	0
Peak Hour	0	0	0	0	0	0	0	0	0	0	16	0	0	0	16	0	32	0

Three-Hour Count Summaries - Bikes														15-min Total	Rolling One Hour			
Interval Start	n/a				Pyramid Ave				317				317					
	Eastbound				Westbound				Northbound				Southbound					
	LT	TH	RT		LT	TH	RT		LT	TH	RT		LT	TH	RT			
4:00 PM	0	0	0		0	0	0		0	0	0		0	0	0			
4:15 PM	0	0	0		0	0	0		0	0	0		0	0	0			
4:30 PM	0	0	0		0	0	0		0	0	0		0	0	0			
4:45 PM	0	0	0		0	0	0		0	0	0		0	0	0			
5:00 PM	0	0	0		0	0	0		0	0	0		0	0	0			
5:15 PM	0	0	0		0	0	0		0	0	0		0	0	0			
5:30 PM	0	0	0		0	0	0		0	0	0		0	0	0			
5:45 PM	0	0	0		0	0	0		0	0	0		0	0	0			
6:00 PM	0	0	0		0	0	0		0	0	0		0	0	0			
6:15 PM	0	0	0		0	0	0		0	0	0		0	0	0			
6:30 PM	0	0	0		0	0	0		0	0	0		0	0	0			
6:45 PM	0	0	0		0	0	0		0	0	0		0	0	0			
Count Total	0	0	0		0	0	0		0	0	0		0	0	0			
Peak Hour	0	0	0		0	0	0		0	0	0		0	0	0			

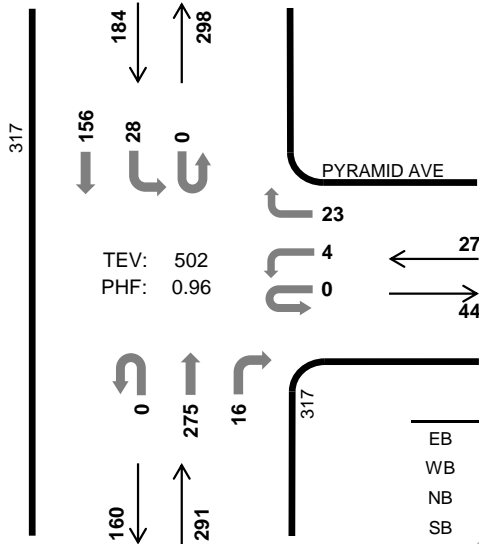
Note: U-Turn volumes for bikes are included in Left-Turn, if any.

317 PYRAMID AVE

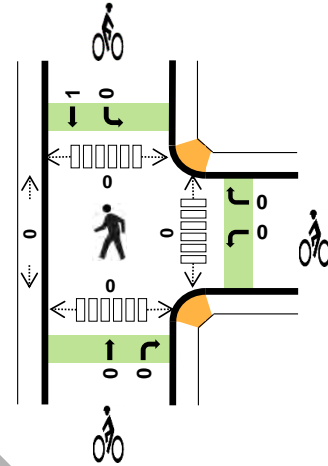


Peak Hour

Date: 01/27/2022
Count Period: 7:00 AM to 9:00 AM
Peak Hour: 8:00 AM to 9:00 AM



TEV: 502
PHF: 0.96



	HV %:	PHF
EB	-	-
WB	0.0%	0.48
NB	7.2%	0.82
SB	7.1%	0.75
TOTAL	6.8%	0.96

Two-Hour Count Summaries

Interval Start	N/A				PYRAMID AVE				317				317				15-min Total	Rolling One Hour	
	Eastbound				Westbound				Northbound				Southbound						
	UT	LT	TH	RT	UT	LT	TH	RT	UT	LT	TH	RT	UT	LT	TH	RT			
7:00 AM	0	0	0	0	0	0	0	2	0	0	28	0	0	0	16	0	46	0	
7:15 AM	0	0	0	0	0	0	0	1	0	0	38	4	0	1	25	0	69	0	
7:30 AM	0	0	0	0	0	0	0	3	0	0	50	4	0	1	29	0	87	0	
7:45 AM	0	0	0	0	0	1	0	2	0	0	43	3	0	3	38	0	90	292	
8:00 AM	0	0	0	0	0	0	0	4	0	0	48	3	0	12	49	0	116	362	
8:15 AM	0	0	0	0	0	2	0	12	0	0	60	2	0	15	40	0	131	424	
8:30 AM	0	0	0	0	0	2	0	6	0	0	83	6	0	0	30	0	127	464	
8:45 AM	0	0	0	0	0	0	0	1	0	0	84	5	0	1	37	0	128	502	
Count Total	0	0	0	0	0	5	0	31	0	0	434	27	0	33	264	0	794	0	
Peak Hour	All	0	0	0	0	0	4	0	23	0	0	275	16	0	28	156	0	502	0
	HV	0	0	0	0	0	0	0	0	0	0	13	8	0	0	13	0	34	0
	HV%	-	-	-	-	-	0%	-	0%	-	-	5%	50%	-	0%	8%	-	7%	0

Note: Two-hour count summary volumes include heavy vehicles but exclude bicycles in overall count.

Interval Start	Heavy Vehicle Totals					Bicycles					Pedestrians (Crossing Leg)				
	EB	WB	NB	SB	Total	EB	WB	NB	SB	Total	East	West	North	South	Total
7:00 AM	0	0	6	1	7	0	0	0	0	0	0	0	0	0	0
7:15 AM	0	1	3	0	4	0	0	0	0	0	0	0	0	0	0
7:30 AM	0	1	3	2	6	0	0	0	0	0	0	0	0	0	0
7:45 AM	0	0	2	3	5	0	0	0	0	0	0	0	0	0	0
8:00 AM	0	0	6	3	9	0	0	0	0	0	0	0	0	0	0
8:15 AM	0	0	3	5	8	0	0	0	1	1	0	0	0	0	0
8:30 AM	0	0	6	4	10	0	0	0	0	0	0	0	0	0	0
8:45 AM	0	0	6	1	7	0	0	0	0	0	0	0	0	0	0
Count Total	0	2	35	19	56	0	0	0	1	1	0	0	0	0	0
Peak Hr	0	0	21	13	34	0	0	0	1	1	0	0	0	0	0

Two-Hour Count Summaries - Heavy Vehicles																		
Interval Start	N/A				PYRAMID AVE				317				317				15-min Total	Rolling One Hour
	Eastbound				Westbound				Northbound				Southbound					
	UT	LT	TH	RT	UT	LT	TH	RT	UT	LT	TH	RT	UT	LT	TH	RT		
7:00 AM	0	0	0	0	0	0	0	0	0	0	6	0	0	0	1	0	7	0
7:15 AM	0	0	0	0	0	0	0	1	0	0	3	0	0	0	0	0	4	0
7:30 AM	0	0	0	0	0	0	0	1	0	0	3	0	0	0	2	0	6	0
7:45 AM	0	0	0	0	0	0	0	0	0	0	2	0	0	0	3	0	5	22
8:00 AM	0	0	0	0	0	0	0	0	0	0	4	2	0	0	3	0	9	24
8:15 AM	0	0	0	0	0	0	0	0	0	0	1	2	0	0	5	0	8	28
8:30 AM	0	0	0	0	0	0	0	0	0	0	4	2	0	0	4	0	10	32
8:45 AM	0	0	0	0	0	0	0	0	0	0	4	2	0	0	1	0	7	34
Count Total	0	0	0	0	0	0	0	2	0	0	27	8	0	0	19	0	56	0
Peak Hour	0	0	0	0	0	0	0	0	0	0	13	8	0	0	13	0	34	0

Two-Hour Count Summaries - Bikes																	
Interval Start	N/A			PYRAMID AVE			317			317			15-min Total	Rolling One Hour			
	Eastbound			Westbound			Northbound			Southbound							
	LT	TH	RT	LT	TH	RT	LT	TH	RT	LT	TH	RT					
7:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
7:15 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
7:30 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
7:45 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
8:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
8:15 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	1	0	1	1
8:30 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1
8:45 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1
Count Total	0	0	0	0	0	0	0	0	0	0	0	1	0	1	0	1	0
Peak Hour	0	0	0	0	0	0	0	0	0	0	0	1	0	1	0	1	0

Note: U-Turn volumes for bikes are included in Left-Turn, if any.

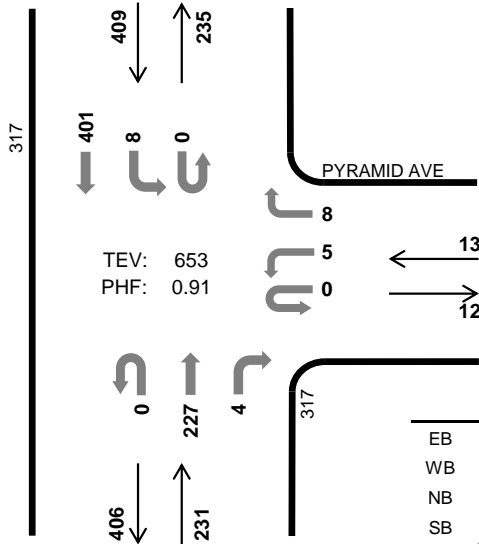
DRAFT

317 PYRAMID AVE

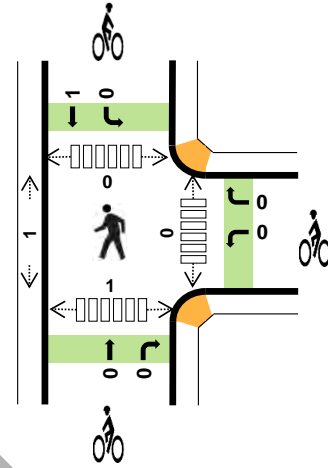


Peak Hour

Date: 01/26/2022
Count Period: 3:00 PM to 6:00 PM
Peak Hour: 3:45 PM to 4:45 PM



TEV: 653
PHF: 0.91



	HV %:	PHF
EB	-	-
WB	0.0%	0.81
NB	5.6%	0.85
SB	4.9%	0.85
TOTAL	5.1%	0.91

Three-Hour Count Summaries

Interval Start	N/A				PYRAMID AVE				317				317				15-min Total	Rolling One Hour	
	Eastbound				Westbound				Northbound				Southbound						
	UT	LT	TH	RT	UT	LT	TH	RT	UT	LT	TH	RT	UT	LT	TH	RT			
3:45 PM	0	0	0	0	0	1	0	3	0	0	68	0	0	3	80	0	155	0	
4:00 PM	0	0	0	0	0	2	0	1	0	0	55	2	0	3	99	0	162	0	
4:15 PM	0	0	0	0	0	0	0	2	0	0	56	2	0	1	119	0	180	0	
4:30 PM	0	0	0	0	0	2	0	2	0	0	48	0	0	1	103	0	156	653	
Peak Hour	All	0	0	0	0	0	5	0	8	0	0	227	4	0	8	401	0	653	0
	HV	0	0	0	0	0	0	0	0	0	0	13	0	0	0	20	0	33	0
	HV%	-	-	-	-	-	0%	-	0%	-	-	6%	0%	-	0%	5%	-	5%	0

Note: For all three-hour count summary, see next page.

Interval Start	Heavy Vehicle Totals					Bicycles					Pedestrians (Crossing Leg)				
	EB	WB	NB	SB	Total	EB	WB	NB	SB	Total	East	West	North	South	Total
3:45 PM	0	0	5	3	8	0	0	0	0	0	0	0	0	0	0
4:00 PM	0	0	3	7	10	0	0	0	0	0	0	0	0	0	0
4:15 PM	0	0	3	6	9	0	0	0	0	0	0	1	0	1	2
4:30 PM	0	0	2	4	6	0	0	0	1	1	0	0	0	0	0
Peak Hour	0	0	13	20	33	0	0	0	1	1	0	1	0	1	2

Three-Hour Count Summaries														15-min Total	Rolling One Hour				
Interval Start	N/A				PYRAMID AVE				317				317						
	Eastbound				Westbound				Northbound				Southbound						
	UT	LT	TH	RT	UT	LT	TH	RT	UT	LT	TH	RT	UT	LT	TH	RT			
3:00 PM	0	0	0	0	0	2	0	2	0	0	51	0	0	0	72	0	127	0	
3:15 PM	0	0	0	0	0	2	0	2	0	0	45	4	0	5	77	0	135	0	
3:30 PM	0	0	0	0	0	2	0	3	0	0	62	2	0	3	79	0	151	0	
3:45 PM	0	0	0	0	0	1	0	3	0	0	68	0	0	3	80	0	155	568	
4:00 PM	0	0	0	0	0	2	0	1	0	0	55	2	0	3	99	0	162	603	
4:15 PM	0	0	0	0	0	0	0	2	0	0	56	2	0	1	119	0	180	648	
4:30 PM	0	0	0	0	0	2	0	2	0	0	48	0	0	1	103	0	156	653	
4:45 PM	0	0	0	0	0	3	0	3	0	0	50	0	0	1	81	0	138	636	
5:00 PM	0	0	0	0	0	3	0	3	0	0	56	4	0	4	81	0	151	625	
5:15 PM	0	0	0	0	0	0	0	1	0	0	39	0	0	1	87	0	128	573	
5:30 PM	0	0	0	0	0	4	0	1	0	0	52	0	0	5	65	0	127	544	
5:45 PM	0	0	0	0	0	0	0	1	0	0	48	0	0	0	64	0	113	519	
Count Total	0	0	0	0	0	21	0	24	0	0	630	14	0	27	1,007	0	1,723	0	
Peak Hour	All	0	0	0	0	0	5	0	8	0	0	227	4	0	8	401	0	653	0
	HV	0	0	0	0	0	0	0	0	0	0	13	0	0	0	20	0	33	0
	HV%	-	-	-	-	-	0%	-	0%	-	-	6%	0%	-	0%	5%	-	5%	0

Note: Three-hour count summary volumes include heavy vehicles but exclude bicycles in overall count.

Interval Start	Heavy Vehicle Totals					Bicycles					Pedestrians (Crossing Leg)				
	EB	WB	NB	SB	Total	EB	WB	NB	SB	Total	East	West	North	South	Total
3:00 PM	0	0	6	3	9	0	0	0	0	0	0	0	0	0	0
3:15 PM	0	0	4	6	10	0	0	0	0	0	0	0	0	0	0
3:30 PM	0	0	4	7	11	0	0	0	0	0	0	0	0	0	0
3:45 PM	0	0	5	3	8	0	0	0	0	0	0	0	0	0	0
4:00 PM	0	0	3	7	10	0	0	0	0	0	0	0	0	0	0
4:15 PM	0	0	3	6	9	0	0	0	0	0	0	1	0	1	2
4:30 PM	0	0	2	4	6	0	0	0	1	1	0	0	0	0	0
4:45 PM	0	0	4	2	6	0	0	0	0	0	0	0	0	0	0
5:00 PM	0	0	3	3	6	0	0	0	0	0	0	0	0	0	0
5:15 PM	0	0	2	4	6	0	0	0	0	0	0	0	0	0	0
5:30 PM	0	0	3	2	5	0	0	0	0	0	0	1	0	0	1
5:45 PM	0	0	3	3	6	0	0	0	0	0	0	0	0	0	0
Count Total	0	0	42	50	92	0	0	0	1	1	0	2	0	1	3
Peak Hr	0	0	13	20	33	0	0	0	1	1	0	1	0	1	2

Three-Hour Count Summaries - Heavy Vehicles																		
Interval Start	N/A				PYRAMID AVE				317				317				15-min Total	Rolling One Hour
	Eastbound				Westbound				Northbound				Southbound					
	UT	LT	TH	RT	UT	LT	TH	RT	UT	LT	TH	RT	UT	LT	TH	RT		
3:00 PM	0	0	0	0	0	0	0	0	0	0	6	0	0	0	3	0	9	0
3:15 PM	0	0	0	0	0	0	0	0	0	0	4	0	0	0	6	0	10	0
3:30 PM	0	0	0	0	0	0	0	0	0	0	4	0	0	0	7	0	11	0
3:45 PM	0	0	0	0	0	0	0	0	0	0	5	0	0	0	3	0	8	38
4:00 PM	0	0	0	0	0	0	0	0	0	0	3	0	0	0	7	0	10	39
4:15 PM	0	0	0	0	0	0	0	0	0	0	3	0	0	0	6	0	9	38
4:30 PM	0	0	0	0	0	0	0	0	0	0	2	0	0	0	4	0	6	33
4:45 PM	0	0	0	0	0	0	0	0	0	0	4	0	0	0	2	0	6	31
5:00 PM	0	0	0	0	0	0	0	0	0	0	3	0	0	0	3	0	6	27
5:15 PM	0	0	0	0	0	0	0	0	0	0	2	0	0	0	4	0	6	24
5:30 PM	0	0	0	0	0	0	0	0	0	0	3	0	0	0	2	0	5	23
5:45 PM	0	0	0	0	0	0	0	0	0	0	3	0	0	0	3	0	6	23
Count Total	0	0	0	0	0	0	0	0	0	0	42	0	0	0	50	0	92	0
Peak Hour	0	0	0	0	0	0	0	0	0	0	13	0	0	0	20	0	33	0

Three-Hour Count Summaries - Bikes																		
Interval Start	N/A				PYRAMID AVE				317				317				15-min Total	Rolling One Hour
	Eastbound				Westbound				Northbound				Southbound					
	LT	TH	RT	RT	LT	TH	RT	RT	LT	TH	RT	RT	LT	TH	RT	RT		
3:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
3:15 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
3:30 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
3:45 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
4:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
4:15 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
4:30 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	1	0	1	1	1
4:45 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1
5:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1
5:15 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1
5:30 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
5:45 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Count Total	0	0	0	0	0	0	0	0	0	0	0	0	0	1	0	1	1	0
Peak Hour	0	0	0	0	0	0	0	0	0	0	0	0	0	1	0	1	1	0

Note: U-Turn volumes for bikes are included in Left-Turn, if any.

1: Gothic Rd & North Access
Year 2023 Existing AM.syn

Intersection						
Int Delay, s/veh	0					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	W		T			T
Traffic Vol, veh/h	0	0	302	0	0	186
Future Vol, veh/h	0	0	302	0	0	186
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	0	0	328	0	0	202

Major/Minor	Minor1	Major1	Major2			
Conflicting Flow All	530	328	0	0	328	0
Stage 1	328	-	-	-	-	-
Stage 2	202	-	-	-	-	-
Critical Hdwy	6.42	6.22	-	-	4.12	-
Critical Hdwy Stg 1	5.42	-	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-	-
Follow-up Hdwy	3.518	3.318	-	-	2.218	-
Pot Cap-1 Maneuver	510	713	-	-	1232	-
Stage 1	730	-	-	-	-	-
Stage 2	832	-	-	-	-	-
Platoon blocked, %			-	-		-
Mov Cap-1 Maneuver	510	713	-	-	1232	-
Mov Cap-2 Maneuver	510	-	-	-	-	-
Stage 1	730	-	-	-	-	-
Stage 2	832	-	-	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	0	0	0
HCM LOS	A		

Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT
Capacity (veh/h)	-	-	-	1232
HCM Lane V/C Ratio	-	-	-	-
HCM Control Delay (s)	-	-	0	0
HCM Lane LOS	-	-	A	A
HCM 95th %tile Q(veh)	-	-	-	0

2: Gothic Rd & HQ Access
Year 2023 Existing AM.syn

Intersection						
Int Delay, s/veh	0					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	↔		↑			↑
Traffic Vol, veh/h	0	0	302	0	0	186
Future Vol, veh/h	0	0	302	0	0	186
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	0	0	328	0	0	202

Major/Minor	Minor1	Major1	Major2			
Conflicting Flow All	530	328	0	-	-	-
Stage 1	328	-	-	-	-	-
Stage 2	202	-	-	-	-	-
Critical Hdwy	6.42	6.22	-	-	-	-
Critical Hdwy Stg 1	5.42	-	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-	-
Follow-up Hdwy	3.518	3.318	-	-	-	-
Pot Cap-1 Maneuver	510	713	-	0	0	-
Stage 1	730	-	-	0	0	-
Stage 2	832	-	-	0	0	-
Platoon blocked, %			-			-
Mov Cap-1 Maneuver	510	713	-	-	-	-
Mov Cap-2 Maneuver	510	-	-	-	-	-
Stage 1	730	-	-	-	-	-
Stage 2	832	-	-	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	0	0	0
HCM LOS	A		

Minor Lane/Major Mvmt	NBTWBLn1	SBT
Capacity (veh/h)	-	-
HCM Lane V/C Ratio	-	-
HCM Control Delay (s)	-	0
HCM Lane LOS	-	A
HCM 95th %tile Q(veh)	-	-

3: Gothic Rd & South Access
Year 2023 Existing AM.syn

Intersection						
Int Delay, s/veh	0					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations						
Traffic Vol, veh/h	0	0	302	0	0	186
Future Vol, veh/h	0	0	302	0	0	186
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	0	0	328	0	0	202

Major/Minor	Minor1	Major1	Major2		
Conflicting Flow All	530	328	0	0	328
Stage 1	328	-	-	-	-
Stage 2	202	-	-	-	-
Critical Hdwy	6.42	6.22	-	-	4.12
Critical Hdwy Stg 1	5.42	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-
Follow-up Hdwy	3.518	3.318	-	-	2.218
Pot Cap-1 Maneuver	510	713	-	-	1232
Stage 1	730	-	-	-	-
Stage 2	832	-	-	-	-
Platoon blocked, %			-	-	-
Mov Cap-1 Maneuver	510	713	-	-	1232
Mov Cap-2 Maneuver	510	-	-	-	-
Stage 1	730	-	-	-	-
Stage 2	832	-	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	0	0	0
HCM LOS	A		

Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT
Capacity (veh/h)	-	-	-	1232
HCM Lane V/C Ratio	-	-	-	-
HCM Control Delay (s)	-	-	0	0
HCM Lane LOS	-	-	A	A
HCM 95th %tile Q(veh)	-	-	-	0

1: Gothic Rd & North Access
Year 2023 Existing PM.syn

Intersection						
Int Delay, s/veh	0					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	W		T			T
Traffic Vol, veh/h	0	0	238	0	0	414
Future Vol, veh/h	0	0	238	0	0	414
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	0	0	259	0	0	450

Major/Minor	Minor1	Major1	Major2		
Conflicting Flow All	709	259	0	0	259
Stage 1	259	-	-	-	-
Stage 2	450	-	-	-	-
Critical Hdwy	6.42	6.22	-	-	4.12
Critical Hdwy Stg 1	5.42	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-
Follow-up Hdwy	3.518	3.318	-	-	2.218
Pot Cap-1 Maneuver	401	780	-	-	1306
Stage 1	784	-	-	-	-
Stage 2	642	-	-	-	-
Platoon blocked, %			-	-	-
Mov Cap-1 Maneuver	401	780	-	-	1306
Mov Cap-2 Maneuver	401	-	-	-	-
Stage 1	784	-	-	-	-
Stage 2	642	-	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	0	0	0
HCM LOS	A		

Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT
Capacity (veh/h)	-	-	-	1306
HCM Lane V/C Ratio	-	-	-	-
HCM Control Delay (s)	-	-	0	0
HCM Lane LOS	-	-	A	A
HCM 95th %tile Q(veh)	-	-	-	0

2: Gothic Rd & HQ Access
Year 2023 Existing PM.syn

Intersection						
Int Delay, s/veh	0					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	↔		↑			↑
Traffic Vol, veh/h	0	0	238	0	0	414
Future Vol, veh/h	0	0	238	0	0	414
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	0	0	259	0	0	450

Major/Minor	Minor1	Major1	Major2			
Conflicting Flow All	709	259	0	-	-	-
Stage 1	259	-	-	-	-	-
Stage 2	450	-	-	-	-	-
Critical Hdwy	6.42	6.22	-	-	-	-
Critical Hdwy Stg 1	5.42	-	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-	-
Follow-up Hdwy	3.518	3.318	-	-	-	-
Pot Cap-1 Maneuver	401	780	-	0	0	-
Stage 1	784	-	-	0	0	-
Stage 2	642	-	-	0	0	-
Platoon blocked, %			-			-
Mov Cap-1 Maneuver	401	780	-	-	-	-
Mov Cap-2 Maneuver	401	-	-	-	-	-
Stage 1	784	-	-	-	-	-
Stage 2	642	-	-	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	0	0	0
HCM LOS	A		

Minor Lane/Major Mvmt	NBTWBLn1	SBT
Capacity (veh/h)	-	-
HCM Lane V/C Ratio	-	-
HCM Control Delay (s)	-	0
HCM Lane LOS	-	A
HCM 95th %tile Q(veh)	-	-

3: Gothic Rd & South Access
 Year 2023 Existing PM.syn

Intersection						
Int Delay, s/veh	0					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	W		T			T
Traffic Vol, veh/h	0	0	238	0	0	414
Future Vol, veh/h	0	0	238	0	0	414
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	0	0	259	0	0	450

Major/Minor	Minor1	Major1	Major2		
Conflicting Flow All	709	259	0	0	259
Stage 1	259	-	-	-	-
Stage 2	450	-	-	-	-
Critical Hdwy	6.42	6.22	-	-	4.12
Critical Hdwy Stg 1	5.42	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-
Follow-up Hdwy	3.518	3.318	-	-	2.218
Pot Cap-1 Maneuver	401	780	-	-	1306
Stage 1	784	-	-	-	-
Stage 2	642	-	-	-	-
Platoon blocked, %			-	-	-
Mov Cap-1 Maneuver	401	780	-	-	1306
Mov Cap-2 Maneuver	401	-	-	-	-
Stage 1	784	-	-	-	-
Stage 2	642	-	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	0	0	0
HCM LOS	A		

Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT
Capacity (veh/h)	-	-	-	1306
HCM Lane V/C Ratio	-	-	-	-
HCM Control Delay (s)	-	-	0	0
HCM Lane LOS	-	-	A	A
HCM 95th %tile Q(veh)	-	-	-	0

1: Gothic Rd & North Access
Year 2023 Existing SAT.syn

Intersection						
Int Delay, s/veh	0					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	W		T			T
Traffic Vol, veh/h	0	0	233	0	0	519
Future Vol, veh/h	0	0	233	0	0	519
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	0	0	253	0	0	564

Major/Minor	Minor1	Major1	Major2		
Conflicting Flow All	817	253	0	0	253
Stage 1	253	-	-	-	-
Stage 2	564	-	-	-	-
Critical Hdwy	6.42	6.22	-	-	4.12
Critical Hdwy Stg 1	5.42	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-
Follow-up Hdwy	3.518	3.318	-	-	2.218
Pot Cap-1 Maneuver	346	786	-	-	1312
Stage 1	789	-	-	-	-
Stage 2	569	-	-	-	-
Platoon blocked, %			-	-	-
Mov Cap-1 Maneuver	346	786	-	-	1312
Mov Cap-2 Maneuver	346	-	-	-	-
Stage 1	789	-	-	-	-
Stage 2	569	-	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	0	0	0
HCM LOS	A		

Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT
Capacity (veh/h)	-	-	-	1312
HCM Lane V/C Ratio	-	-	-	-
HCM Control Delay (s)	-	-	0	0
HCM Lane LOS	-	-	A	A
HCM 95th %tile Q(veh)	-	-	-	0

2: Gothic Rd & HQ Access
 Year 2023 Existing SAT.syn

Intersection						
Int Delay, s/veh	0					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	↔		↑			↑
Traffic Vol, veh/h	0	0	233	0	0	519
Future Vol, veh/h	0	0	233	0	0	519
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	0	0	253	0	0	564

Major/Minor	Minor1	Major1	Major2			
Conflicting Flow All	817	253	0	-	-	-
Stage 1	253	-	-	-	-	-
Stage 2	564	-	-	-	-	-
Critical Hdwy	6.42	6.22	-	-	-	-
Critical Hdwy Stg 1	5.42	-	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-	-
Follow-up Hdwy	3.518	3.318	-	-	-	-
Pot Cap-1 Maneuver	346	786	-	0	0	-
Stage 1	789	-	-	0	0	-
Stage 2	569	-	-	0	0	-
Platoon blocked, %			-			-
Mov Cap-1 Maneuver	346	786	-	-	-	-
Mov Cap-2 Maneuver	346	-	-	-	-	-
Stage 1	789	-	-	-	-	-
Stage 2	569	-	-	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	0	0	0
HCM LOS	A		

Minor Lane/Major Mvmt	NBTWBLn1	SBT
Capacity (veh/h)	-	-
HCM Lane V/C Ratio	-	-
HCM Control Delay (s)	-	0
HCM Lane LOS	-	A
HCM 95th %tile Q(veh)	-	-

3: Gothic Rd & South Access
Year 2023 Existing SAT.syn

Intersection						
Int Delay, s/veh	0					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	W		T			T
Traffic Vol, veh/h	0	0	233	0	0	519
Future Vol, veh/h	0	0	233	0	0	519
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	0	0	253	0	0	564

Major/Minor	Minor1	Major1	Major2		
Conflicting Flow All	817	253	0	0	253
Stage 1	253	-	-	-	-
Stage 2	564	-	-	-	-
Critical Hdwy	6.42	6.22	-	-	4.12
Critical Hdwy Stg 1	5.42	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-
Follow-up Hdwy	3.518	3.318	-	-	2.218
Pot Cap-1 Maneuver	346	786	-	-	1312
Stage 1	789	-	-	-	-
Stage 2	569	-	-	-	-
Platoon blocked, %			-	-	-
Mov Cap-1 Maneuver	346	786	-	-	1312
Mov Cap-2 Maneuver	346	-	-	-	-
Stage 1	789	-	-	-	-
Stage 2	569	-	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	0	0	0
HCM LOS	A		

Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT
Capacity (veh/h)	-	-	-	1312
HCM Lane V/C Ratio	-	-	-	-
HCM Control Delay (s)	-	-	0	0
HCM Lane LOS	-	-	A	A
HCM 95th %tile Q(veh)	-	-	-	0

1: Gothic Rd & North Access
 Year 2024 BG AM.syn

Intersection						
Int Delay, s/veh	0					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	W		T			T
Traffic Vol, veh/h	0	0	305	0	0	189
Future Vol, veh/h	0	0	305	0	0	189
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	0	0	332	0	0	205

Major/Minor	Minor1	Major1	Major2			
Conflicting Flow All	537	332	0	0	332	0
Stage 1	332	-	-	-	-	-
Stage 2	205	-	-	-	-	-
Critical Hdwy	6.42	6.22	-	-	4.12	-
Critical Hdwy Stg 1	5.42	-	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-	-
Follow-up Hdwy	3.518	3.318	-	-	2.218	-
Pot Cap-1 Maneuver	505	710	-	-	1227	-
Stage 1	727	-	-	-	-	-
Stage 2	829	-	-	-	-	-
Platoon blocked, %			-	-	-	-
Mov Cap-1 Maneuver	505	710	-	-	1227	-
Mov Cap-2 Maneuver	505	-	-	-	-	-
Stage 1	727	-	-	-	-	-
Stage 2	829	-	-	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	0	0	0
HCM LOS	A		

Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT
Capacity (veh/h)	-	-	-	1227
HCM Lane V/C Ratio	-	-	-	-
HCM Control Delay (s)	-	-	0	0
HCM Lane LOS	-	-	A	A
HCM 95th %tile Q(veh)	-	-	-	0

2: Gothic Rd & HQ Access
 Year 2024 BG AM.syn

Intersection						
Int Delay, s/veh	0					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	↔		↑			↑
Traffic Vol, veh/h	0	0	305	0	0	189
Future Vol, veh/h	0	0	305	0	0	189
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	0	0	332	0	0	205

Major/Minor	Minor1	Major1	Major2			
Conflicting Flow All	537	332	0	-	-	-
Stage 1	332	-	-	-	-	-
Stage 2	205	-	-	-	-	-
Critical Hdwy	6.42	6.22	-	-	-	-
Critical Hdwy Stg 1	5.42	-	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-	-
Follow-up Hdwy	3.518	3.318	-	-	-	-
Pot Cap-1 Maneuver	505	710	-	0	0	-
Stage 1	727	-	-	0	0	-
Stage 2	829	-	-	0	0	-
Platoon blocked, %			-			-
Mov Cap-1 Maneuver	505	710	-	-	-	-
Mov Cap-2 Maneuver	505	-	-	-	-	-
Stage 1	727	-	-	-	-	-
Stage 2	829	-	-	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	0	0	0
HCM LOS	A		

Minor Lane/Major Mvmt	NBTWBLn1	SBT
Capacity (veh/h)	-	-
HCM Lane V/C Ratio	-	-
HCM Control Delay (s)	-	0
HCM Lane LOS	-	A
HCM 95th %tile Q(veh)	-	-

3: Gothic Rd & South Access
 Year 2024 BG AM.syn

Intersection						
Int Delay, s/veh	0					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	W		T			T
Traffic Vol, veh/h	0	0	305	0	0	189
Future Vol, veh/h	0	0	305	0	0	189
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	0	0	332	0	0	205

Major/Minor	Minor1	Major1	Major2			
Conflicting Flow All	537	332	0	0	332	0
Stage 1	332	-	-	-	-	-
Stage 2	205	-	-	-	-	-
Critical Hdwy	6.42	6.22	-	-	4.12	-
Critical Hdwy Stg 1	5.42	-	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-	-
Follow-up Hdwy	3.518	3.318	-	-	2.218	-
Pot Cap-1 Maneuver	505	710	-	-	1227	-
Stage 1	727	-	-	-	-	-
Stage 2	829	-	-	-	-	-
Platoon blocked, %			-	-	-	-
Mov Cap-1 Maneuver	505	710	-	-	1227	-
Mov Cap-2 Maneuver	505	-	-	-	-	-
Stage 1	727	-	-	-	-	-
Stage 2	829	-	-	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	0	0	0
HCM LOS	A		

Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT
Capacity (veh/h)	-	-	-	1227
HCM Lane V/C Ratio	-	-	-	-
HCM Control Delay (s)	-	-	0	0
HCM Lane LOS	-	-	A	A
HCM 95th %tile Q(veh)	-	-	-	0

1: Gothic Rd & North Access
 Year 2024 BG PM.syn

Intersection						
Int Delay, s/veh	0					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	TT		TT			TT
Traffic Vol, veh/h	0	0	241	0	0	419
Future Vol, veh/h	0	0	241	0	0	419
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	0	0	262	0	0	455

Major/Minor	Minor1	Major1	Major2			
Conflicting Flow All	717	262	0	0	262	0
Stage 1	262	-	-	-	-	-
Stage 2	455	-	-	-	-	-
Critical Hdwy	6.42	6.22	-	-	4.12	-
Critical Hdwy Stg 1	5.42	-	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-	-
Follow-up Hdwy	3.518	3.318	-	-	2.218	-
Pot Cap-1 Maneuver	396	777	-	-	1302	-
Stage 1	782	-	-	-	-	-
Stage 2	639	-	-	-	-	-
Platoon blocked, %			-	-	-	-
Mov Cap-1 Maneuver	396	777	-	-	1302	-
Mov Cap-2 Maneuver	396	-	-	-	-	-
Stage 1	782	-	-	-	-	-
Stage 2	639	-	-	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	0	0	0
HCM LOS	A		

Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT
Capacity (veh/h)	-	-	-	1302
HCM Lane V/C Ratio	-	-	-	-
HCM Control Delay (s)	-	-	0	0
HCM Lane LOS	-	-	A	A
HCM 95th %tile Q(veh)	-	-	-	0

2: Gothic Rd & HQ Access
 Year 2024 BG PM.syn

Intersection						
Int Delay, s/veh	0					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	↔		↑			↑
Traffic Vol, veh/h	0	0	241	0	0	419
Future Vol, veh/h	0	0	241	0	0	419
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	0	0	262	0	0	455

Major/Minor	Minor1	Major1	Major2			
Conflicting Flow All	717	262	0	-	-	-
Stage 1	262	-	-	-	-	-
Stage 2	455	-	-	-	-	-
Critical Hdwy	6.42	6.22	-	-	-	-
Critical Hdwy Stg 1	5.42	-	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-	-
Follow-up Hdwy	3.518	3.318	-	-	-	-
Pot Cap-1 Maneuver	396	777	-	0	0	-
Stage 1	782	-	-	0	0	-
Stage 2	639	-	-	0	0	-
Platoon blocked, %			-			-
Mov Cap-1 Maneuver	396	777	-	-	-	-
Mov Cap-2 Maneuver	396	-	-	-	-	-
Stage 1	782	-	-	-	-	-
Stage 2	639	-	-	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	0	0	0
HCM LOS	A		

Minor Lane/Major Mvmt	NBTWBLn1	SBT
Capacity (veh/h)	-	-
HCM Lane V/C Ratio	-	-
HCM Control Delay (s)	-	0
HCM Lane LOS	-	A
HCM 95th %tile Q(veh)	-	-

3: Gothic Rd & South Access
 Year 2024 BG PM.syn

Intersection						
Int Delay, s/veh	0					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	W		T			T
Traffic Vol, veh/h	0	0	241	0	0	419
Future Vol, veh/h	0	0	241	0	0	419
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	0	0	262	0	0	455

Major/Minor	Minor1	Major1	Major2			
Conflicting Flow All	717	262	0	0	262	0
Stage 1	262	-	-	-	-	-
Stage 2	455	-	-	-	-	-
Critical Hdwy	6.42	6.22	-	-	4.12	-
Critical Hdwy Stg 1	5.42	-	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-	-
Follow-up Hdwy	3.518	3.318	-	-	2.218	-
Pot Cap-1 Maneuver	396	777	-	-	1302	-
Stage 1	782	-	-	-	-	-
Stage 2	639	-	-	-	-	-
Platoon blocked, %			-	-	-	-
Mov Cap-1 Maneuver	396	777	-	-	1302	-
Mov Cap-2 Maneuver	396	-	-	-	-	-
Stage 1	782	-	-	-	-	-
Stage 2	639	-	-	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	0	0	0
HCM LOS	A		

Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT
Capacity (veh/h)	-	-	-	1302
HCM Lane V/C Ratio	-	-	-	-
HCM Control Delay (s)	-	-	0	0
HCM Lane LOS	-	-	A	A
HCM 95th %tile Q(veh)	-	-	-	0

1: Gothic Rd & North Access
 Year 2024 BG SAT.syn

Intersection						
Int Delay, s/veh	0					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	TT		TT			TT
Traffic Vol, veh/h	0	0	236	0	0	526
Future Vol, veh/h	0	0	236	0	0	526
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	0	0	257	0	0	572

Major/Minor	Minor1	Major1	Major2		
Conflicting Flow All	829	257	0	0	257
Stage 1	257	-	-	-	-
Stage 2	572	-	-	-	-
Critical Hdwy	6.42	6.22	-	-	4.12
Critical Hdwy Stg 1	5.42	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-
Follow-up Hdwy	3.518	3.318	-	-	2.218
Pot Cap-1 Maneuver	340	782	-	-	1308
Stage 1	786	-	-	-	-
Stage 2	565	-	-	-	-
Platoon blocked, %			-	-	-
Mov Cap-1 Maneuver	340	782	-	-	1308
Mov Cap-2 Maneuver	340	-	-	-	-
Stage 1	786	-	-	-	-
Stage 2	565	-	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	0	0	0
HCM LOS	A		

Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT
Capacity (veh/h)	-	-	-	1308
HCM Lane V/C Ratio	-	-	-	-
HCM Control Delay (s)	-	-	0	0
HCM Lane LOS	-	-	A	A
HCM 95th %tile Q(veh)	-	-	-	0

2: Gothic Rd & HQ Access
 Year 2024 BG SAT.syn

Intersection						
Int Delay, s/veh	0					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	↘↗		↑			↑
Traffic Vol, veh/h	0	0	236	0	0	526
Future Vol, veh/h	0	0	236	0	0	526
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	0	0	257	0	0	572

Major/Minor	Minor1	Major1	Major2			
Conflicting Flow All	829	257	0	-	-	-
Stage 1	257	-	-	-	-	-
Stage 2	572	-	-	-	-	-
Critical Hdwy	6.42	6.22	-	-	-	-
Critical Hdwy Stg 1	5.42	-	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-	-
Follow-up Hdwy	3.518	3.318	-	-	-	-
Pot Cap-1 Maneuver	340	782	-	0	0	-
Stage 1	786	-	-	0	0	-
Stage 2	565	-	-	0	0	-
Platoon blocked, %			-			-
Mov Cap-1 Maneuver	340	782	-	-	-	-
Mov Cap-2 Maneuver	340	-	-	-	-	-
Stage 1	786	-	-	-	-	-
Stage 2	565	-	-	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	0	0	0
HCM LOS	A		

Minor Lane/Major Mvmt	NBTWBLn1	SBT
Capacity (veh/h)	-	-
HCM Lane V/C Ratio	-	-
HCM Control Delay (s)	-	0
HCM Lane LOS	-	A
HCM 95th %tile Q(veh)	-	-

3: Gothic Rd & South Access
 Year 2024 BG SAT.syn

Intersection						
Int Delay, s/veh	0					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	W		T			T
Traffic Vol, veh/h	0	0	236	0	0	526
Future Vol, veh/h	0	0	236	0	0	526
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	0	0	257	0	0	572

Major/Minor	Minor1	Major1	Major2		
Conflicting Flow All	829	257	0	0	257
Stage 1	257	-	-	-	-
Stage 2	572	-	-	-	-
Critical Hdwy	6.42	6.22	-	-	4.12
Critical Hdwy Stg 1	5.42	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-
Follow-up Hdwy	3.518	3.318	-	-	2.218
Pot Cap-1 Maneuver	340	782	-	-	1308
Stage 1	786	-	-	-	-
Stage 2	565	-	-	-	-
Platoon blocked, %			-	-	-
Mov Cap-1 Maneuver	340	782	-	-	1308
Mov Cap-2 Maneuver	340	-	-	-	-
Stage 1	786	-	-	-	-
Stage 2	565	-	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	0	0	0
HCM LOS	A		

Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT
Capacity (veh/h)	-	-	-	1308
HCM Lane V/C Ratio	-	-	-	-
HCM Control Delay (s)	-	-	0	0
HCM Lane LOS	-	-	A	A
HCM 95th %tile Q(veh)	-	-	-	0

1: Gothic Rd & North Access
 Year 2045 BG AM.syn

Intersection						
Int Delay, s/veh	0					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	W		T			T
Traffic Vol, veh/h	0	0	396	0	0	244
Future Vol, veh/h	0	0	396	0	0	244
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	0	0	430	0	0	265

Major/Minor	Minor1	Major1	Major2			
Conflicting Flow All	695	430	0	0	430	0
Stage 1	430	-	-	-	-	-
Stage 2	265	-	-	-	-	-
Critical Hdwy	6.42	6.22	-	-	4.12	-
Critical Hdwy Stg 1	5.42	-	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-	-
Follow-up Hdwy	3.518	3.318	-	-	2.218	-
Pot Cap-1 Maneuver	408	625	-	-	1129	-
Stage 1	656	-	-	-	-	-
Stage 2	779	-	-	-	-	-
Platoon blocked, %			-	-		-
Mov Cap-1 Maneuver	408	625	-	-	1129	-
Mov Cap-2 Maneuver	408	-	-	-	-	-
Stage 1	656	-	-	-	-	-
Stage 2	779	-	-	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	0	0	0
HCM LOS	A		

Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT
Capacity (veh/h)	-	-	-	1129
HCM Lane V/C Ratio	-	-	-	-
HCM Control Delay (s)	-	-	0	0
HCM Lane LOS	-	-	A	A
HCM 95th %tile Q(veh)	-	-	-	0

2: Gothic Rd & HQ Access
 Year 2045 BG AM.syn

Intersection						
Int Delay, s/veh	0					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	↘↗		↑			↑
Traffic Vol, veh/h	0	0	396	0	0	244
Future Vol, veh/h	0	0	396	0	0	244
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	0	0	430	0	0	265

Major/Minor	Minor1	Major1	Major2			
Conflicting Flow All	695	430	0	-	-	-
Stage 1	430	-	-	-	-	-
Stage 2	265	-	-	-	-	-
Critical Hdwy	6.42	6.22	-	-	-	-
Critical Hdwy Stg 1	5.42	-	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-	-
Follow-up Hdwy	3.518	3.318	-	-	-	-
Pot Cap-1 Maneuver	408	625	-	0	0	-
Stage 1	656	-	-	0	0	-
Stage 2	779	-	-	0	0	-
Platoon blocked, %			-			-
Mov Cap-1 Maneuver	408	625	-	-	-	-
Mov Cap-2 Maneuver	408	-	-	-	-	-
Stage 1	656	-	-	-	-	-
Stage 2	779	-	-	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	0	0	0
HCM LOS	A		

Minor Lane/Major Mvmt	NBTWBLn1	SBT
Capacity (veh/h)	-	-
HCM Lane V/C Ratio	-	-
HCM Control Delay (s)	-	0
HCM Lane LOS	-	A
HCM 95th %tile Q(veh)	-	-

3: Gothic Rd & South Access
 Year 2045 BG AM.syn

Intersection						
Int Delay, s/veh	0					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	W		T			T
Traffic Vol, veh/h	0	0	396	0	0	244
Future Vol, veh/h	0	0	396	0	0	244
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	0	0	430	0	0	265

Major/Minor	Minor1	Major1	Major2		
Conflicting Flow All	695	430	0	0	430
Stage 1	430	-	-	-	-
Stage 2	265	-	-	-	-
Critical Hdwy	6.42	6.22	-	-	4.12
Critical Hdwy Stg 1	5.42	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-
Follow-up Hdwy	3.518	3.318	-	-	2.218
Pot Cap-1 Maneuver	408	625	-	-	1129
Stage 1	656	-	-	-	-
Stage 2	779	-	-	-	-
Platoon blocked, %			-	-	-
Mov Cap-1 Maneuver	408	625	-	-	1129
Mov Cap-2 Maneuver	408	-	-	-	-
Stage 1	656	-	-	-	-
Stage 2	779	-	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	0	0	0
HCM LOS	A		

Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT
Capacity (veh/h)	-	-	-	1129
HCM Lane V/C Ratio	-	-	-	-
HCM Control Delay (s)	-	-	0	0
HCM Lane LOS	-	-	A	A
HCM 95th %tile Q(veh)	-	-	-	0

1: Gothic Rd & North Access
 Year 2045 BG PM.syn

Intersection						
Int Delay, s/veh	0					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	TT		TT			TT
Traffic Vol, veh/h	0	0	312	0	0	543
Future Vol, veh/h	0	0	312	0	0	543
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	0	0	339	0	0	590

Major/Minor	Minor1	Major1	Major2		
Conflicting Flow All	929	339	0	0	339
Stage 1	339	-	-	-	-
Stage 2	590	-	-	-	-
Critical Hdwy	6.42	6.22	-	-	4.12
Critical Hdwy Stg 1	5.42	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-
Follow-up Hdwy	3.518	3.318	-	-	2.218
Pot Cap-1 Maneuver	297	703	-	-	1220
Stage 1	722	-	-	-	-
Stage 2	554	-	-	-	-
Platoon blocked, %			-	-	-
Mov Cap-1 Maneuver	297	703	-	-	1220
Mov Cap-2 Maneuver	297	-	-	-	-
Stage 1	722	-	-	-	-
Stage 2	554	-	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	0	0	0
HCM LOS	A		

Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT
Capacity (veh/h)	-	-	-	1220
HCM Lane V/C Ratio	-	-	-	-
HCM Control Delay (s)	-	-	0	0
HCM Lane LOS	-	-	A	A
HCM 95th %tile Q(veh)	-	-	-	0

2: Gothic Rd & HQ Access
 Year 2045 BG PM.syn

Intersection						
Int Delay, s/veh	0					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	↘↗		↑			↑
Traffic Vol, veh/h	0	0	312	0	0	543
Future Vol, veh/h	0	0	312	0	0	543
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	0	0	339	0	0	590

Major/Minor	Minor1	Major1	Major2			
Conflicting Flow All	929	339	0	-	-	-
Stage 1	339	-	-	-	-	-
Stage 2	590	-	-	-	-	-
Critical Hdwy	6.42	6.22	-	-	-	-
Critical Hdwy Stg 1	5.42	-	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-	-
Follow-up Hdwy	3.518	3.318	-	-	-	-
Pot Cap-1 Maneuver	297	703	-	0	0	-
Stage 1	722	-	-	0	0	-
Stage 2	554	-	-	0	0	-
Platoon blocked, %			-			-
Mov Cap-1 Maneuver	297	703	-	-	-	-
Mov Cap-2 Maneuver	297	-	-	-	-	-
Stage 1	722	-	-	-	-	-
Stage 2	554	-	-	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	0	0	0
HCM LOS	A		

Minor Lane/Major Mvmt	NBTWBLn1	SBT
Capacity (veh/h)	-	-
HCM Lane V/C Ratio	-	-
HCM Control Delay (s)	-	0
HCM Lane LOS	-	A
HCM 95th %tile Q(veh)	-	-

3: Gothic Rd & South Access
 Year 2045 BG PM.syn

Intersection						
Int Delay, s/veh	0					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	TT		TT			TT
Traffic Vol, veh/h	0	0	312	0	0	543
Future Vol, veh/h	0	0	312	0	0	543
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	0	0	339	0	0	590

Major/Minor	Minor1	Major1	Major2		
Conflicting Flow All	929	339	0	0	339
Stage 1	339	-	-	-	-
Stage 2	590	-	-	-	-
Critical Hdwy	6.42	6.22	-	-	4.12
Critical Hdwy Stg 1	5.42	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-
Follow-up Hdwy	3.518	3.318	-	-	2.218
Pot Cap-1 Maneuver	297	703	-	-	1220
Stage 1	722	-	-	-	-
Stage 2	554	-	-	-	-
Platoon blocked, %			-	-	-
Mov Cap-1 Maneuver	297	703	-	-	1220
Mov Cap-2 Maneuver	297	-	-	-	-
Stage 1	722	-	-	-	-
Stage 2	554	-	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	0	0	0
HCM LOS	A		

Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT
Capacity (veh/h)	-	-	-	1220
HCM Lane V/C Ratio	-	-	-	-
HCM Control Delay (s)	-	-	0	0
HCM Lane LOS	-	-	A	A
HCM 95th %tile Q(veh)	-	-	-	0

1: Gothic Rd & North Access
 Year 2045 BG SAT.syn

Intersection						
Int Delay, s/veh	0					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	TT		TT			TT
Traffic Vol, veh/h	0	0	305	0	0	681
Future Vol, veh/h	0	0	305	0	0	681
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	0	0	332	0	0	740

Major/Minor	Minor1	Major1	Major2			
Conflicting Flow All	1072	332	0	0	332	0
Stage 1	332	-	-	-	-	-
Stage 2	740	-	-	-	-	-
Critical Hdwy	6.42	6.22	-	-	4.12	-
Critical Hdwy Stg 1	5.42	-	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-	-
Follow-up Hdwy	3.518	3.318	-	-	2.218	-
Pot Cap-1 Maneuver	244	710	-	-	1227	-
Stage 1	727	-	-	-	-	-
Stage 2	472	-	-	-	-	-
Platoon blocked, %			-	-		-
Mov Cap-1 Maneuver	244	710	-	-	1227	-
Mov Cap-2 Maneuver	244	-	-	-	-	-
Stage 1	727	-	-	-	-	-
Stage 2	472	-	-	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	0	0	0
HCM LOS	A		

Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT
Capacity (veh/h)	-	-	-	1227
HCM Lane V/C Ratio	-	-	-	-
HCM Control Delay (s)	-	-	0	0
HCM Lane LOS	-	-	A	A
HCM 95th %tile Q(veh)	-	-	-	0

2: Gothic Rd & HQ Access
 Year 2045 BG SAT.syn

Intersection						
Int Delay, s/veh	0					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	↔		↑			↑
Traffic Vol, veh/h	0	0	305	0	0	681
Future Vol, veh/h	0	0	305	0	0	681
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	0	0	332	0	0	740

Major/Minor	Minor1	Major1	Major2			
Conflicting Flow All	1072	332	0	-	-	-
Stage 1	332	-	-	-	-	-
Stage 2	740	-	-	-	-	-
Critical Hdwy	6.42	6.22	-	-	-	-
Critical Hdwy Stg 1	5.42	-	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-	-
Follow-up Hdwy	3.518	3.318	-	-	-	-
Pot Cap-1 Maneuver	244	710	-	0	0	-
Stage 1	727	-	-	0	0	-
Stage 2	472	-	-	0	0	-
Platoon blocked, %			-			-
Mov Cap-1 Maneuver	244	710	-	-	-	-
Mov Cap-2 Maneuver	244	-	-	-	-	-
Stage 1	727	-	-	-	-	-
Stage 2	472	-	-	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	0	0	0
HCM LOS	A		

Minor Lane/Major Mvmt	NBTWBLn1	SBT
Capacity (veh/h)	-	-
HCM Lane V/C Ratio	-	-
HCM Control Delay (s)	-	0
HCM Lane LOS	-	A
HCM 95th %tile Q(veh)	-	-

3: Gothic Rd & South Access
 Year 2045 BG SAT.syn

Intersection						
Int Delay, s/veh	0					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	TT		TT			TT
Traffic Vol, veh/h	0	0	305	0	0	681
Future Vol, veh/h	0	0	305	0	0	681
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	0	0	332	0	0	740

Major/Minor	Minor1	Major1	Major2			
Conflicting Flow All	1072	332	0	0	332	0
Stage 1	332	-	-	-	-	-
Stage 2	740	-	-	-	-	-
Critical Hdwy	6.42	6.22	-	-	4.12	-
Critical Hdwy Stg 1	5.42	-	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-	-
Follow-up Hdwy	3.518	3.318	-	-	2.218	-
Pot Cap-1 Maneuver	244	710	-	-	1227	-
Stage 1	727	-	-	-	-	-
Stage 2	472	-	-	-	-	-
Platoon blocked, %			-	-		-
Mov Cap-1 Maneuver	244	710	-	-	1227	-
Mov Cap-2 Maneuver	244	-	-	-	-	-
Stage 1	727	-	-	-	-	-
Stage 2	472	-	-	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	0	0	0
HCM LOS	A		

Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT
Capacity (veh/h)	-	-	-	1227
HCM Lane V/C Ratio	-	-	-	-
HCM Control Delay (s)	-	-	0	0
HCM Lane LOS	-	-	A	A
HCM 95th %tile Q(veh)	-	-	-	0

1: Gothic Rd & North Access
Year 2024 Total AM.syn

Intersection						
Int Delay, s/veh	0.2					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	W		T			T
Traffic Vol, veh/h	8	1	307	5	0	189
Future Vol, veh/h	8	1	307	5	0	189
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	9	1	334	5	0	205

Major/Minor	Minor1	Major1	Major2			
Conflicting Flow All	542	337	0	0	339	0
Stage 1	337	-	-	-	-	-
Stage 2	205	-	-	-	-	-
Critical Hdwy	6.42	6.22	-	-	4.12	-
Critical Hdwy Stg 1	5.42	-	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-	-
Follow-up Hdwy	3.518	3.318	-	-	2.218	-
Pot Cap-1 Maneuver	501	705	-	-	1220	-
Stage 1	723	-	-	-	-	-
Stage 2	829	-	-	-	-	-
Platoon blocked, %			-	-	-	-
Mov Cap-1 Maneuver	501	705	-	-	1220	-
Mov Cap-2 Maneuver	501	-	-	-	-	-
Stage 1	723	-	-	-	-	-
Stage 2	829	-	-	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	12.1	0	0
HCM LOS	B		

Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT
Capacity (veh/h)	-	-	518	1220
HCM Lane V/C Ratio	-	-	0.019	-
HCM Control Delay (s)	-	-	12.1	0
HCM Lane LOS	-	-	B	A
HCM 95th %tile Q(veh)	-	-	0.1	0

2: Gothic Rd & HQ Access
 Year 2024 Total AM.syn

Intersection						
Int Delay, s/veh	0.1					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	↔		↑			↑
Traffic Vol, veh/h	2	1	312	0	0	198
Future Vol, veh/h	2	1	312	0	0	198
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	2	1	339	0	0	215

Major/Minor	Minor1	Major1	Major2			
Conflicting Flow All	554	339	0	-	-	-
Stage 1	339	-	-	-	-	-
Stage 2	215	-	-	-	-	-
Critical Hdwy	6.42	6.22	-	-	-	-
Critical Hdwy Stg 1	5.42	-	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-	-
Follow-up Hdwy	3.518	3.318	-	-	-	-
Pot Cap-1 Maneuver	493	703	-	0	0	-
Stage 1	722	-	-	0	0	-
Stage 2	821	-	-	0	0	-
Platoon blocked, %			-			-
Mov Cap-1 Maneuver	493	703	-	-	-	-
Mov Cap-2 Maneuver	493	-	-	-	-	-
Stage 1	722	-	-	-	-	-
Stage 2	821	-	-	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	11.6	0	0
HCM LOS	B		

Minor Lane/Major Mvmt	NBTWBLn1	SBT
Capacity (veh/h)	- 548	-
HCM Lane V/C Ratio	- 0.006	-
HCM Control Delay (s)	- 11.6	-
HCM Lane LOS	- B	-
HCM 95th %tile Q(veh)	- 0	-

3: Gothic Rd & South Access
 Year 2024 Total AM.syn

Intersection						
Int Delay, s/veh	0.1					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	W	R	T	R	L	T
Traffic Vol, veh/h	5	1	310	3	0	199
Future Vol, veh/h	5	1	310	3	0	199
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	5	1	337	3	0	216

Major/Minor	Minor1	Major1	Major2		
Conflicting Flow All	555	339	0	0	340
Stage 1	339	-	-	-	-
Stage 2	216	-	-	-	-
Critical Hdwy	6.42	6.22	-	-	4.12
Critical Hdwy Stg 1	5.42	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-
Follow-up Hdwy	3.518	3.318	-	-	2.218
Pot Cap-1 Maneuver	493	703	-	-	1219
Stage 1	722	-	-	-	-
Stage 2	820	-	-	-	-
Platoon blocked, %			-	-	-
Mov Cap-1 Maneuver	493	703	-	-	1219
Mov Cap-2 Maneuver	493	-	-	-	-
Stage 1	722	-	-	-	-
Stage 2	820	-	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	12	0	0
HCM LOS	B		

Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT
Capacity (veh/h)	-	-	519	1219
HCM Lane V/C Ratio	-	-	0.013	-
HCM Control Delay (s)	-	-	12	0
HCM Lane LOS	-	-	B	A
HCM 95th %tile Q(veh)	-	-	0	0

1: Gothic Rd & North Access
Year 2024 Total PM.syn

Intersection						
Int Delay, s/veh	0.1					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	W		T			T
Traffic Vol, veh/h	4	0	242	23	4	421
Future Vol, veh/h	4	0	242	23	4	421
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	4	0	263	25	4	458

Major/Minor	Minor1	Major1	Major2		
Conflicting Flow All	742	276	0	0	288
Stage 1	276	-	-	-	-
Stage 2	466	-	-	-	-
Critical Hdwy	6.42	6.22	-	-	4.12
Critical Hdwy Stg 1	5.42	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-
Follow-up Hdwy	3.518	3.318	-	-	2.218
Pot Cap-1 Maneuver	383	763	-	-	1274
Stage 1	771	-	-	-	-
Stage 2	632	-	-	-	-
Platoon blocked, %			-	-	-
Mov Cap-1 Maneuver	381	763	-	-	1274
Mov Cap-2 Maneuver	381	-	-	-	-
Stage 1	768	-	-	-	-
Stage 2	632	-	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	14.6	0	0.1
HCM LOS	B		

Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT
Capacity (veh/h)	-	-	381	1274
HCM Lane V/C Ratio	-	-	0.011	0.003
HCM Control Delay (s)	-	-	14.6	7.8
HCM Lane LOS	-	-	B	A
HCM 95th %tile Q(veh)	-	-	0	0

2: Gothic Rd & HQ Access
Year 2024 Total PM.syn

Intersection						
Int Delay, s/veh	0.1					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	↘↗		↑			↑
Traffic Vol, veh/h	2	1	264	0	0	425
Future Vol, veh/h	2	1	264	0	0	425
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	2	1	287	0	0	462

Major/Minor	Minor1	Major1	Major2			
Conflicting Flow All	749	287	0	-	-	-
Stage 1	287	-	-	-	-	-
Stage 2	462	-	-	-	-	-
Critical Hdwy	6.42	6.22	-	-	-	-
Critical Hdwy Stg 1	5.42	-	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-	-
Follow-up Hdwy	3.518	3.318	-	-	-	-
Pot Cap-1 Maneuver	379	752	-	0	0	-
Stage 1	762	-	-	0	0	-
Stage 2	634	-	-	0	0	-
Platoon blocked, %			-			-
Mov Cap-1 Maneuver	379	752	-	-	-	-
Mov Cap-2 Maneuver	379	-	-	-	-	-
Stage 1	762	-	-	-	-	-
Stage 2	634	-	-	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	13	0	0
HCM LOS	B		

Minor Lane/Major Mvmt	NBTWBLn1	SBT
Capacity (veh/h)	- 454	-
HCM Lane V/C Ratio	- 0.007	-
HCM Control Delay (s)	- 13	-
HCM Lane LOS	- B	-
HCM 95th %tile Q(veh)	- 0	-

3: Gothic Rd & South Access
Year 2024 Total PM.syn

Intersection						
Int Delay, s/veh	0					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	W		T			T
Traffic Vol, veh/h	1	0	264	7	2	425
Future Vol, veh/h	1	0	264	7	2	425
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	1	0	287	8	2	462

Major/Minor	Minor1	Major1	Major2		
Conflicting Flow All	757	291	0	0	295
Stage 1	291	-	-	-	-
Stage 2	466	-	-	-	-
Critical Hdwy	6.42	6.22	-	-	4.12
Critical Hdwy Stg 1	5.42	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-
Follow-up Hdwy	3.518	3.318	-	-	2.218
Pot Cap-1 Maneuver	375	748	-	-	1266
Stage 1	759	-	-	-	-
Stage 2	632	-	-	-	-
Platoon blocked, %			-	-	-
Mov Cap-1 Maneuver	374	748	-	-	1266
Mov Cap-2 Maneuver	374	-	-	-	-
Stage 1	757	-	-	-	-
Stage 2	632	-	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	14.7	0	0
HCM LOS	B		

Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT
Capacity (veh/h)	-	-	374	1266
HCM Lane V/C Ratio	-	-	0.003	0.002
HCM Control Delay (s)	-	-	14.7	7.8
HCM Lane LOS	-	-	B	A
HCM 95th %tile Q(veh)	-	-	0	0

1: Gothic Rd & North Access
Year 2024 Total SAT.syn

Intersection						
Int Delay, s/veh	0.2					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	W		T			T
Traffic Vol, veh/h	6	0	237	26	4	528
Future Vol, veh/h	6	0	237	26	4	528
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	7	0	258	28	4	574

Major/Minor	Minor1	Major1	Major2		
Conflicting Flow All	854	272	0	0	286
Stage 1	272	-	-	-	-
Stage 2	582	-	-	-	-
Critical Hdwy	6.42	6.22	-	-	4.12
Critical Hdwy Stg 1	5.42	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-
Follow-up Hdwy	3.518	3.318	-	-	2.218
Pot Cap-1 Maneuver	329	767	-	-	1276
Stage 1	774	-	-	-	-
Stage 2	559	-	-	-	-
Platoon blocked, %			-	-	-
Mov Cap-1 Maneuver	327	767	-	-	1276
Mov Cap-2 Maneuver	327	-	-	-	-
Stage 1	770	-	-	-	-
Stage 2	559	-	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	16.2	0	0.1
HCM LOS	C		

Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT
Capacity (veh/h)	-	-	327	1276
HCM Lane V/C Ratio	-	-	0.02	0.003
HCM Control Delay (s)	-	-	16.2	7.8
HCM Lane LOS	-	-	C	A
HCM 95th %tile Q(veh)	-	-	0.1	0

2: Gothic Rd & HQ Access
 Year 2024 Total SAT.syn

Intersection						
Int Delay, s/veh	0.1					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	↔		↑			↑
Traffic Vol, veh/h	2	1	263	0	0	535
Future Vol, veh/h	2	1	263	0	0	535
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	2	1	286	0	0	582

Major/Minor	Minor1	Major1	Major2			
Conflicting Flow All	868	286	0	-	-	-
Stage 1	286	-	-	-	-	-
Stage 2	582	-	-	-	-	-
Critical Hdwy	6.42	6.22	-	-	-	-
Critical Hdwy Stg 1	5.42	-	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-	-
Follow-up Hdwy	3.518	3.318	-	-	-	-
Pot Cap-1 Maneuver	323	753	-	0	0	-
Stage 1	763	-	-	0	0	-
Stage 2	559	-	-	0	0	-
Platoon blocked, %			-			-
Mov Cap-1 Maneuver	323	753	-	-	-	-
Mov Cap-2 Maneuver	323	-	-	-	-	-
Stage 1	763	-	-	-	-	-
Stage 2	559	-	-	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	14.1	0	0
HCM LOS	B		

Minor Lane/Major Mvmt	NBTWBLn1	SBT
Capacity (veh/h)	- 399	-
HCM Lane V/C Ratio	- 0.008	-
HCM Control Delay (s)	- 14.1	-
HCM Lane LOS	- B	-
HCM 95th %tile Q(veh)	- 0	-

3: Gothic Rd & South Access
Year 2024 Total SAT.syn

Intersection						
Int Delay, s/veh	0.1					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	W		T			T
Traffic Vol, veh/h	3	0	262	9	2	534
Future Vol, veh/h	3	0	262	9	2	534
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	3	0	285	10	2	580

Major/Minor	Minor1	Major1	Major2		
Conflicting Flow All	874	290	0	0	295
Stage 1	290	-	-	-	-
Stage 2	584	-	-	-	-
Critical Hdwy	6.42	6.22	-	-	4.12
Critical Hdwy Stg 1	5.42	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-
Follow-up Hdwy	3.518	3.318	-	-	2.218
Pot Cap-1 Maneuver	320	749	-	-	1266
Stage 1	759	-	-	-	-
Stage 2	557	-	-	-	-
Platoon blocked, %			-	-	-
Mov Cap-1 Maneuver	319	749	-	-	1266
Mov Cap-2 Maneuver	319	-	-	-	-
Stage 1	757	-	-	-	-
Stage 2	557	-	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	16.4	0	0
HCM LOS	C		

Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT
Capacity (veh/h)	-	-	319	1266
HCM Lane V/C Ratio	-	-	0.01	0.002
HCM Control Delay (s)	-	-	16.4	7.8
HCM Lane LOS	-	-	C	A
HCM 95th %tile Q(veh)	-	-	0	0

1: Gothic Rd & North Access
Year 2045 Total AM.syn

Intersection						
Int Delay, s/veh	0.2					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	W		T			T
Traffic Vol, veh/h	8	1	398	5	0	244
Future Vol, veh/h	8	1	398	5	0	244
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	9	1	433	5	0	265

Major/Minor	Minor1	Major1	Major2		
Conflicting Flow All	701	436	0	0	438
Stage 1	436	-	-	-	-
Stage 2	265	-	-	-	-
Critical Hdwy	6.42	6.22	-	-	4.12
Critical Hdwy Stg 1	5.42	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-
Follow-up Hdwy	3.518	3.318	-	-	2.218
Pot Cap-1 Maneuver	405	620	-	-	1122
Stage 1	652	-	-	-	-
Stage 2	779	-	-	-	-
Platoon blocked, %			-	-	-
Mov Cap-1 Maneuver	405	620	-	-	1122
Mov Cap-2 Maneuver	405	-	-	-	-
Stage 1	652	-	-	-	-
Stage 2	779	-	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	13.8	0	0
HCM LOS	B		

Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT
Capacity (veh/h)	-	-	421	1122
HCM Lane V/C Ratio	-	-	0.023	-
HCM Control Delay (s)	-	-	13.8	0
HCM Lane LOS	-	-	B	A
HCM 95th %tile Q(veh)	-	-	0.1	0

2: Gothic Rd & HQ Access
 Year 2045 Total AM.syn

Intersection						
Int Delay, s/veh	0.1					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	↔		↑			↑
Traffic Vol, veh/h	2	1	403	0	0	253
Future Vol, veh/h	2	1	403	0	0	253
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	2	1	438	0	0	275

Major/Minor	Minor1	Major1	Major2			
Conflicting Flow All	713	438	0	-	-	-
Stage 1	438	-	-	-	-	-
Stage 2	275	-	-	-	-	-
Critical Hdwy	6.42	6.22	-	-	-	-
Critical Hdwy Stg 1	5.42	-	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-	-
Follow-up Hdwy	3.518	3.318	-	-	-	-
Pot Cap-1 Maneuver	398	619	-	0	0	-
Stage 1	651	-	-	0	0	-
Stage 2	771	-	-	0	0	-
Platoon blocked, %			-			-
Mov Cap-1 Maneuver	398	619	-	-	-	-
Mov Cap-2 Maneuver	398	-	-	-	-	-
Stage 1	651	-	-	-	-	-
Stage 2	771	-	-	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	13	0	0
HCM LOS	B		

Minor Lane/Major Mvmt	NBTWBLn1	SBT
Capacity (veh/h)	- 452	-
HCM Lane V/C Ratio	- 0.007	-
HCM Control Delay (s)	- 13	-
HCM Lane LOS	- B	-
HCM 95th %tile Q(veh)	- 0	-

3: Gothic Rd & South Access
Year 2045 Total AM.syn

Intersection						
Int Delay, s/veh	0.1					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	W		T			T
Traffic Vol, veh/h	5	1	401	3	0	254
Future Vol, veh/h	5	1	401	3	0	254
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	5	1	436	3	0	276

Major/Minor	Minor1	Major1	Major2		
Conflicting Flow All	714	438	0	0	439
Stage 1	438	-	-	-	-
Stage 2	276	-	-	-	-
Critical Hdwy	6.42	6.22	-	-	4.12
Critical Hdwy Stg 1	5.42	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-
Follow-up Hdwy	3.518	3.318	-	-	2.218
Pot Cap-1 Maneuver	398	619	-	-	1121
Stage 1	651	-	-	-	-
Stage 2	771	-	-	-	-
Platoon blocked, %			-	-	-
Mov Cap-1 Maneuver	398	619	-	-	1121
Mov Cap-2 Maneuver	398	-	-	-	-
Stage 1	651	-	-	-	-
Stage 2	771	-	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	13.6	0	0
HCM LOS	B		

Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT
Capacity (veh/h)	-	-	423	1121
HCM Lane V/C Ratio	-	-	0.015	-
HCM Control Delay (s)	-	-	13.6	0
HCM Lane LOS	-	-	B	A
HCM 95th %tile Q(veh)	-	-	0	0

1: Gothic Rd & North Access
Year 2045 Total PM.syn

Intersection						
Int Delay, s/veh	0.1					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	TT		TT			TT
Traffic Vol, veh/h	4	0	313	23	4	545
Future Vol, veh/h	4	0	313	23	4	545
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	4	0	340	25	4	592

Major/Minor	Minor1	Major1	Major2		
Conflicting Flow All	953	353	0	0	365
Stage 1	353	-	-	-	-
Stage 2	600	-	-	-	-
Critical Hdwy	6.42	6.22	-	-	4.12
Critical Hdwy Stg 1	5.42	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-
Follow-up Hdwy	3.518	3.318	-	-	2.218
Pot Cap-1 Maneuver	287	691	-	-	1194
Stage 1	711	-	-	-	-
Stage 2	548	-	-	-	-
Platoon blocked, %			-	-	-
Mov Cap-1 Maneuver	286	691	-	-	1194
Mov Cap-2 Maneuver	286	-	-	-	-
Stage 1	707	-	-	-	-
Stage 2	548	-	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	17.8	0	0.1
HCM LOS	C		

Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT
Capacity (veh/h)	-	-	286	1194
HCM Lane V/C Ratio	-	-	0.015	0.004
HCM Control Delay (s)	-	-	17.8	8
HCM Lane LOS	-	-	C	A
HCM 95th %tile Q(veh)	-	-	0	0

2: Gothic Rd & HQ Access
 Year 2045 Total PM.syn

Intersection						
Int Delay, s/veh	0.1					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	↘↗		↑			↑
Traffic Vol, veh/h	2	1	355	0	0	549
Future Vol, veh/h	2	1	355	0	0	549
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	2	1	386	0	0	597

Major/Minor	Minor1	Major1	Major2			
Conflicting Flow All	983	386	0	-	-	-
Stage 1	386	-	-	-	-	-
Stage 2	597	-	-	-	-	-
Critical Hdwy	6.42	6.22	-	-	-	-
Critical Hdwy Stg 1	5.42	-	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-	-
Follow-up Hdwy	3.518	3.318	-	-	-	-
Pot Cap-1 Maneuver	276	662	-	0	0	-
Stage 1	687	-	-	0	0	-
Stage 2	550	-	-	0	0	-
Platoon blocked, %			-			-
Mov Cap-1 Maneuver	276	662	-	-	-	-
Mov Cap-2 Maneuver	276	-	-	-	-	-
Stage 1	687	-	-	-	-	-
Stage 2	550	-	-	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	15.6	0	0
HCM LOS	C		

Minor Lane/Major Mvmt	NBTWBLn1	SBT
Capacity (veh/h)	- 343	-
HCM Lane V/C Ratio	- 0.01	-
HCM Control Delay (s)	- 15.6	-
HCM Lane LOS	- C	-
HCM 95th %tile Q(veh)	- 0	-

3: Gothic Rd & South Access
 Year 2045 Total PM.syn

Intersection						
Int Delay, s/veh	0.1					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	W		T			T
Traffic Vol, veh/h	3	0	335	7	2	549
Future Vol, veh/h	3	0	335	7	2	549
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	3	0	364	8	2	597

Major/Minor	Minor1	Major1	Major2		
Conflicting Flow All	969	368	0	0	372
Stage 1	368	-	-	-	-
Stage 2	601	-	-	-	-
Critical Hdwy	6.42	6.22	-	-	4.12
Critical Hdwy Stg 1	5.42	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-
Follow-up Hdwy	3.518	3.318	-	-	2.218
Pot Cap-1 Maneuver	281	677	-	-	1186
Stage 1	700	-	-	-	-
Stage 2	547	-	-	-	-
Platoon blocked, %			-	-	-
Mov Cap-1 Maneuver	280	677	-	-	1186
Mov Cap-2 Maneuver	280	-	-	-	-
Stage 1	698	-	-	-	-
Stage 2	547	-	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	18	0	0
HCM LOS	C		

Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT
Capacity (veh/h)	-	-	280	1186
HCM Lane V/C Ratio	-	-	0.012	0.002
HCM Control Delay (s)	-	-	18	8
HCM Lane LOS	-	-	C	A
HCM 95th %tile Q(veh)	-	-	0	0

1: Gothic Rd & North Access
Year 2045 Total SAT.syn

Intersection						
Int Delay, s/veh	0.1					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	FF		FB			FB
Traffic Vol, veh/h	6	0	306	26	4	683
Future Vol, veh/h	6	0	306	26	4	683
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	7	0	333	28	4	742

Major/Minor	Minor1	Major1	Major2			
Conflicting Flow All	1097	347	0	0	361	0
Stage 1	347	-	-	-	-	-
Stage 2	750	-	-	-	-	-
Critical Hdwy	6.42	6.22	-	-	4.12	-
Critical Hdwy Stg 1	5.42	-	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-	-
Follow-up Hdwy	3.518	3.318	-	-	2.218	-
Pot Cap-1 Maneuver	236	696	-	-	1198	-
Stage 1	716	-	-	-	-	-
Stage 2	467	-	-	-	-	-
Platoon blocked, %			-	-		-
Mov Cap-1 Maneuver	235	696	-	-	1198	-
Mov Cap-2 Maneuver	235	-	-	-	-	-
Stage 1	712	-	-	-	-	-
Stage 2	467	-	-	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	20.8	0	0
HCM LOS	C		

Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT
Capacity (veh/h)	-	-	235	1198
HCM Lane V/C Ratio	-	-	0.028	0.004
HCM Control Delay (s)	-	-	20.8	8
HCM Lane LOS	-	-	C	A
HCM 95th %tile Q(veh)	-	-	0.1	0

2: Gothic Rd & HQ Access
Year 2045 Total SAT.syn

Intersection						
Int Delay, s/veh	0.1					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	↘↗		↑			↑
Traffic Vol, veh/h	2	1	332	0	0	690
Future Vol, veh/h	2	1	332	0	0	690
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	2	1	361	0	0	750

Major/Minor	Minor1	Major1	Major2			
Conflicting Flow All	1111	361	0	-	-	-
Stage 1	361	-	-	-	-	-
Stage 2	750	-	-	-	-	-
Critical Hdwy	6.42	6.22	-	-	-	-
Critical Hdwy Stg 1	5.42	-	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-	-
Follow-up Hdwy	3.518	3.318	-	-	-	-
Pot Cap-1 Maneuver	231	684	-	0	0	-
Stage 1	705	-	-	0	0	-
Stage 2	467	-	-	0	0	-
Platoon blocked, %			-			-
Mov Cap-1 Maneuver	231	684	-	-	-	-
Mov Cap-2 Maneuver	231	-	-	-	-	-
Stage 1	705	-	-	-	-	-
Stage 2	467	-	-	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	17.3	0	0
HCM LOS	C		

Minor Lane/Major Mvmt	NBTWBLn1	SBT
Capacity (veh/h)	- 296	-
HCM Lane V/C Ratio	- 0.011	-
HCM Control Delay (s)	- 17.3	-
HCM Lane LOS	- C	-
HCM 95th %tile Q(veh)	- 0	-

3: Gothic Rd & South Access
Year 2045 Total SAT.syn

Intersection						
Int Delay, s/veh	0.1					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	W		T			T
Traffic Vol, veh/h	3	0	331	9	2	689
Future Vol, veh/h	3	0	331	9	2	689
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	3	0	360	10	2	749

Major/Minor	Minor1	Major1	Major2		
Conflicting Flow All	1118	365	0	0	370
Stage 1	365	-	-	-	-
Stage 2	753	-	-	-	-
Critical Hdwy	6.42	6.22	-	-	4.12
Critical Hdwy Stg 1	5.42	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-
Follow-up Hdwy	3.518	3.318	-	-	2.218
Pot Cap-1 Maneuver	229	680	-	-	1189
Stage 1	702	-	-	-	-
Stage 2	465	-	-	-	-
Platoon blocked, %			-	-	-
Mov Cap-1 Maneuver	228	680	-	-	1189
Mov Cap-2 Maneuver	228	-	-	-	-
Stage 1	700	-	-	-	-
Stage 2	465	-	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	21	0	0
HCM LOS	C		

Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT
Capacity (veh/h)	-	-	228	1189
HCM Lane V/C Ratio	-	-	0.014	0.002
HCM Control Delay (s)	-	-	21	8
HCM Lane LOS	-	-	C	A
HCM 95th %tile Q(veh)	-	-	0	0

Existing Conditions Map

Lot TP1 and Lot TP7, SLATE RIVER SUBDIVISION & CBFD Parcel, SPANN Parcel, Span Subdivision Exemption Plat, Situated within Section 35, Township 13 South, Range 86 West of the 6th Principal Meridian Gunnison County, Colorado

- LEGEND -

● Found Monument as Described	— x — x — Barbed Wire Fence
⊠ Electric Transformer	— E — E — E — Underground Electric Line
⊞ Electric Meter	- - - - - Adjoining Lot Line
⊞ Electric Manhole	— — — — — Easement Line
⊞ Telephone Pedestal	— — — — — Guardrail
⊞ Telephone Manhole	▬ Asphalt Paving
⊞ Fire Hydrant	▨ FEMA Flood Zone AE
⊞ Water Valve	(See Note 10)
⊞ Road Delineator Post	
⊞ Gate Post	
⊞ Sign	

Abbreviations
Rec. No. = Reception Number
CMP = Corrugated Metal Pipe
Inv. = Invert

- LINE TABLE -

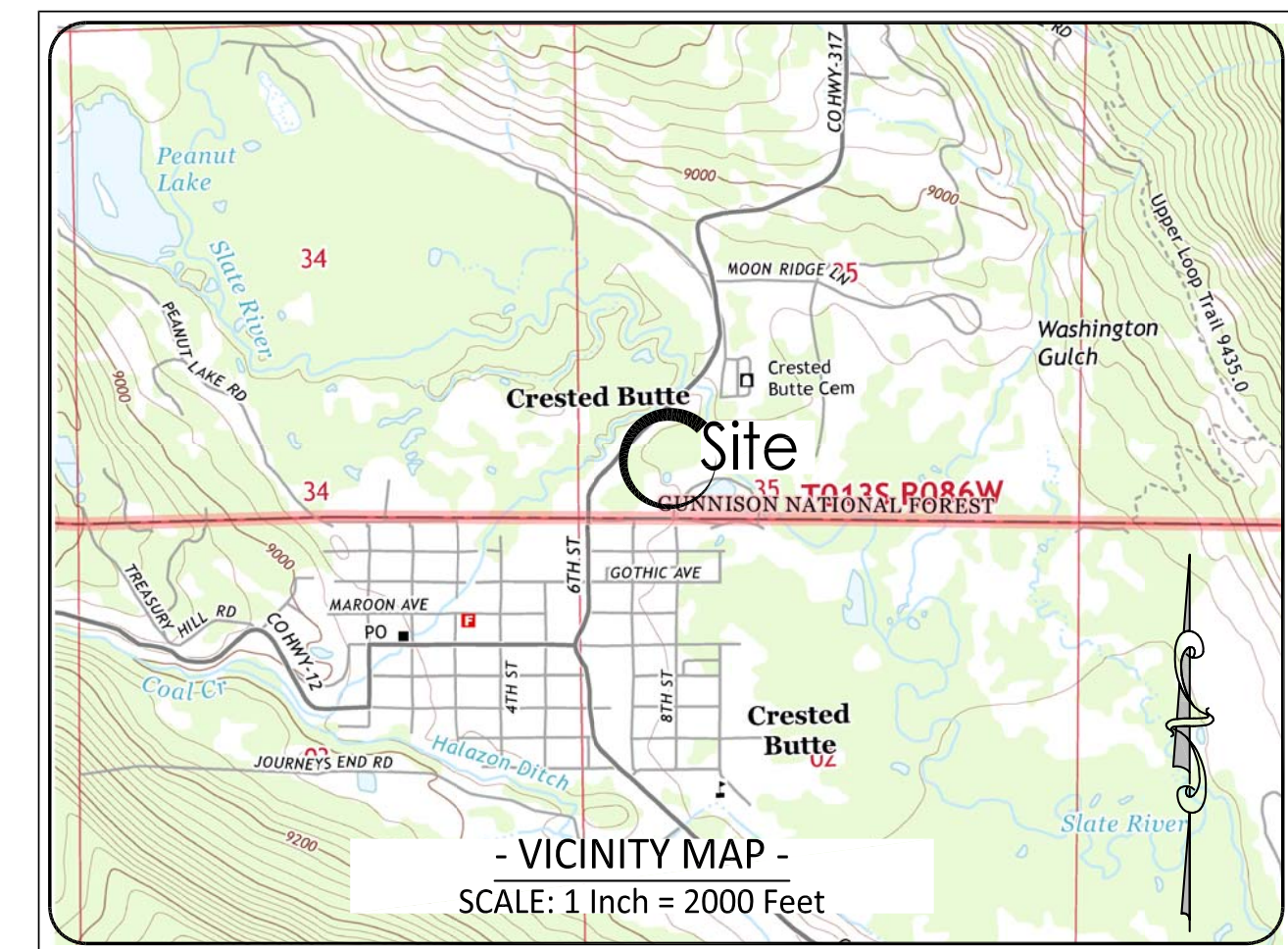
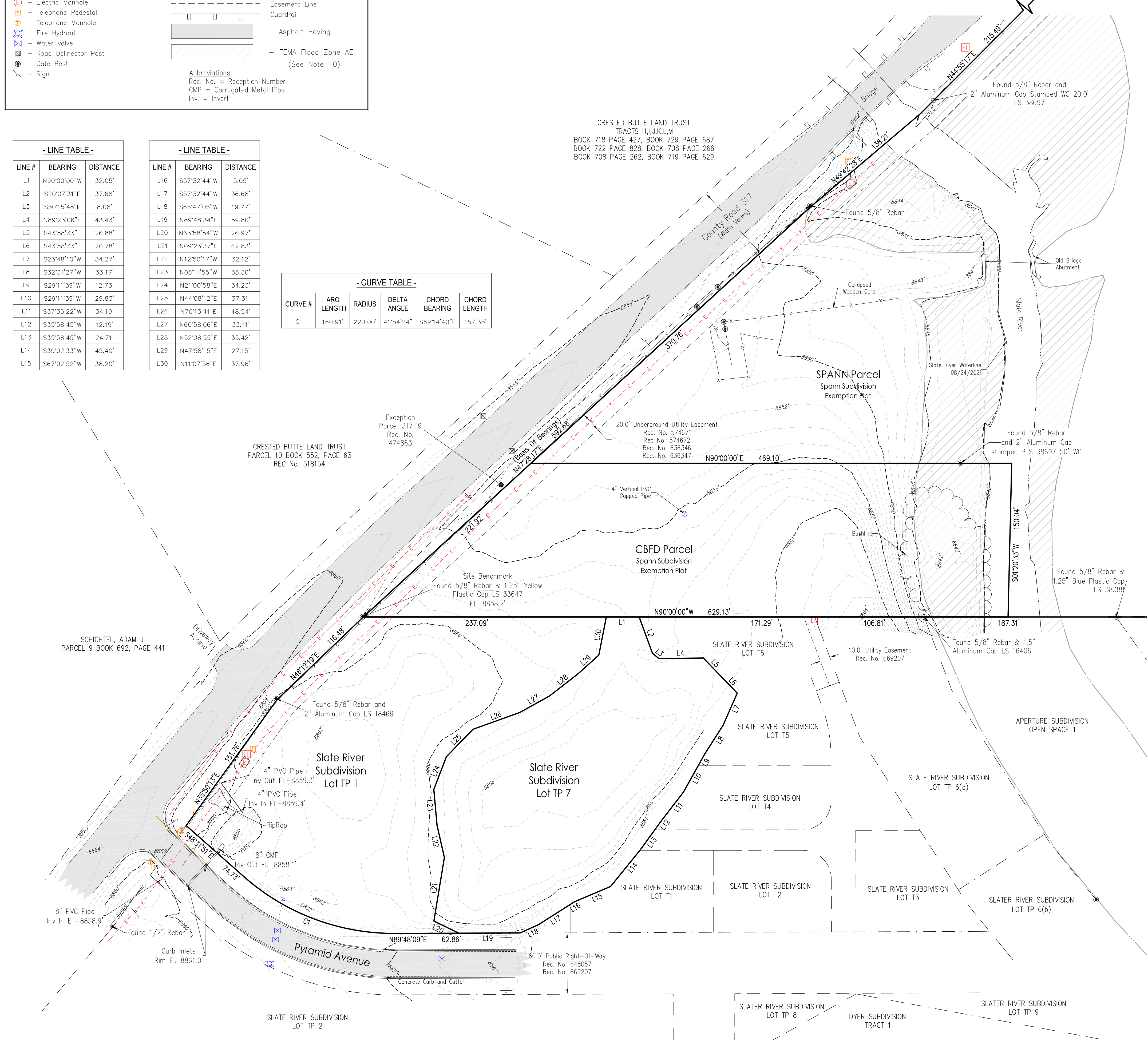
LINE #	BEARING	DISTANCE
L1	N90°00'00"W	32.05'
L2	S20°07'31"E	37.68'
L3	S50°15'48"E	8.08'
L4	N89°23'06"E	43.43'
L5	S43°58'33"E	26.88'
L6	S43°58'33"E	20.78'
L7	S23°48'10"W	34.27'
L8	S32°31'27"W	33.17'
L9	S29°11'39"W	12.73'
L10	S29°11'39"W	29.83'
L11	S37°35'22"W	34.19'
L12	S35°58'45"W	12.19'
L13	S35°58'45"W	24.71'
L14	S39°02'33"W	45.40'
L15	S67°02'52"W	38.20'

- LINE TABLE -

LINE #	BEARING	DISTANCE
L16	S57°32'44"W	5.05'
L17	S57°32'44"W	36.68'
L18	S65°47'05"W	19.77'
L19	N89°48'34"E	59.80'
L20	N63°58'54"W	26.97'
L21	N09°23'37"E	62.83'
L22	N12°50'17"W	32.12'
L23	N05°11'55"W	35.30'
L24	N21°00'58"E	34.23'
L25	N44°08'12"E	37.31'
L26	N70°13'41"E	48.54'
L27	N60°58'06"E	33.11'
L28	N52°08'55"E	35.42'
L29	N47°58'15"E	27.15'
L30	N11°07'56"E	37.96'

- CURVE TABLE -

CURVE #	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	160.91'	220.00'	41°54'24"	S69°14'40"E	157.35'



PROPERTY DESCRIPTION:

Lots TP 1 and TP 7, SLATE RIVER SUBDIVISION, according to the plat thereof, recorded at Reception No. 669207 in the office of the Gunnison County Clerk and Recorder.
and
CBFD PARCEL and SPANN PARCEL, SPANN SUBDIVISION, according to the EXEMPTION PLAT thereof, recorded at Reception No. 681915 in the office of the Gunnison County Clerk and Recorder.

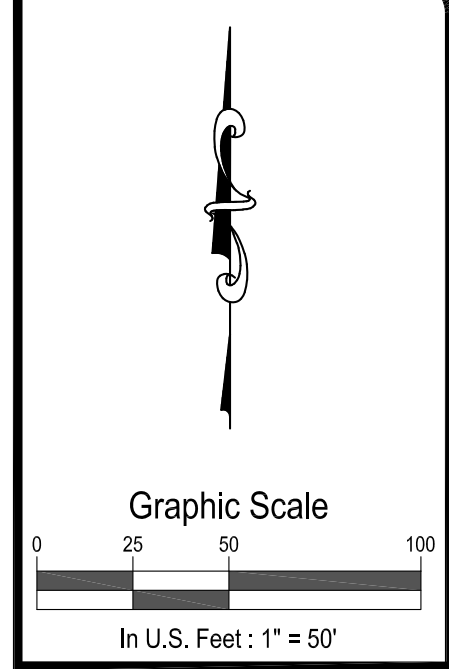
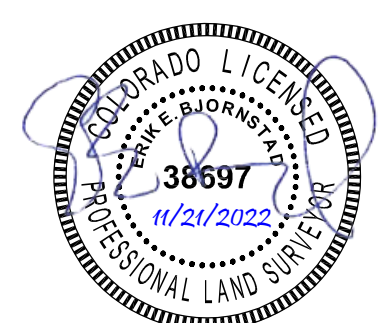
NOTES:

- Basis of Bearings: Bearings shown hereon are based on an assumed bearing of N47°28'17"E, between the Southwest corner of said Spann Parcel, being monumented by a 5/8" Rebar and 1.25" Yellow Plastic Cap stamped LS 33647, and a point on the Northwest line of said Court Decree Parcel, being monumented by a 5/8" Rebar, as shown hereon.
- Bearings shown hereon for said SLATE RIVER SUBDIVISION, have been rotated Clockwise 0°58'55" from the record bearings.
- This map has been prepared pursuant to client request for an Existing Conditions Map.
- Date of field survey: August 24, 2021 and November 07, 2022
- Units of linear measurements are displayed in US Survey Feet.
- Vertical Information:
Datum: Elevation information shown hereon is based upon GPS observations utilizing OPUS and Ceoid 18 to derive the NAVD88 elevation of 8858.2' at the top of a 5/8" Rebar and 1.25" Yellow Plastic Cap, stamped LS 33647, located at the Northeast corner of said Lot TP 1, as shown hereon.
Contour Interval: Minor Contours = 1 Foot, Major Contours = 5 Feet.
- SGM is not responsible for any changes made to this document after it leaves our possession. Any copy, facsimile, etc., of this document must be compared to the original signed, sealed and dated document to insure the accuracy of the information shown on any such copy, and to insure that no such changes have been made.
- Any subsurface utilities not shown, were not marked by appropriate utility companies at the time of this survey. Only visible ground surface utility features were surveyed by SGM as part of this survey. Client/contractor must contact specific utility companies to verify both the location and depth of respective utilities. Additional surveying work may be required to show any such subsurface utility locations on this drawing. SGM will not be responsible for protection of subsurface utilities.
- Fences shown hereon, if any, have been shown for general reference and do not necessarily depict limits of ownership.
- The FEMA Flood Zone AE, as shown hereon, is according to FEMA Community Panel Number 080151 C046 D.
- The property shown hereon is subject to all easements, rights-of-way, building setbacks or other restrictions of record, as such items may affect this property. This survey does not represent a title search by this surveyor to determine ownership or to discover easements or other encumbrances of record. All information pertaining to property lines, boundaries, easements, rights-of-way, and other encumbrances of record has been taken from the plat SLATE RIVER SUBDIVISION, recorded at Reception No. 669207, and the Title Insurance Commitment issued by Land Title Guarantee Company, Commitment No. GUR88003121-3, having a Commitment Date of March 10th, 2021, recorded in the Gunnison County Clerk and Recorder's office.

SURVEYOR'S CERTIFICATE:

I, Erik E. Bjornstad, being a Registered Professional Land Surveyor, licensed in the State of Colorado, do hereby certify that this map of existing conditions was prepared on November 21st, 2022, from a survey performed on August 24, 2021 and November 07, 2022 under my direct supervision and checking, and that both the survey and map are true and accurate to the best of my knowledge and belief.

Erik E. Bjornstad
Colorado PLS # 38697
For, and on behalf of SGM



SGM
103 W. Tomichi Ave., Suite A
Gunnison, CO 81230
970.641.5355 www.sgm-inc.com

Fire Department Parcel
Gunnison County, Colorado

Revisions	Date	By

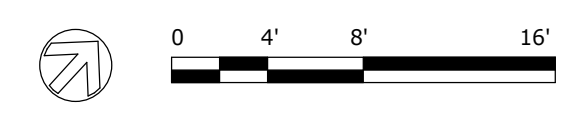
Job No. 2022-496.001
Drawn by: MH
Date: 11/21/2022
Approved: EB
File: 2022FireRev.dwg

Title: Existing Conditions Map
Sheet No. 1
Of: 1

I:\2021\2022-496-CBFDParcel\Drawings\2022Fire.dwg - PLS: Erik E. Bjornstad 11/21/2022 10:16 AM By: Erik E. Bjornstad



1 FLOOR PLAN - LEVEL 1
PR1 1/8" = 1'-0"

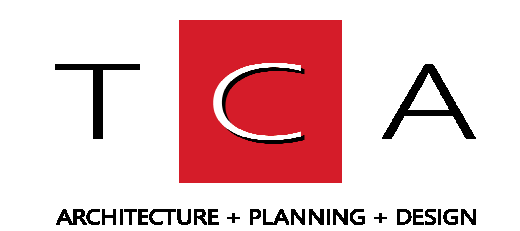


CRESTED BUTTE FIRE PROTECTION DISTRICT, LOCATION AND EXTENT SUBMITTAL

CRESTED BUTTE FIRE PROTECTION DISTRICT HQ - LEVEL 1

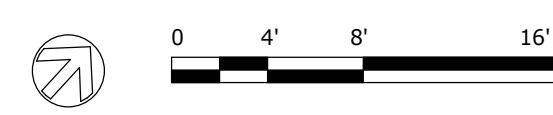
CR 317 AND SLATE RIVER
GUNNISON COUNTY, CO

04/10/2023





1 FLOOR PLAN - LEVEL 2
PR2 1/8" = 1'-0"

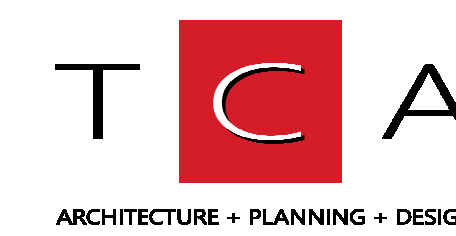


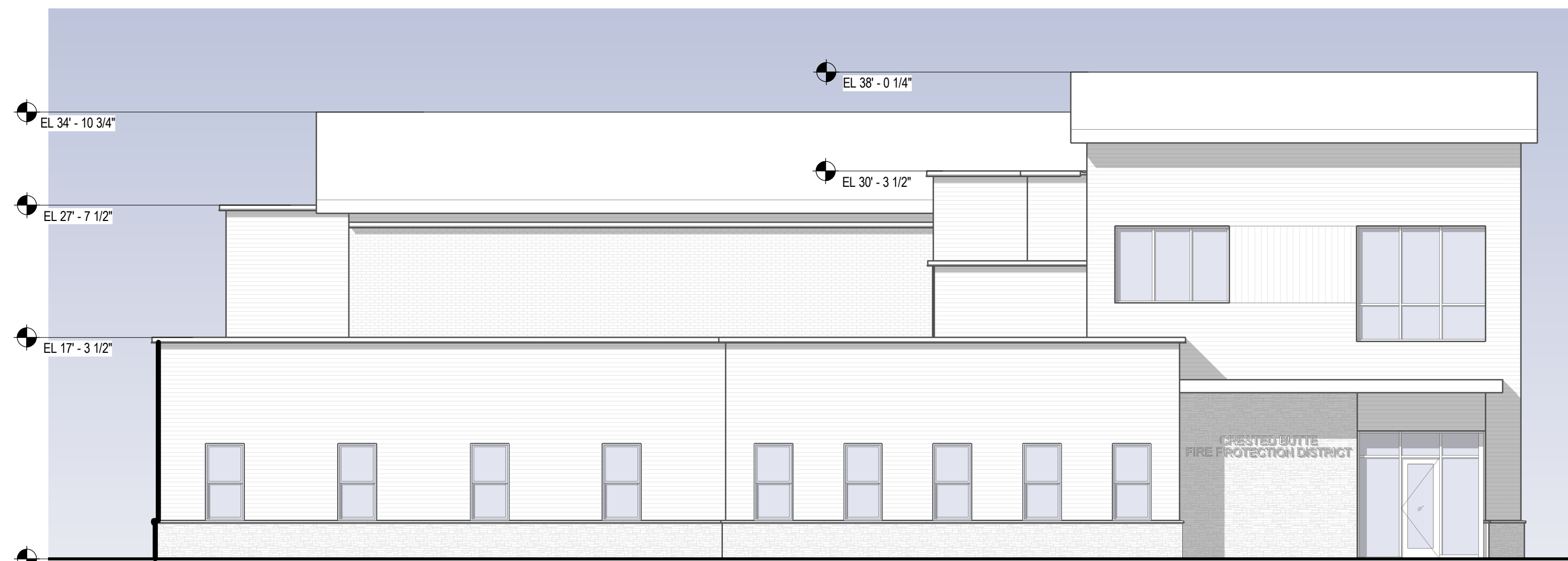
CRESTED BUTTE FIRE PROTECTION DISTRICT, LOCATION AND EXTENT SUBMITTAL

CRESTED BUTTE FIRE PROTECTION DISTRICT HQ - LEVEL 2

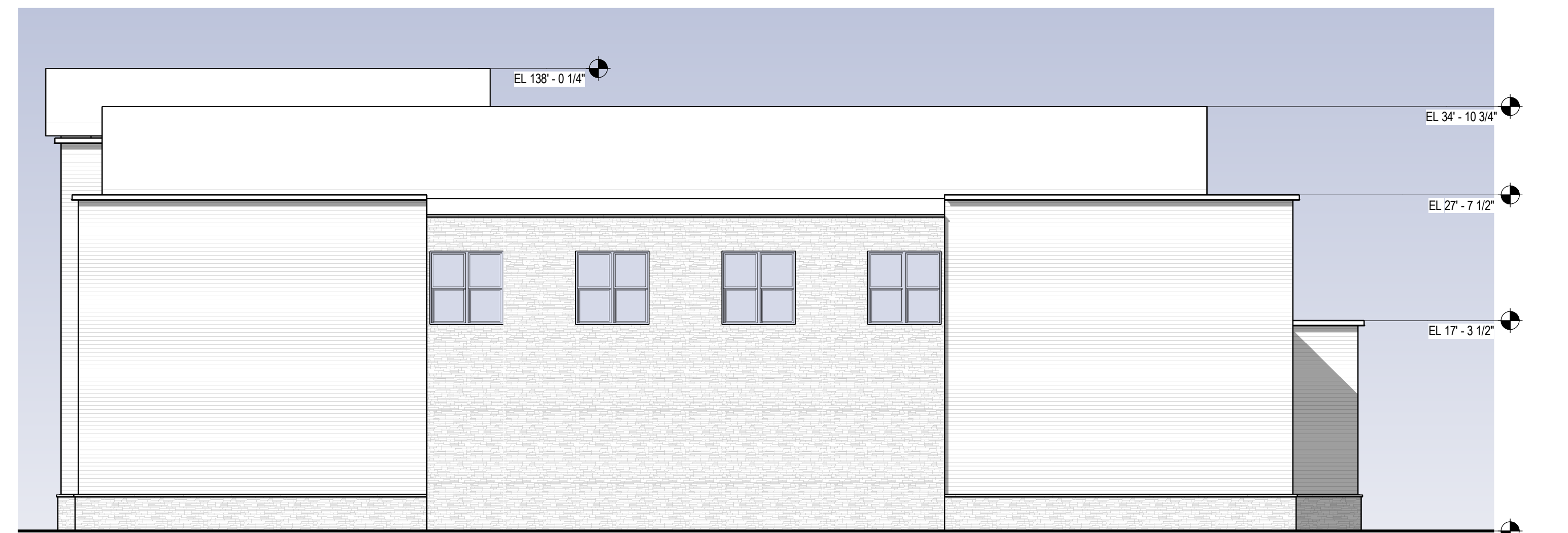
CR 317 AND SLATE RIVER
GUNNISON COUNTY, CO

04/10/2023





1 NORTH ELEVATION
1/8" = 1'-0"



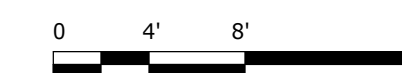
2 SOUTH ELEVATION
1/8" = 1'-0"



3 WEST ELEVATION
1/8" = 1'-0"



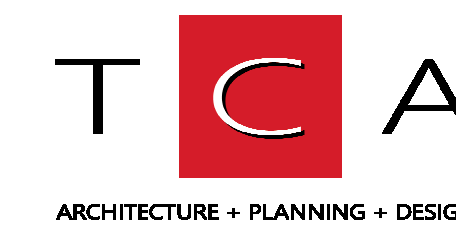
4 EAST ELEVATION
1/8" = 1'-0"



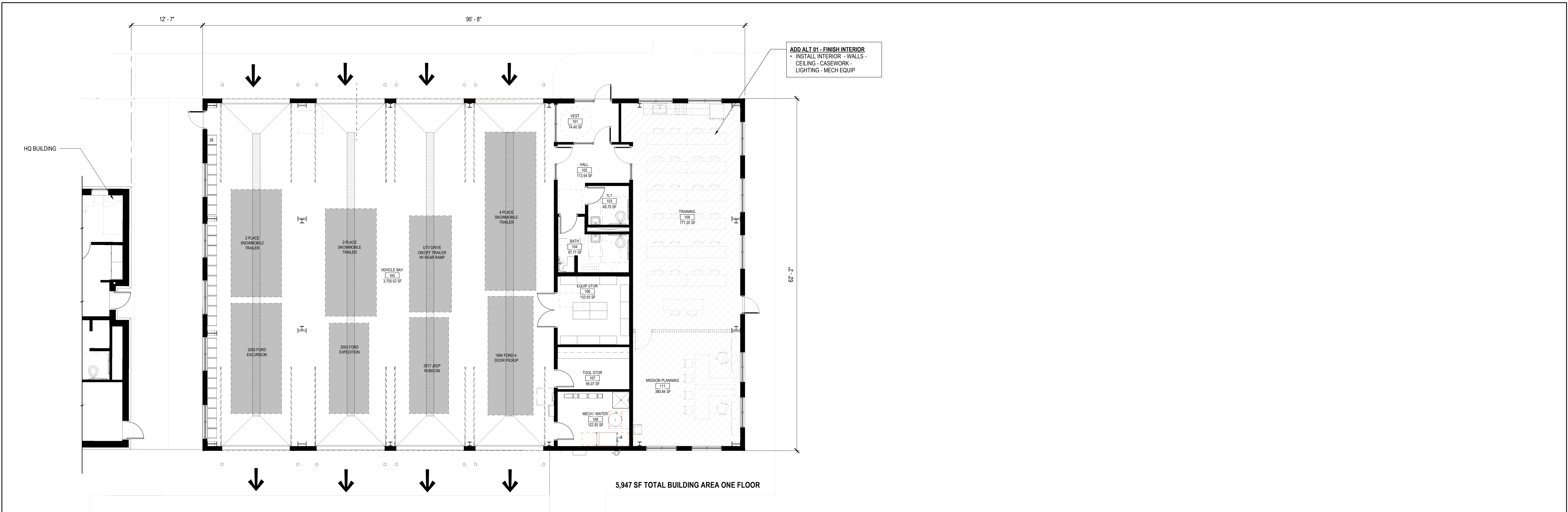
CRESTED BUTTE FIRE PROTECTION DISTRICT, LOCATION AND EXTENT SUBMITTAL

CRESTED BUTTE FIRE PROTECTION DISTRICT HQ - BUILDING ELEVATIONS

CR 317 AND SLATE RIVER
GUNNISON COUNTY, CO
04/10/2023



422 Flood Avenue
Grand Junction, CO 81501
970-243-9958
BLYTHE GROUP + CO.



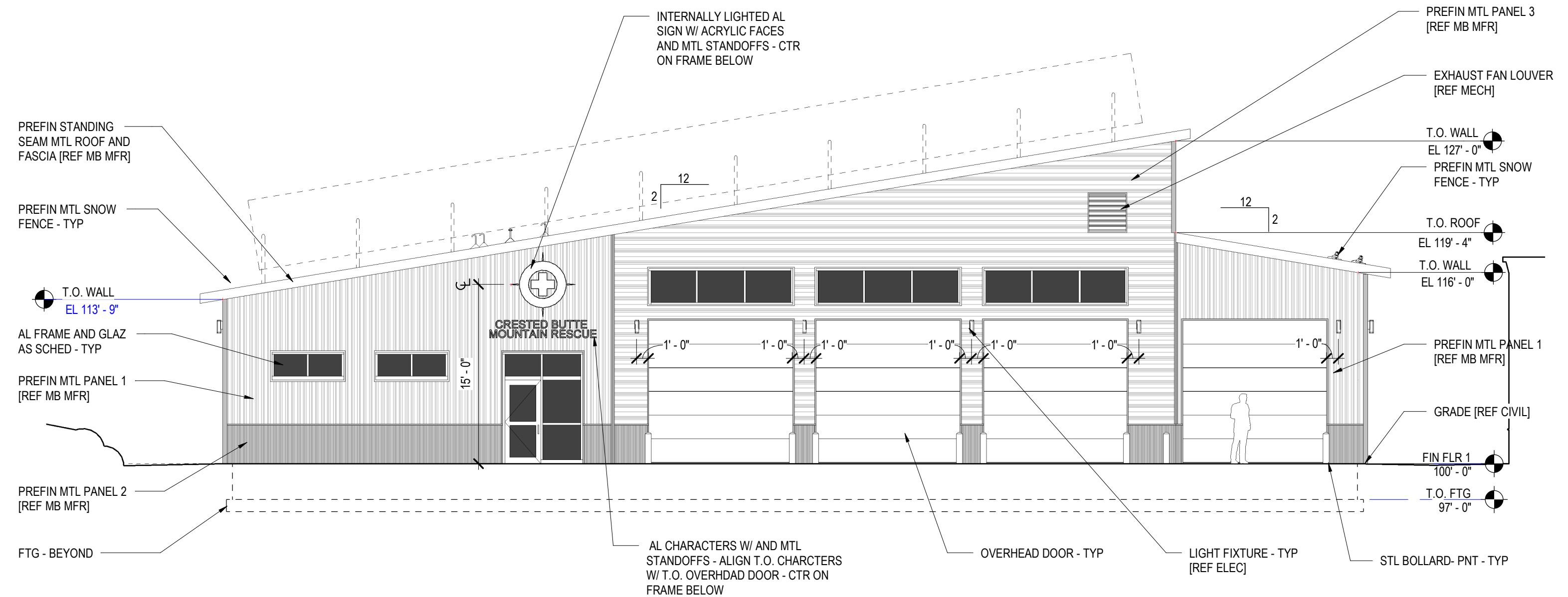
FLOOR PLAN
1/8" = 1'-0"
NORTH



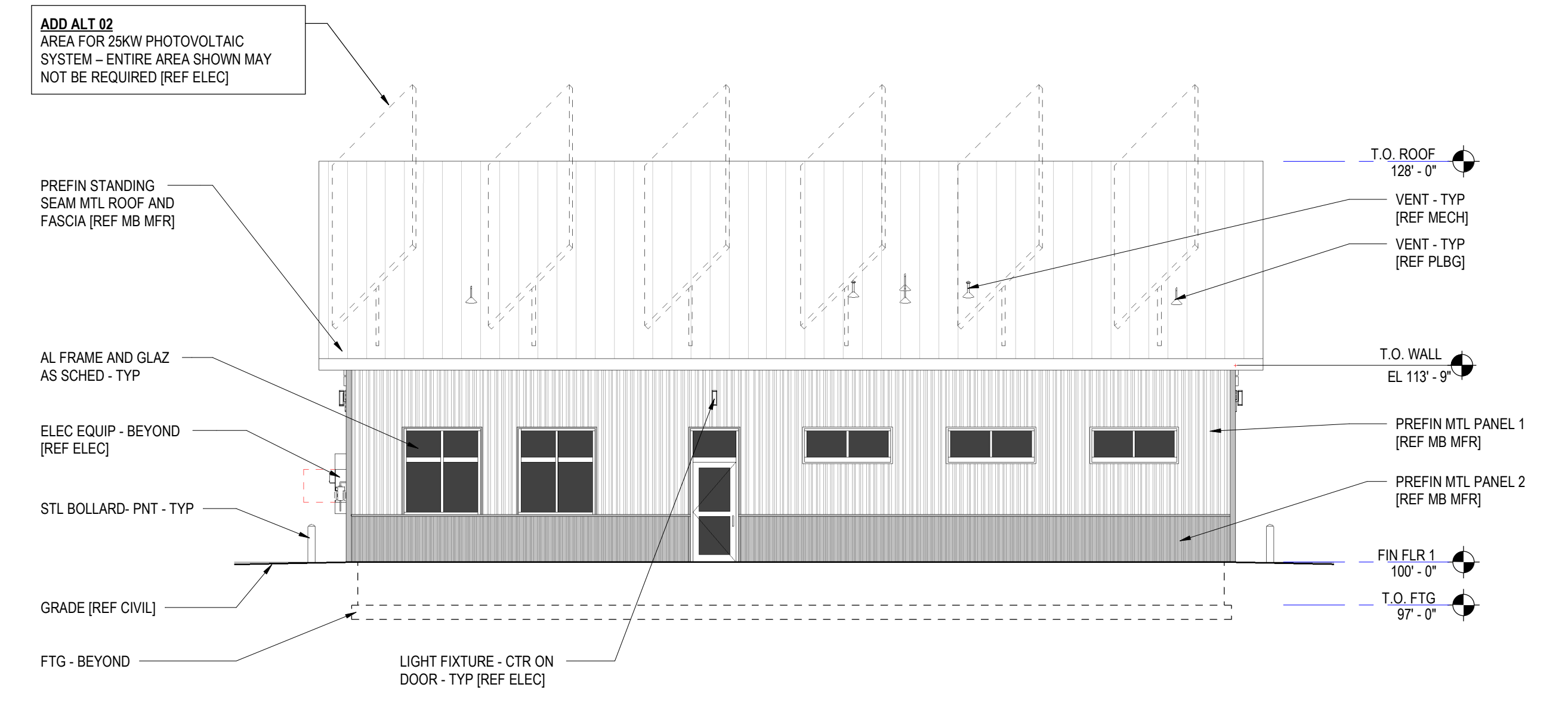
FLOOR PLAN

NEW EMERGENCY CENTER CAMPUS - CRESTED BUTTE FIRE PROTECTION DISTRICT - SEARCH AND RESCUE

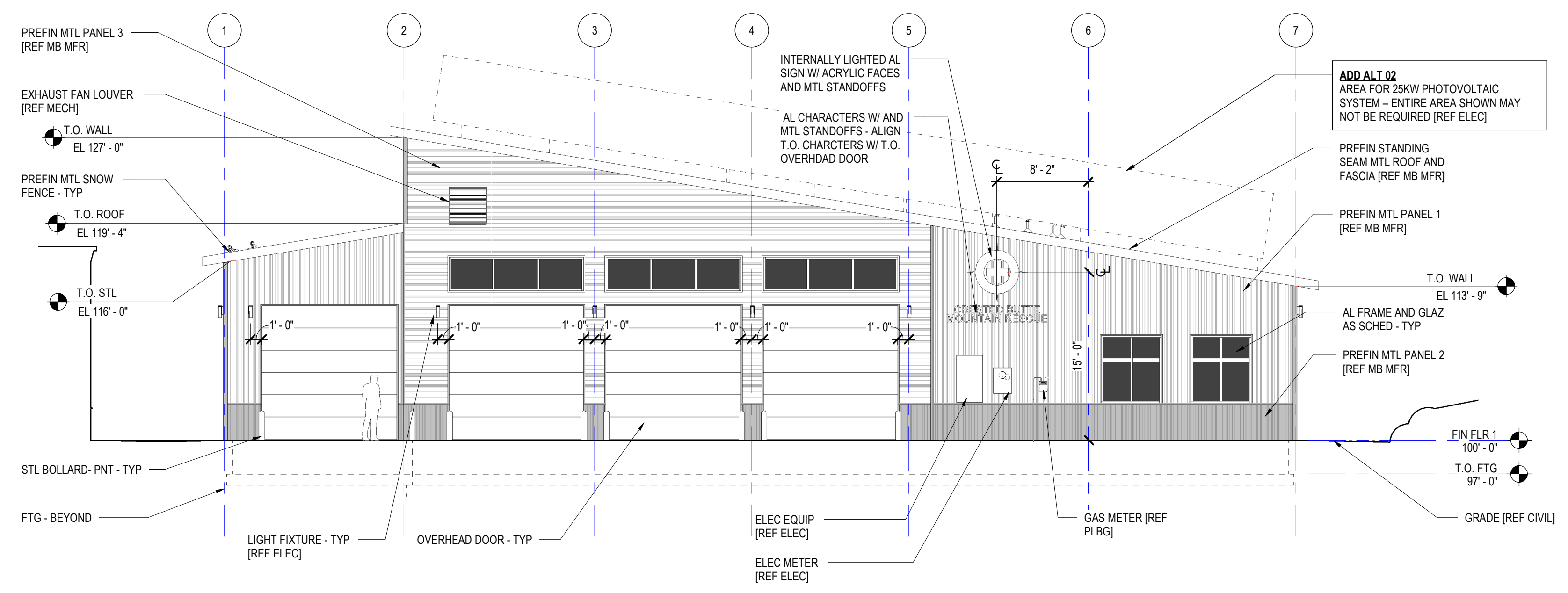
CR 317 AND SLATE RIVER
GUNNISON COUNTY, CO
4/10/2023



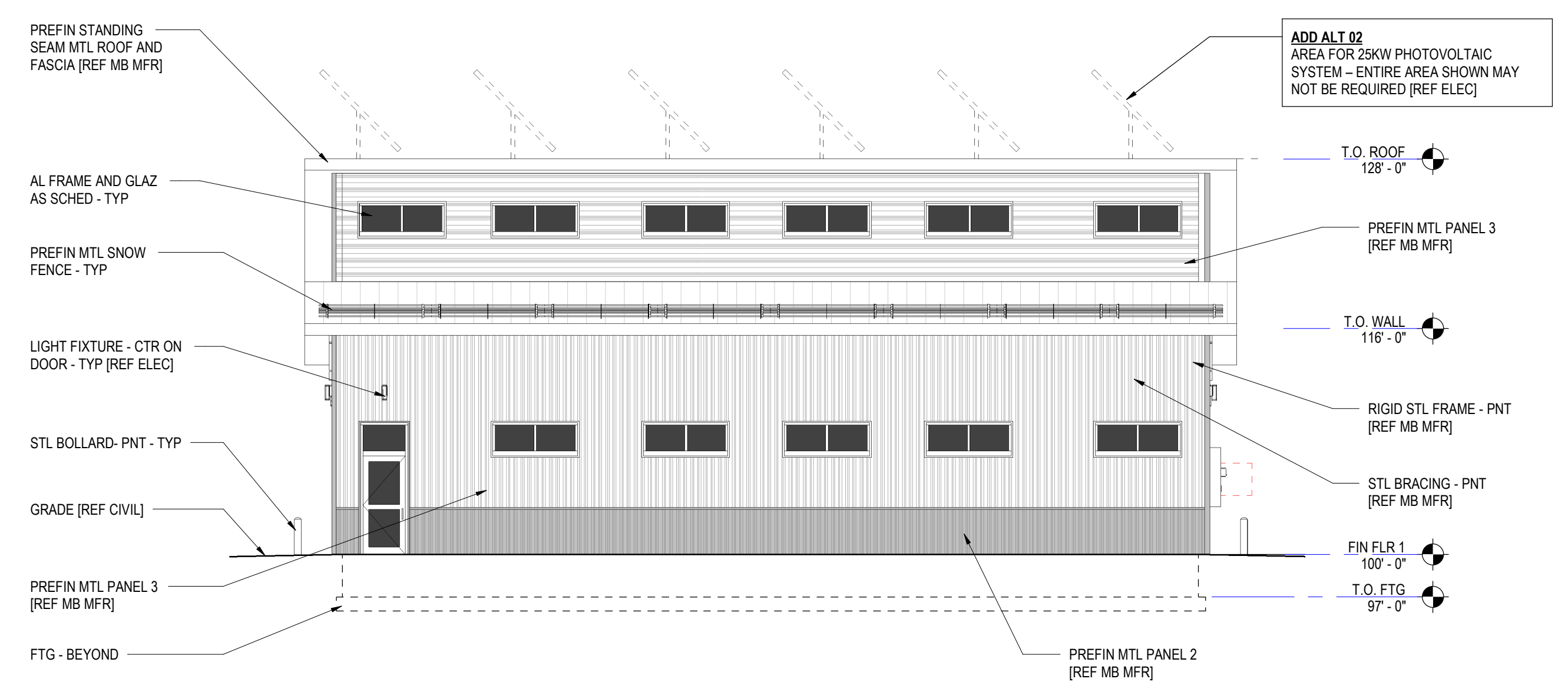
NORTH ELEVATION
1/8" = 1'-0"



EAST ELEVATION
1/8" = 1'-0"



SOUTH ELEVATION
1/8" = 1'-0"

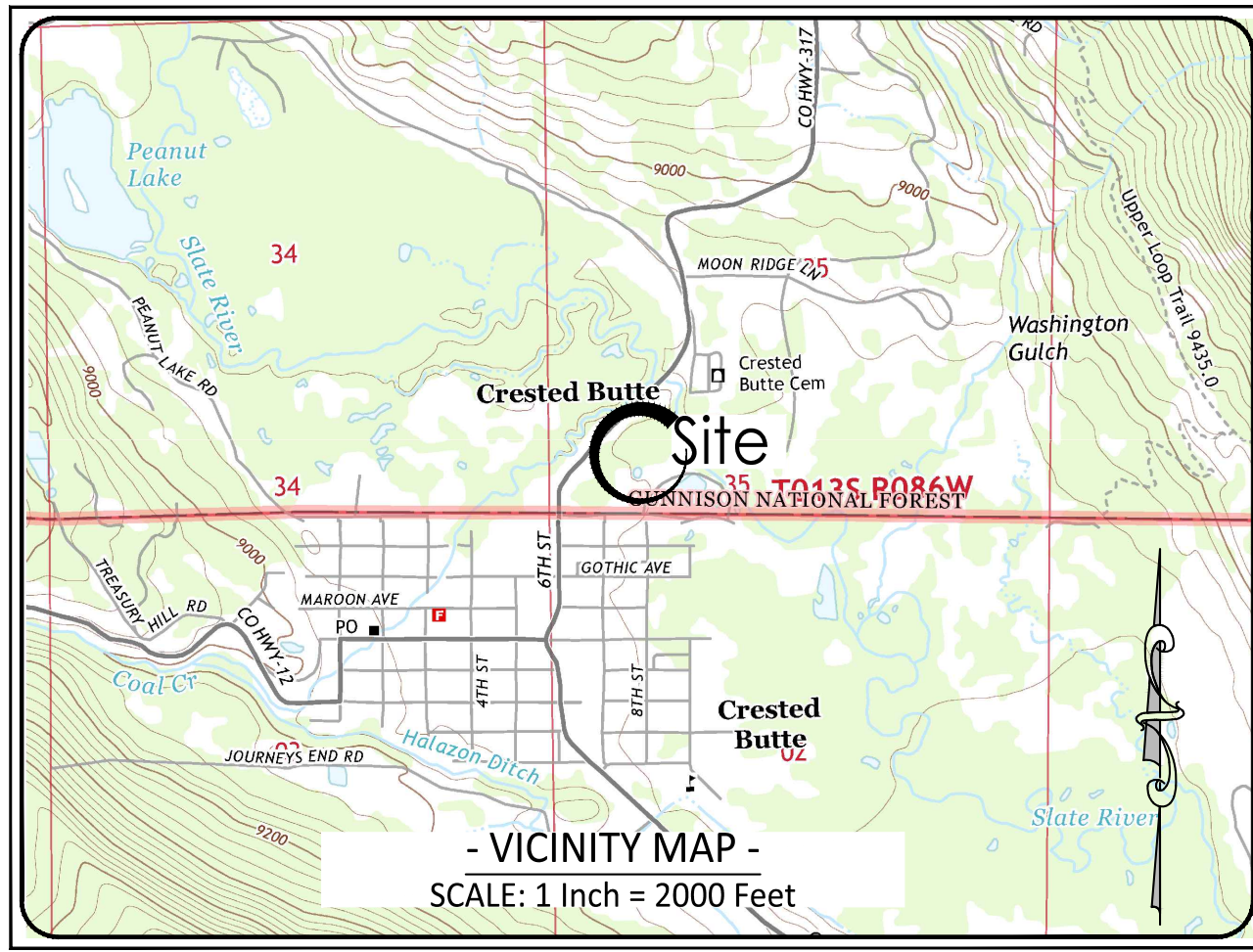


WEST ELEVATION
1/8" = 1'-0"

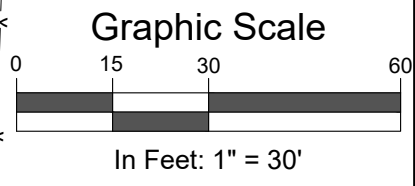
EXTERIOR ELEVATIONS

NEW EMERGENCY CENTER CAMPUS - CRESTED BUTTE FIRE PROTECTION DISTRICT - SEARCH AND RESCUE

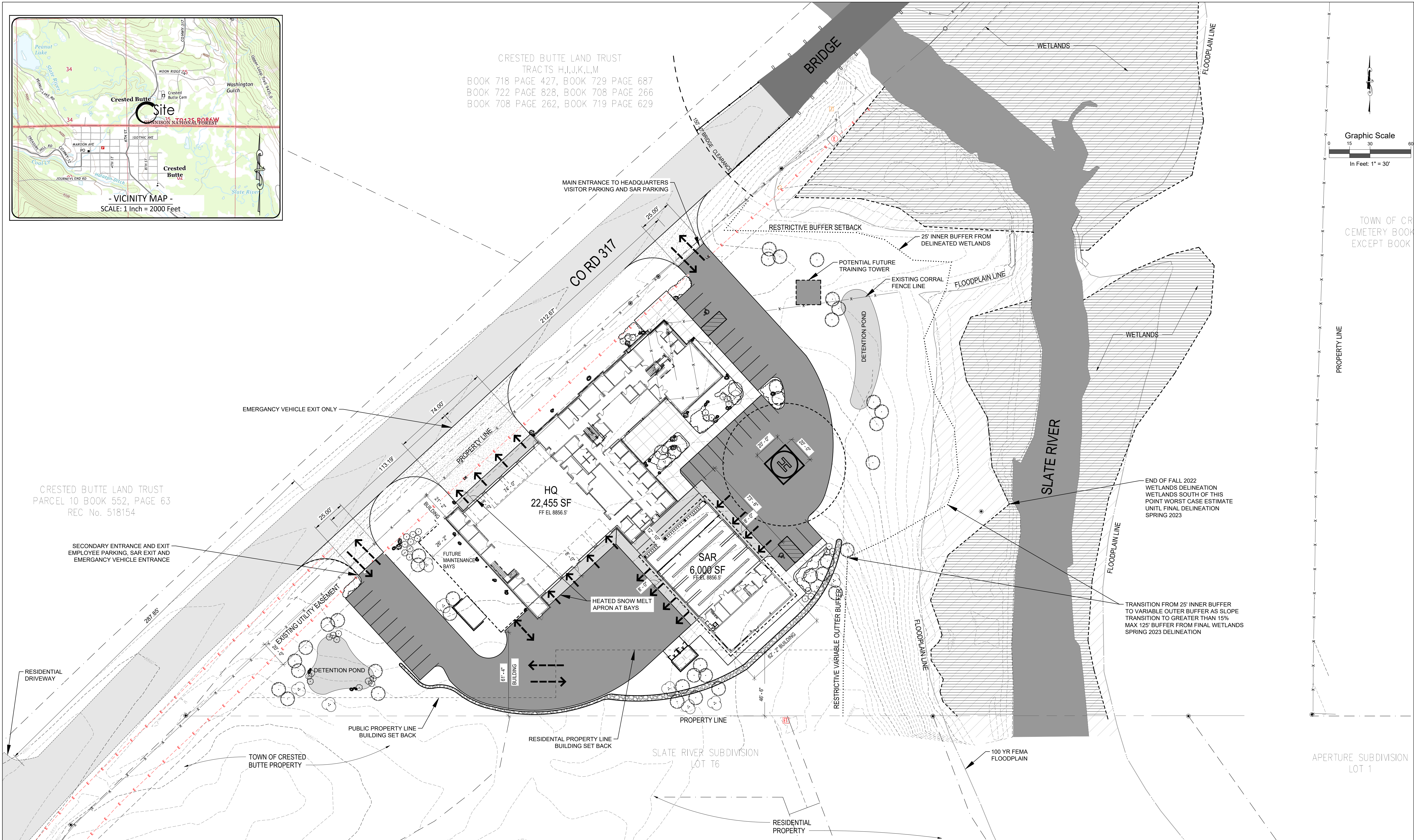
CR 317 AND SLATE RIVER
GUNNISON COUNTY, CO
4/10/2023



CRESTED BUTTE LAND TRUST
 TRACTS H,I,J,K,L,M
 BOOK 718 PAGE 427, BOOK 729 PAGE 687
 BOOK 722 PAGE 828, BOOK 708 PAGE 266
 BOOK 708 PAGE 262, BOOK 719 PAGE 629



TOWN OF CR
 CEMETERY BOOK
 EXCEPT BOOK



CRESTED BUTTE LAND TRUST
 PARCEL 10 BOOK 552, PAGE 63
 REC No. 518154

END OF FALL 2022
 WETLANDS DELINEATION
 SOUTH OF THIS
 POINT WORST CASE ESTIMATE
 UNTIL FINAL DELINEATION
 SPRING 2023

TRANSITION FROM 25' INNER BUFFER
 TO VARIABLE OUTER BUFFER AS SLOPE
 TRANSITION TO GREATER THAN 15%
 MAX 125' BUFFER FROM FINAL WETLANDS
 SPRING 2023 DELINEATION

LOCATION & EXTENTS ACCESS & SITE PLAN

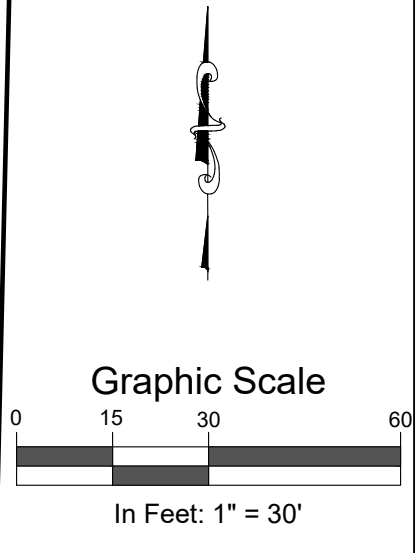
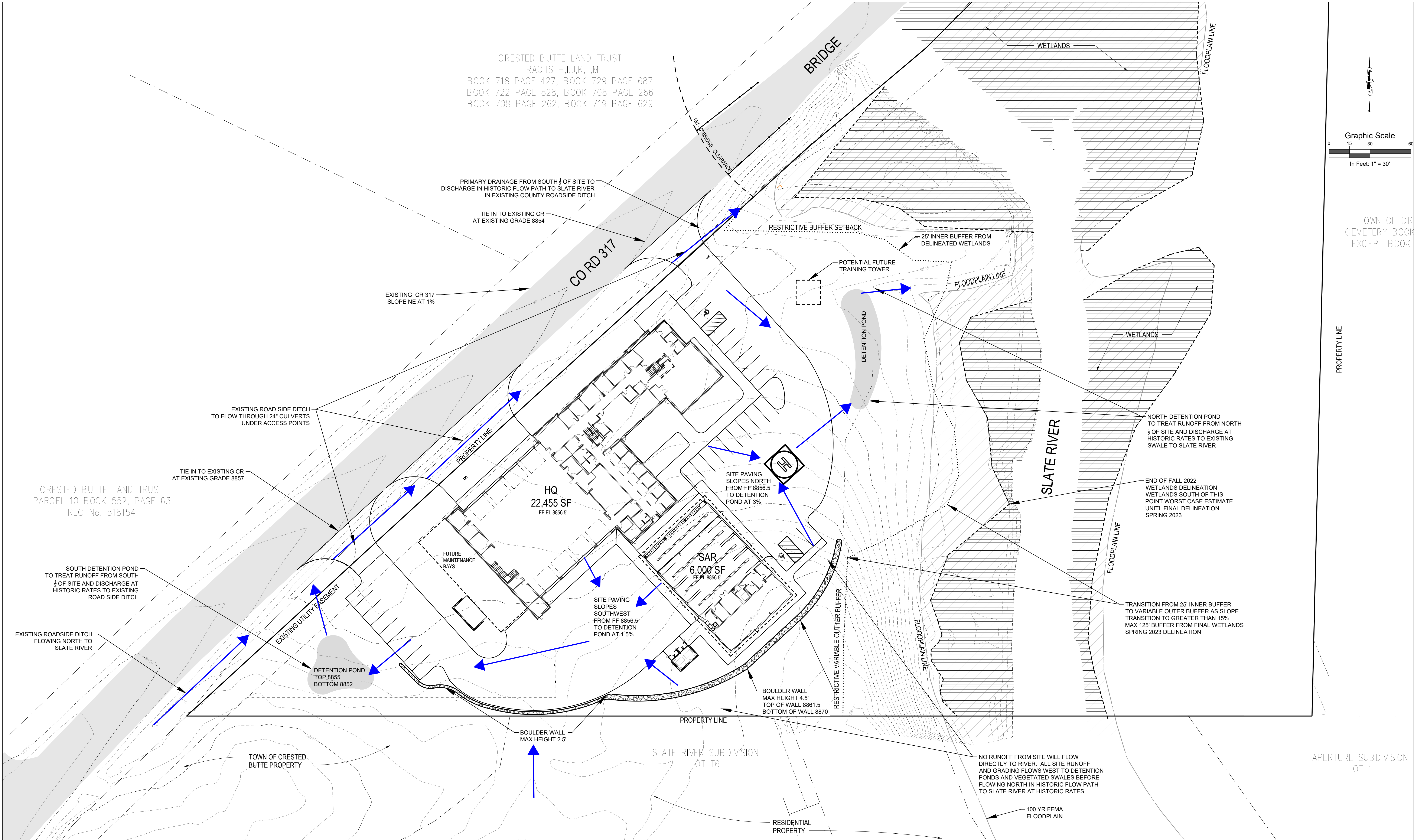
CRESTED BUTTE FIRE PROTECTION DISTRICT

CR 317 AND SLATE RIVER
 GUNNISON COUNTY, CO
 (NORTH CRESTED BUTTE)

103 W. Tomichi Ave., Suite A
 Gunnison, CO 81230
 970.641.5355 www.sgm-inc.com

architecture • planning

Architecture
 Interior Design
 Project Management
 BLYTHE GROUP + co.



TOWN OF CR
CEMETERY BOOK
EXCEPT BOOK

PROPERTY LINE

LOCATION & EXTENTS PRELIMINARY GRADING AND DRAINAGE

CRESTED BUTTE FIRE PROTECTION DISTRICT

CR 317 AND SLATE RIVER
GUNNISON COUNTY, CO
(NORTH CRESTED BUTTE)



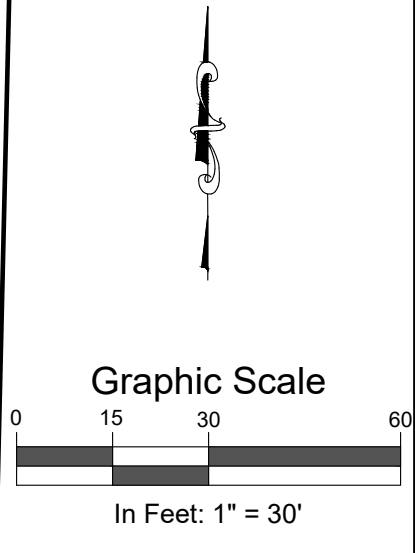
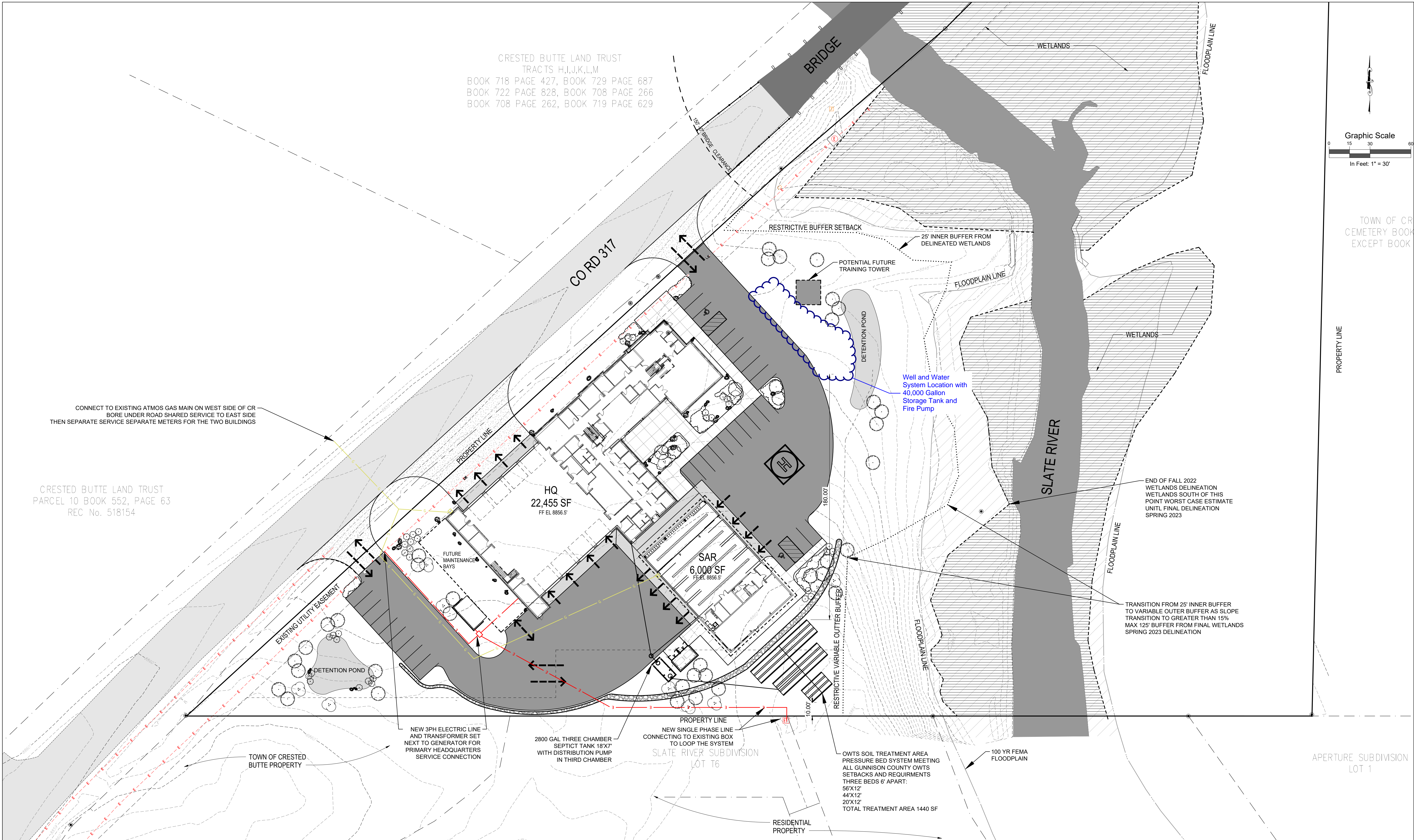
SGM
103 W. Tomichi Ave., Suite A
Gunnison, CO 81230
970.641.5355 www.sgm-inc.com



T C A
architecture • planning



BG+
Architecture
Interior Design
Project Management
BLYTHE GROUP + co.



TOWN OF CR
CEMETERY BOOK
EXCEPT BOOK

LOCATION & EXTENTS SITE UTILITIES

CRESTED BUTTE FIRE PROTECTION DISTRICT

CR 317 AND SLATE RIVER
GUNNISON COUNTY, CO
(NORTH CRESTED BUTTE)



SGM
103 W. Tomichi Ave., Suite A
Gunnison, CO 81230
970.641.5355 www.sgm-inc.com



T C A
architecture • planning



BG+
Architecture
Interior Design
Project Management
BLYTHE GROUP + co.

KEY NOTES

PAVING & HARDSCAPE

- ① STABILIZED DECOMPOSED GRANITE
- ② SOFT SET PATIO PAVERS
- ③ RIVER ROCK MULCH / DRIP LINE TREATMENT
- ④ SITE BOULDERS
- ⑤ CONCRETE PEDESTRIAN PAVING
- ⑥ SNOW STORAGE AREA

SITE FURNISHING

- ⑦ FLAG POLE
- ⑧ DUMPSTER ENCLOSURE AREA
- ⑨ BIKE RACK
- ⑩ BENCH
- ⑪ PICNIC TABLE
- ⑫ BIKE SERVICING STATION
- ⑬ BEAR PROOF TRASH RECEPTACLE

LANDSCAPE LEGEND

- DECIDUOUS TREE - SINGLE STEM
- DECIDUOUS TREE - MULTI STEM
- EVERGREEN TREE
- SHRUBS
- PERENNIALS & GROUNDCOVERS
- ORNAMENTAL GRASSES
- NATIVE SEEDING & RESTORATION

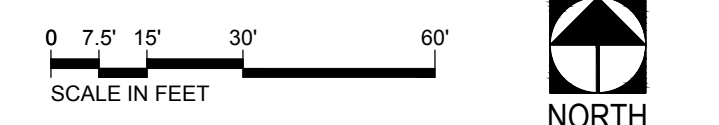
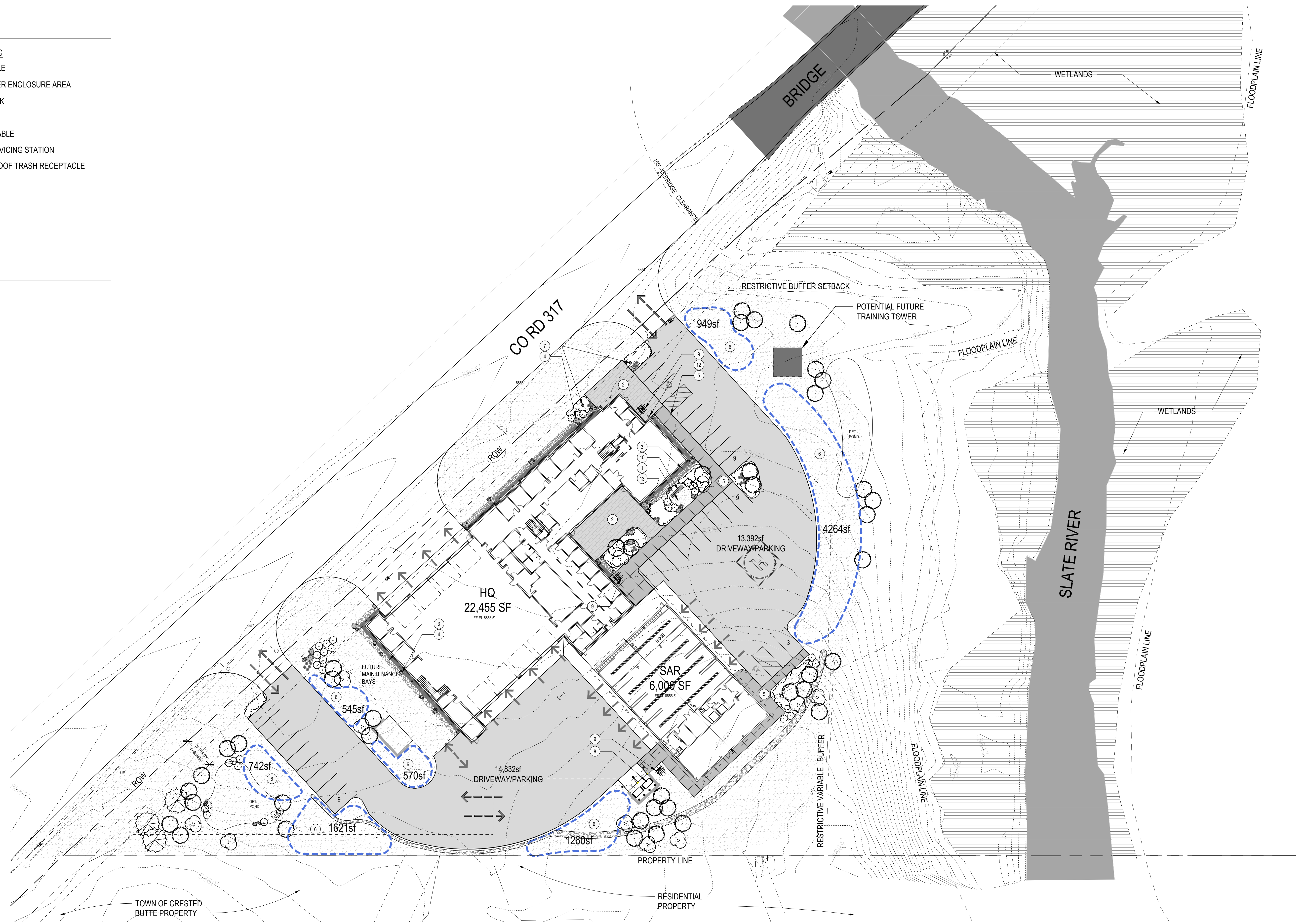
HARDSCAPE & SITE MATERIALS LEGEND

	4" GRAVEL DRIPLINE
	6" - 8" COBBLE DRIPLINE
	BOULDERS (1' - 8' DIA.)
	CONCRETE UNIT PAVERS
	PEDESTRIAN CONCRETE WALKS
	DECOMPOSED GRANITE

SNOW STORAGE CALCULATIONS

SOUTH LOT:
TOTAL PARKING & DRIVEWAY AREA= 14,832SF
SNOW STORAGE PROVIDED = 4,738SF (32%)

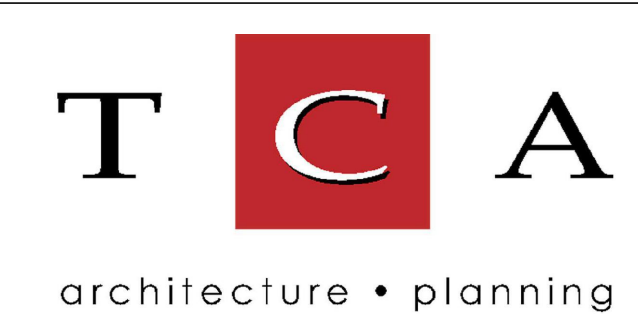
SOUTH LOT:
TOTAL PARKING & DRIVEWAY AREA= 13,392SF
SNOW STORAGE PROVIDED = 5,213SF (39%)



ISSUE DATE: 4/13/23

LANDSCAPE SITE PLAN
CRESTED BUTTE FIRE PROTECTION DISTRICT

CR 317 AND SLATE RIVER
GUNNISON COUNTY, CO
(NORTH CRESTED BUTTE)





CRESTED BUTTE FIRE PROTECTION DISTRICT

CR 317 AND SLATE RIVER
GUNNISON COUNTY, CO
(NORTH CRESTED BUTTE)

ARCHITECTURAL SITE PLAN

SCHEMATIC DESIGN

REVISIONS DATE:

DATE: 2/8/2023

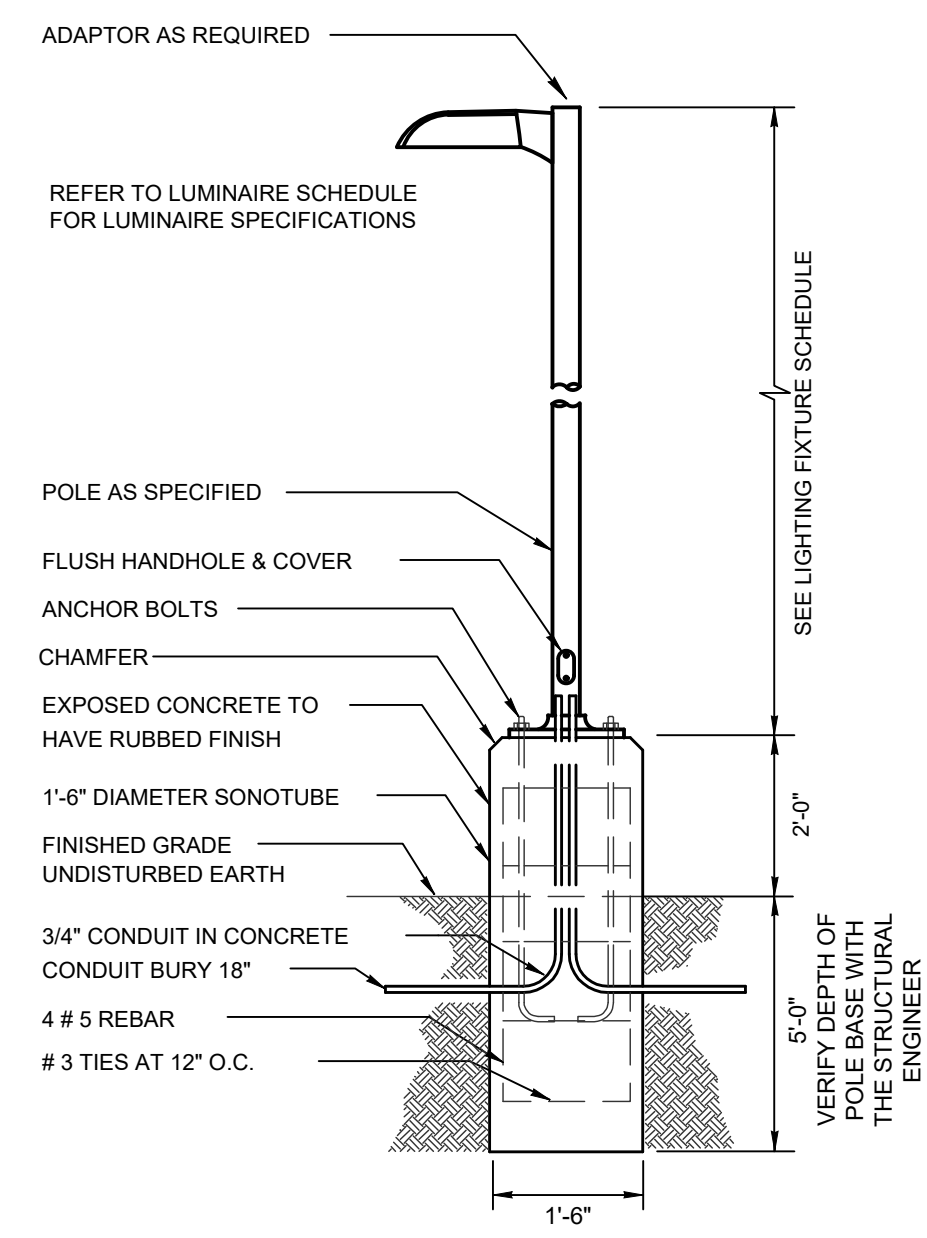
PROJECT #: 22033_1

SHEET #:

ES1-1

SITE LIGHTING LUMINAIRE SCHEDULE					
TYPE	MANUFACTURER CATALOG NO.	APPROVED EQUIVALENT	VOLTAGE MOUNTING	DRIVER LAMP SPECIFICATION	DESCRIPTION
SP1	INVUE LIGHTING VX5-F02-LED-E1-SWQ-BZ-PC-MS03ML20	APPROVED EQUIVALENT	120V 20'-0" TALL POLE FLUSH BASE	LED DIMMING, 5257LM, 4000K, 70CRI, 50W	VISION SITE LED POLE MOUNTED FIXTURE, BRONZE FINISH, TYPE 5 SQUARE DISTRIBUTION, PHOTOCELL ON/OFF, MOTION DIMMING
SP2	INVUE LIGHTING VX5-F02-LED-E1-SL3-BZ-PC-MS03ML20	APPROVED EQUIVALENT	120V 20'-0" TALL POLE 2'-0" BASE	LED DIMMING, 5092LM, 4000K, 70CRI, 50W	VISION SITE LED POLE MOUNTED FIXTURE, BRONZE FINISH, TYPE 5 SQUARE DISTRIBUTION, PHOTOCELL ON/OFF, MOTION DIMMING
SW1	INVUE LIGHTING ENC-SA1A-740-U-14FT-BZ-MS03ML20	APPROVED EQUIVALENT	120V EXTERIOR WALL	LED DIMMING, 1924LM, 4000K, 70CRI, 20W	ENTRI LED EXTERIOR WALL MOUNTED LIGHT, FORWARD THROW, BRONZE FINISH, MOTION SENSOR TO DIM WITH NO MOTION
SW2	LUMIERE LIGHTING 9004-W1-RW-W-BZ-L3-UNV-RSM	APPROVED EQUIVALENT	120V EXTERIOR WALL	LED DIMMING, 2801LM, 2801LM, 4000K, 70CRI, 20W	LANTERRA 9004 EXTERIOR WALL MOUNTED CYLINDER DOWN LIGHT ONLY, BRONZE FINISH.
SW3	COLE LIGHTING SL-4F-0"HO-18"ARM-CS-DIM-BNF-RBW	APPROVED EQUIVALENT	120V EXTERIOR WALL	LED DIMMING, 2801LM, 2801LM, 4000K, 70CRI, 20W	SIGNLIGHTER, EXTERIOR BUILDING MOUNTED, CABLE SUPPORT FOR ARMS, WEATHER PROOF REMOTE GASKETED POWER SUPPLY.

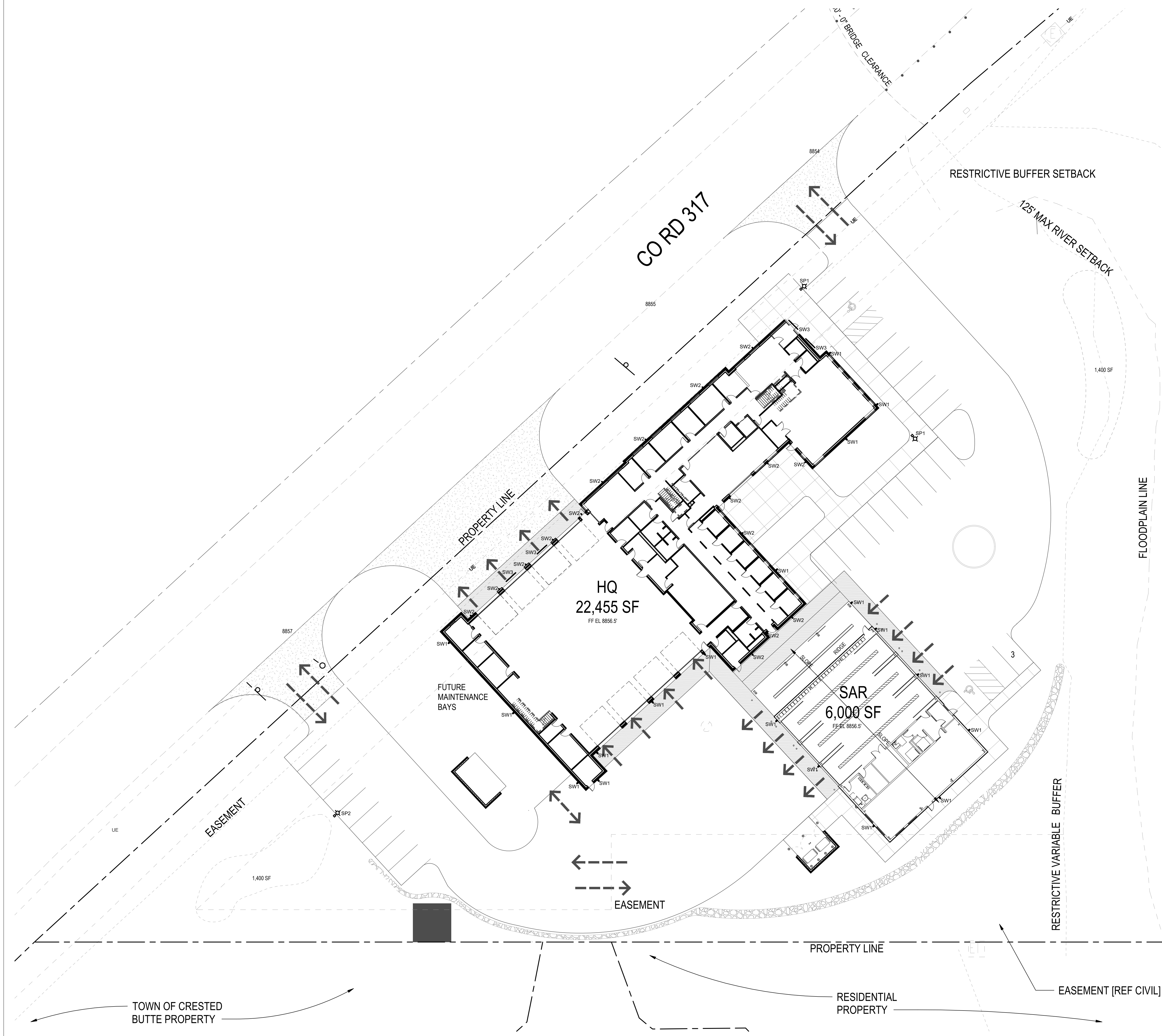
- NOTES:
- THE ELECTRICAL CONTRACTOR IS TO ORDER ALL HARDWARE AND COMPONENTS NECESSARY FOR A FULL AND COMPLETE INSTALLATION AND MOUNTING OF ALL LUMINAIRE.
 - ALL POLES TO BE STRAIGHT POLE. COLOR TO MATCH LUMINAIRE. POLE SHAFT WILL BE RATED FOR WIND GUSTS OF 100 MILES/HOUR.
 - ALL OUTSIDE LIGHT SOURCES SHALL CONFORM TO ALL LOCAL MUNICIPAL ZONING & DEVELOPMENT CODES, LIGHT TRESPASS AND DARK SKY INITIATIVES.
 - ALL EXTERIOR BUILDING MOUNTED AND PARKING LOT LIGHTS ARE TO BE CONTROLLED THRU A PHOTOCELL, TIME CLOCK OR AUTOMATIC CONTROL SYSTEM FOR ALL NIGHT OPERATION.
 - NOTIFY ENGINEER OF ANY OBSTRUCTIONS TO POLE PLACEMENT IMMEDIATELY BEFORE PROCEEDING.
 - ORDER ALL EXTERIOR LUMINAIRE WITH MULTI-TAP BALLAST AND FIELD VERIFY AVAILABLE VOLTAGE FOR EACH LUMINAIRE PRIOR TO INSTALLATION.
 - VERIFY THE LENGTH AND MOUNTING HEIGHT OF LIGHT FIXTURE SW3 WITH THE ARCHITECTURAL BUILDING ELEVATIONS TO PROPERLY LIGHT THE SIGNS AND LOGOS.



LIGHT POLE DETAIL

NOT TO SCALE

- NOTES:
- VERIFY THE BURY DEPTH AND DIAMETER OF THE SONOTUBE WITH THE STRUCTURAL ENGINEER PRIOR TO PURCHASING THE EQUIPMENT. DEPTH WILL DEPEND ON SOIL CONDITIONS. TYPICAL CONCRETE DEPTH IS 5 FT.
 - THE ELECTRICAL CONTRACTOR IS TO INSTALL VIBRATION DAMPERS IN ALL POLES. OBTAIN DAMPERS FROM POLE MANUFACTURER FOR EACH ALUMINUM POLE.
 - ALL OUTSIDE LIGHT SOURCES SHALL COMPLY WITH SECTION 21.06.080 OF THE ZONING AND DEVELOPMENT CODE.
 - NOTIFY ENGINEER OF ANY OBSTRUCTIONS TO POLE PLACEMENT IMMEDIATELY BEFORE PROCEEDING.



LIGHTING - SITE PLAN
SCALE: 1"=20'-0"
NORTH



CRESTED BUTTE
FIRE PROTECTION DISTRICT

CR 317 AND SLATE RIVER
GUNNISON COUNTY, CO
(NORTH CRESTED BUTTE)

ARCHITECTURAL SITE
PLAN

SCHEMATIC DESIGN

REVISIONS DATE:

DATE: 2/8/2023

PROJECT #: 22033_1

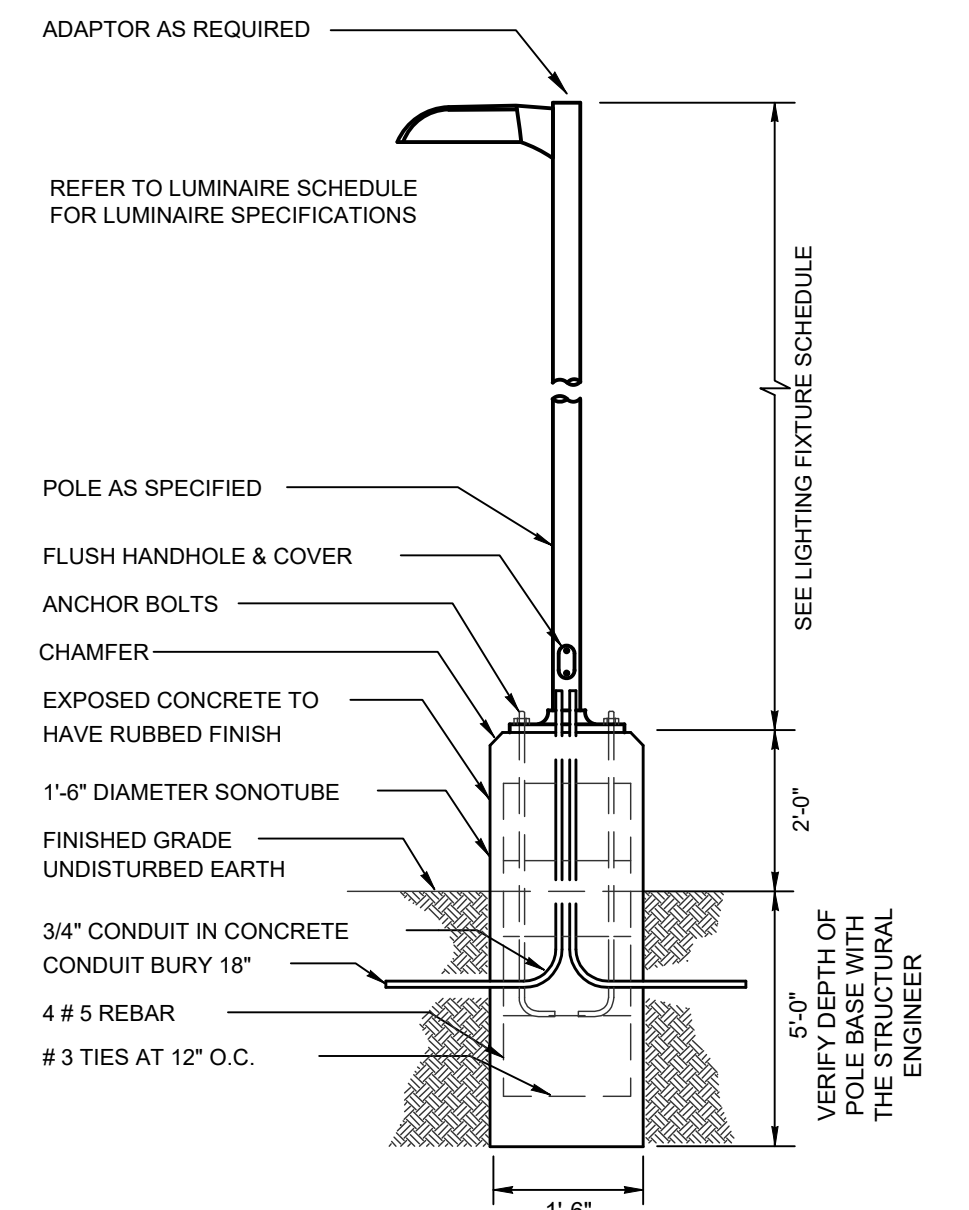
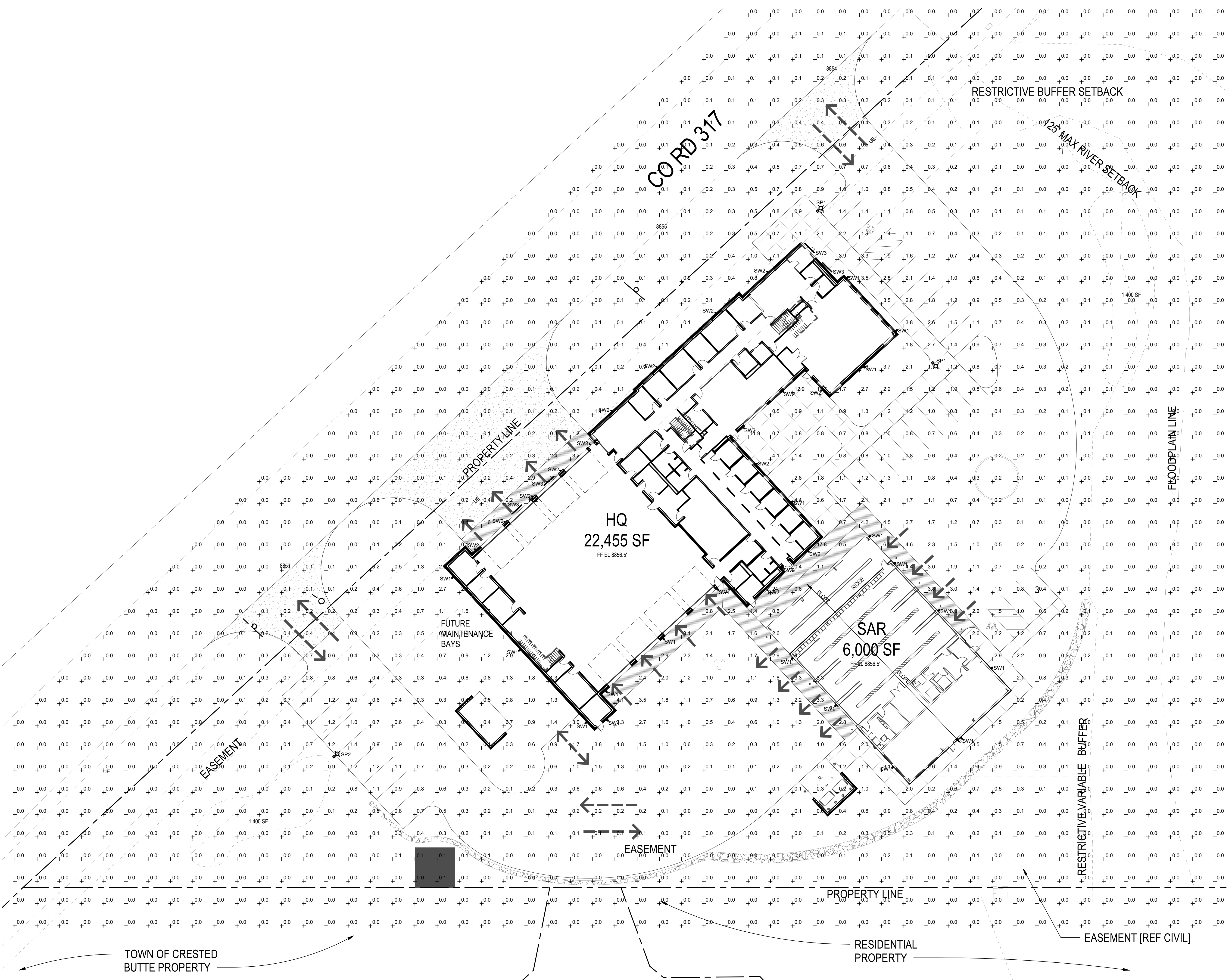
SHEET #:

IES1-1

SITE LIGHTING LUMINAIRE SCHEDULE

TYPE	MANUFACTURER CATALOG NO.	MANUFACTURER EQUIVALENT	VOLTAGE MOUNTING	DRIVER LAMP SPECIFICATION	DESCRIPTION
SP1	INVOLE LIGHTING VXS-F02-LED-E1-SWQ-BZ-PC-MSDIM-20	APPROVED EQUIVALENT	120V 20'-0" TALL POLE FLUSH BASE	LED DIMMING, 5257LM, 4000K, 70CRI, 55W	VISION SITE LED POLE MOUNTED FIXTURE, BRONZE FINISH, TYPE 5 SQUARE DISTRIBUTION, PHOTOCELL ON/OFF, MOTION DIMMING
SP2	INVOLE LIGHTING VXS-F02-LED-E1-SL3-BZ-PC-MSDIM-20	APPROVED EQUIVALENT	120V 20'-0" TALL POLE 2'-0" BASE	LED DIMMING, 5062LM, 4000K, 70CRI, 55W	VISION SITE LED POLE MOUNTED FIXTURE, BRONZE FINISH, TYPE 5 SQUARE DISTRIBUTION, PHOTOCELL ON/OFF, MOTION DIMMING
SW1	INVOLE LIGHTING ENC-SA1A-740-U-T4FT-BZ-MSDIM-20	APPROVED EQUIVALENT	120V EXTERIOR WALL	LED DIMMING, 1924LM, 4000K, 70CRI, 25W	ENTRI LED EXTERIOR WALL MOUNTED LIGHT, FORWARD THROW, BRONZE FINISH, MOTION SENSOR TO DIM WITH NO MOTION
SW2	LUMIERE LIGHTING 9004-W1-RW-W-BZ-L3-UNV-RSM	APPROVED EQUIVALENT	120V EXTERIOR WALL	LED DIMMING, 2801LM, 2801LM, 4000K, 70CRI, 29W	LANTERNA 9004 EXTERIOR WALL MOUNTED CYLINDER DOWN LIGHT ONLY, BRONZE FINISH.
SW3	COLE LIGHTING SL-8'-0"-HO-18"ARM-CS-DIM-BNF-RBW	APPROVED EQUIVALENT	120V EXTERIOR WALL	LED DIMMING, 2801LM, 2801LM, 4000K, 70CRI, 29W	SIGNLIGHTER, EXTERIOR BUILDING MOUNTED, CABLE SUPPORT FOR ARMS, WEATHER PROOF REMOTE GASKETED POWER SUPPLY.

- NOTES:
- THE ELECTRICAL CONTRACTOR IS TO ORDER ALL HARDWARE AND COMPONENTS NECESSARY FOR A FULL AND COMPLETE INSTALLATION AND MOUNTING OF ALL LUMINAIRE.
 - ALL POLES TO BE STRAIGHT POLE, COLOR TO MATCH LUMINAIRE. POLE SHAFT WILL BE RATED FOR WIND GUSTS OF 100 MILES/HOUR.
 - ALL OUTSIDE LIGHT SOURCES SHALL CONFORM TO ALL LOCAL MUNICIPAL ZONING & DEVELOPMENT CODES, LIGHT TRESPASS AND DARK SKY INITIATIVES.
 - ALL EXTERIOR BUILDING MOUNTED AND PARKING LOT LIGHTS ARE TO BE CONTROLLED THRU A PHOTOCELL, TIME CLOCK OR AUTOMATIC CONTROL SYSTEM FOR ALL NIGHT OPERATION.
 - NOTIFY ENGINEER OF ANY OBSTRUCTIONS TO POLE PLACEMENT IMMEDIATELY BEFORE PROCEEDING.
 - ORDER ALL EXTERIOR LUMINAIRE WITH MULTI-TAP BALLAST AND FIELD VERIFY AVAILABLE VOLTAGE FOR EACH LUMINAIRE PRIOR TO INSTALLATION.
 - VERIFY THE LENGTH AND MOUNTING HEIGHT OF LIGHT FIXTURE SW2 WITH THE ARCHITECTURAL BUILDING ELEVATIONS TO PROPERLY LIGHT THE SIGNS AND LOGOS.



LIGHT POLE DETAIL

- NOTES:
- VERIFY THE BURY DEPTH AND DIAMETER OF THE SONOTUBE WITH THE STRUCTURAL ENGINEER PRIOR TO PURCHASING THE EQUIPMENT. DEPTH WILL DEPEND ON SOIL CONDITIONS. TYPICAL CONCRETE DEPTH IS 5 FT.
 - THE ELECTRICAL CONTRACTOR IS TO INSTALL VIBRATION DAMPERS IN ALL POLES. OBTAIN DAMPERS FROM POLE MANUFACTURER FOR EACH ALUMINUM POLE.
 - ALL OUTSIDE LIGHT SOURCES SHALL COMPLY WITH SECTION 21.06.080 OF THE ZONING AND DEVELOPMENT CODE.
 - NOTIFY ENGINEER OF ANY OBSTRUCTIONS TO POLE PLACEMENT IMMEDIATELY BEFORE PROCEEDING.

PHOTOMETRIC CALCULATION DISCLAIMER:
LIGHTING PATTERN USED FOR LUMINAIRE REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY LUMINAIRE MAY VARY DUE TO VARIATION IN VOLTAGE, TOLERANCE IN LAMPS AND OTHER VARIABLE FIELD AND EQUIPMENT CONDITIONS.

- EXTERIOR LIGHTING DESIGN CONCEPTS:
- CALCULATIONS ARE USING POINT-TO-POINT METHOD WITH TEN FEET DISTANCE BETWEEN CALCULATION GRID POINTS USING VISUAL LIGHTING CALCULATIONS SOFTWARE.
 - THE IESNA STANDARDS REPRESENT THE LOWEST ACCEPTABLE LEVELS FOR PROPER VISIBILITY AND RECOMMEND MINIMUM MAINTAINED LIGHT LEVELS FOR OPEN PARKING LOTS AT 0.2-0.5 FOOT CANDLE LEVELS FOR ENHANCED SECURITY CONDITIONS.
 - PROPOSED LIGHT FIXTURES AND LIGHT LEVELS ARE TO BE IN ACCORDANCE WITH ALL LOCAL REQUIREMENTS.

- EXTERIOR LIGHTING NOTES:
- LIGHT FIXTURES SHALL BE INSTALLED AND MAINTAINED IN A MANNER CONSISTENT WITH THE LIGHTING PLAN APPROVED BY THE CITY PLANNING DEPARTMENT. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE LIGHTING FIXTURES ON THEIR PROPERTY.
 - REFER TO LANDSCAPE PLANS FOR MATURE HEIGHT OF EXISTING AND PROPOSED TREES.
 - REFER TO ARCHITECTURAL ELEVATIONS FOR BUILDING HEIGHT INFORMATION.
 - ALL EXTERIOR LIGHT FIXTURES SHALL BE OPERATED BY ASTRONOMICAL TIME CLOCK, PHOTOCELL OR LIGHTING CONTROL SYSTEM.
 - POST-CURVEY LIGHT LEVELS FOR PARKING LOTS SHALL BE REDUCED BY AT LEAST 50%. ENTRY LIGHTS MAY BE LEFT ON.
 - FACILITIES & SITE DEVELOPMENT OF THIS SITE ARE TO BE CONSTRUCTED IN ACCORDANCE WITH CITY CONSTRUCTION SPECIFICATIONS, STANDARDS AND DETAILS.
 - ALL OUTSIDE LIGHT SOURCES SHALL CONFORM TO ALL LOCAL ZONING & DEVELOPMENT CODES.
 - PARKING LOT LIGHTS SHALL OPERATE DUSK TO PRE-SET OFF, SO THAT THEY EXTINGUISH ONE HOUR AFTER CLOSE OF BUSINESS OR NO LATER THAN 10 P.M. BUILDING SECURITY LIGHTS WILL OPERATE FROM DUSK TO DAWN.

ACCEPTANCE BLOCK
THE CITY REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE CITY'S DEVELOPMENT STANDARDS, SUBJECT TO THESE PLANS BEING SEALED, SIGNED, AND DATED BY THE PROFESSIONAL OF RECORD. REVIEW BY THE CITY DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN. THE CITY NEITHER ACCEPTS NOR ASSUMES ANY LIABILITY FOR ERRORS OR OMISSIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE PROFESSIONAL OF RECORD. CONSTRUCTION MUST COMMENCE WITHIN ONE YEAR FROM THE DATE OF PLAN SIGNATURE.

CITY DEVELOPMENT ENGINEER DATE
CITY PLANNER DATE

LIGHTING - IES FOOTCANDLE SITE PLAN
SCALE: 1"=20'-0"
NORTH

DESCRIPTION

The classic lines and sophisticated construction of Vision Site LED luminaire makes it an ideal complement to site design. Offering LED technology across the VXS and VXM, the Vision Site luminaire provides true family scaling in both physical form and lumen capability for architectural site lighting applications. UL/cUL listed for use in wet locations.

Catalog #		Type
Project		
Comments		Date
Prepared by		

SPECIFICATION FEATURES

Construction

HOUSING: Heavy-wall one-piece, die-cast aluminum housing has precise tolerance control and repeatability in manufacturing. Housing features a partition wall that isolates driver components for cooler operation. Integral aluminum heat sink provides superior thermal heat transfer in +40°C ambient environments. **DOOR:** One-piece, die-cast aluminum construction with tool-less release latch. Door swings down and is retained on two catch hinges. **GASKET:** Continuous gasket provided to seal housing to optic tray. **LENS:** Downlight lens is LED board integrated acrylic over-optics, each individually sealed for IP66 rating. **HARDWARE:** Tool-less release door latch is stainless steel/aluminum construction, painted to match housing and allows access to internal housing and electrical components.

Optics

Choice of twelve patented, high-efficiency AccuLED Optics™ distributions. Optics are precisely designed to shape the light output, maximizing efficiency and application spacing. AccuLED Optics technology creates consistent distributions with the scalability to meet customized application requirements. Offered Standard in 4000K (+/- 275K) CCT and minimum 70 CRI. Optional 3000K CCT and 5000K CCT. For the ultimate level of spill light control, an optional house-side shield accessory can be field or factory installed. The house-side shield is

designed to seamlessly integrate with the SL2, SL3 or SL4 optics.

Electrical

LED drivers mount to die-cast aluminum back housing for optimal heat sinking, operation efficacy, and prolonged life. Standard drivers feature electronic universal voltage (120-277V 50/60Hz), 347V 60Hz or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Greater than 0.9 power factor, less than 20% harmonic distortion, and is suitable for operation in -40°C to 40°C ambient environments. All fixtures are shipped standard with 10kV/10kA common – and differential – mode surge protection. LightBARs feature and IP66 enclosure rating and maintain greater than 95% lumen maintenance at 60,000 hours per IESNA TM-21. Occupancy sensor and dimming options available.

Mounting

ARM: One-piece extruded aluminum arm available in standard 5" lengths (VXS) and 6" and 10" (VXM). Internal bolts guides allow easy positioning of fixture during installation to pole or wall surface. **STRUCTURAL MOUNT:** Die-cast aluminum cleat factory mounted to luminaire and finished in luminaire color. Stainless steel structural rod measures 1/2" in diameter and is provided in luminaire finish color or optional natural finish. Product works in conjunction with dedicated accessory arms (order separately). Invue poles

are provided pre-drilled when structural mount option drill pattern is specified. See Invue poles section for complete selection. Additional mounting accessories available.

Finish

Housing is finished in five-stage super premium TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. LightBAR cover plates are standard white and may be specified to match finish of luminaire housing. Standard colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available. Consult Outdoor Architectural Colors brochure for a complete selection. Options to meet Buy American Act requirements

Warranty

Five-year warranty.



VXS/VXM VISION SITE LED

1 - 6 LightBARs
Solid State LED

ARCHITECTURAL
AREA/SITE LUMINAIRE



CERTIFICATION DATA

UL/cUL Listed
ISO 9001
IP66 LightBARs
LM79 / LM80 Compliant
1.5G Vibration Tested
DesignLights Consortium® Qualified*

ENERGY DATA

Electronic LED Driver
>0.9 Power Factor
<20% Total Harmonic Distortion
120-277V/50 & 60Hz, 347V/60Hz,
480V/60Hz
-40°C Minimum Temperature
40°C Ambient Temperature Rating

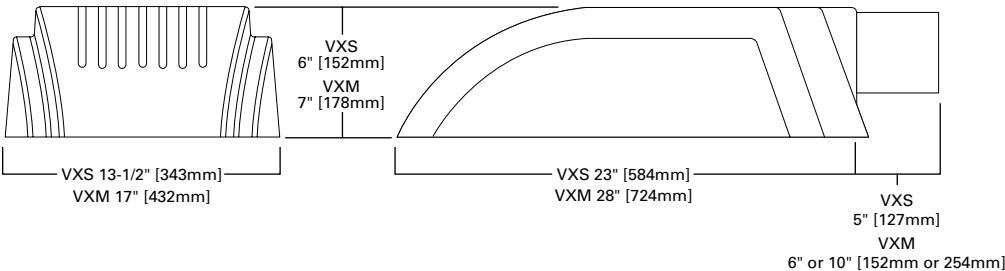
EPA

Effective Projected Area: (Sq. Ft.)
VXS Single: 1.18 w/Arm
VXS Single Structural: 1.27 w/Arm
VXM Single: 1.89 w/Arm
VXM Single Structural: 2.09 w/Arm

SHIPPING DATA

Approximate Net Weight:
VXS: 35 lbs. (15.91 kgs.)
VXM: 51 lbs. (23.18 kgs.)

DIMENSIONS



ORDERING INFORMATION

Sample Number: VXS-E04-LED-E-T3-GM

Product Family ^{1,2,3}	Number of LightBARs ^{4,5}	Lamp Type	Voltage	Distribution	Color ⁸
VXS =Vision Site Small VXM =Vision Site Medium BAA-VXS =Vision Site Small Buy American Act Compliant ³¹ BAA-VXM = Vision Site Medium Buy American Act Compliant ³¹	E01 =(1) 21 LED LightBAR E02 =(2) 21 LED LightBARs E03 =(3) 21 LED LightBARs E04 =(4) 21 LED LightBARs E05 =(5) 21 LED LightBARs ⁶ E06 =(6) 21 LED LightBARs ⁶ F01 =(1) 7 LED LightBAR F02 =(2) 7 LED LightBARs F03 =(3) 7 LED LightBARs F04 =(4) 7 LED LightBARs F05 =(5) 7 LED LightBARs ⁶ F06 =(6) 7 LED LightBARs ⁶	LED =Solid State Light Emitting Diode	E1 =Universal (120-277V) 347 =347V 480 =480V ⁷	T2 =Type II T3 =Type III T4 =Type IV 5MO =Type V Square Medium 5WQ =Type V Square Wide 5XQ =Type V Square Extra Wide RW =Rectangular Wide SL2 =Type II with Spill Control SL3 =Type III with Spill Control SL4 =Type IV with Spill Control SLL =90° Spill Light Eliminator Left SLR =90° Spill Light Eliminator Right	AP =Gray BZ =Bronze BK =Black DP =Dark Platinum GM =Graphite Metallic WH =White RALxx =Custom Color
Structural Options ^{3,9}		Options (Add as Suffix)			
Pole Mount PRCPS =Strut Rod and Clevis Set for Square Pole (Painted to match fixture. Does not include arm) ¹⁰ PRCCS =Stainless Strut Rod and Clevis Set for Square Pole (Clevis painted to match fixture. Does not include arm) ¹⁰ PRCPR =Strut Rod and Clevis Set for Round Pole (Painted to match fixture. Does not include arm) ¹¹ PRCCR =Stainless Strut Rod and Clevis Set for Round Pole (Clevis painted to match fixture. Does not include arm) ¹¹ Wall Mount WRCP =Strut Rod and Clevis Set (Painted to match fixture. Does not include arm) ¹² WRCS =Stainless Steel Strut Rod and Clevis Set (Clevis painted to match fixture. Does not include arm) ¹²		PC =Button Type Photocontrol (Specify Voltage) R =NEMA Twistlock Photocontrol Receptacle PER7 =NEMA 7-Pin Twistlock Photocontrol Receptacle 2L =Two Circuits ¹³ LCF =LightBAR Cover Plate Matches Housing Finish 7030 =70 CRI / 3000K CCT ¹⁴ 7050 =70 CRI / 5000K CCT ¹⁴ 8030 =80 CRI / 3000K CCT ¹⁴ L90 =Optics Rotated Left 90° R90 =Optics Rotated Right 90° ICB =Integral Cold Weather Battery Pack (Specify 120 or 277V) ¹⁵ LWR-LW =LumaWatt Pro Wireless Sensor, Wide Lens for 8' - 16' Mounting Height ¹⁶ LWR-LN =LumaWatt Pro Wireless Sensor, Narrow Lens for 16' - 40' Mounting Height ¹⁶ HSS =Factory Installed House Side Shield ¹⁷ MS/DIM-L08 =Motion Sensor for Dimming Operation, Maximum 8' Mounting Height ^{18, 19, 20, 21, 22} MS/DIM-L20 =Motion Sensor for Dimming Operation, 9' - 20' Mounting Height ^{18, 19, 20, 21, 23} MS/DIM-L40W =Motion Sensor for Dimming Operation, 21' - 40' Mounting Height (Wide Range) ^{16, 18, 20, 21, 24}			
Accessories (Order Separately) ²²					
OA/RA1016 =NEMA Photocontrol - Multi-Tap OA/RA1027 =NEMA Photocontrol - 480V OA/RA1201 =NEMA Photocontrol - 347V MA1253 =10kV Circuit Module Replacement LB/HSS =Field Installed House Side Shield ²⁶ VXS Mounting Accessories (Order Separately) MA1071-XX =5" Arm for Square Pole MA1073-XX =Direct Mount for Square Pole MA1074-XX =5" Arm for Round Pole MA1076-XX =Direct Mount for Round Pole MA1077-XX =Wall Bracket with 5" Arm MA1200-XX =Direct Wall Mount Kit MA1101-XX =Single Tenon Adapter for 2-3/8" O.D. Tenon MA1102-XX =2@180° Tenon Adapter for 2-3/8" O.D. Tenon MA1103-XX =3@120° Tenon Adapter for 2-3/8" O.D. Tenon MA1104-XX =4@90° Tenon Adapter for 2-3/8" O.D. Tenon MA1105-XX =2@90° Tenon Adapter for 2-3/8" O.D. Tenon MA1106-XX =3@90° Tenon Adapter for 2-3/8" O.D. Tenon MA1107-XX =2@120° Tenon Adapter for 2-3/8" O.D. Tenon		MA1108-XX =Single Tenon Adapter for 3-1/2" O.D. Tenon MA1109-XX =2@180° Tenon Adapter for 3-1/2" O.D. Tenon MA1110-XX =3@120° Tenon Adapter for 3-1/2" O.D. Tenon MA1111-XX =4@90° Tenon Adapter for 3-1/2" O.D. Tenon MA1112-XX =2@90° Tenon Adapter for 3-1/2" O.D. Tenon MA1113-XX =3@90° Tenon Adapter for 3-1/2" O.D. Tenon MA1114-XX =2@120° Tenon Adapter for 3-1/2" O.D. Tenon VXM Mounting Accessories (Order Separately) MA1050-XX =6" Arm for Square Pole MA1051-XX =10" Arm for Square Pole ²⁷ MA1052-XX =6" Arm for Round Pole MA1053-XX =10" Arm for Round Pole ²⁷ MA1054-XX =Wall Bracket with 6" Arm ²⁸ MA1056-XX =Direct Mount for Square Pole MA1057-XX =Direct Mount for Round Pole MA1201-XX =Direct Wall Mount Kit ²⁸ MA1231-XX =Structural Mount Wall Mount Arm ²⁹ MA1017-XX =Single Tenon Adapter for 2-3/8" O.D. Tenon MA1018-XX =2@180° Tenon Adapter for 2-3/8" O.D. Tenon MA1019-XX =3@120° Tenon Adapter for 2-3/8" O.D. Tenon MA1045-XX =4@90° Tenon Adapter for 2-3/8" O.D. Tenon MA1048-XX =2@90° Tenon Adapter for 2-3/8" O.D. Tenon MA1115-XX =3@90° Tenon Adapter for 2-3/8" O.D. Tenon MA1116-XX =2@120° Tenon Adapter for 2-3/8" O.D. Tenon MA1010-XX =Single Tenon Adapter for 3-1/2" O.D. Tenon MA1011-XX =2@180° Tenon Adapter for 3-1/2" O.D. Tenon MA1012-XX =3@120° Tenon Adapter for 3-1/2" O.D. Tenon MA1013-XX =4@90° Tenon Adapter for 3-1/2" O.D. Tenon MA1014-XX =2@90° Tenon Adapter for 3-1/2" O.D. Tenon MA1015-XX =2@120° Tenon Adapter for 3-1/2" O.D. Tenon MA1016-XX =3@90° Tenon Adapter for 3-1/2" O.D. Tenon WOLC-7P-10A =WaveLinX Outdoor Control Module (7-pin) ³⁰			

NOTES:

- Customer is responsible for engineering pole analysis to confirm pole and fixture compatibility for all applications. Refer to our pole white paper WP513001EN for additional support information.
- DesignLights Consortium™ Qualified. Refer to www.designlights.org Qualified Products List under Family Models for details.
- Arm not included. Order separately.
- Standard 4000K CCT and greater than 70 CRI.
- 21 LED LightBAR powered at 350mA, 7 LED LightBAR powered at 1A.
- Available with VXM only.
- Only for use with 480V Wye systems. Per NEC, not for use with ungrounded systems, impedance grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase High Leg Delta and Three Phase Corner Grounded Delta systems).
- Custom and RAL color matching available upon request. Consult your customer service representative for more information.
- Add as suffix in the order shown.
- Compatible with 5" MA1071 arm only (VXS). Compatible with 10" MA1051 arm only (VXM).
- Compatible with 5" MA1074 arm only (VXS). Compatible with 10" MA1053 arm only (VXM).
- Wall mount structural options do not include arm assembly (See accessories). Compatible with 5" MA1071 arm only (VXS). Compatible with MA2131 arm only (VXM).
- Low-level output varies by bar count. Consult factory. Requires two or more light bars.
- Extended lead times apply. See website for IES files.
- Available with E01-E02 and F01-F02 configurations only (VXS). Available with E01-E04 and F01-F04 configurations only (VXM). Specify 120V or 277V. LED cold weather integral battery pack is rated for minimum operating temperature -4°F (-20°C). Operates one light bar for 90-minutes. Not available in all configurations, consult factory. Rated for use in 25°C ambient.
- LumaWatt wireless sensors are factory installed only requiring network components LWP-EM-1, LWP-GW-1, and LWP-PoE in appropriate quantities. See www.cooperlighting.com/lighting for LumaWatt application information.
- Only for use with SL2, SL3 and SL4 distributions. Not available with L90 or R90 options.
- Consult factory for more information.
- Utilizes internal step-down transformer when 347V or 480V is selected.
- The FSIR-100 accessory is required to adjust parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative at Cooper Lighting Solutions for more information.
- Not available with HA option.
- Approximately 22' detection diameter at 8' mounting height.
- Approximately 40' detection diameter at 20' mounting height.
- Approximately 100' detection diameter at 40' mounting height.
- Replace XX with color designation.
- One required for each LightBAR. Not available with L90 or R90 options.
- Use when mounting fixture head at 90° increments.
- For use in downlighting applications only.
- Includes arm only. Must specify WRCP or WRCS in fixture ordering logic. Downlighting applications only.
- Requires 7-pin NEMA twistlock photocontrol receptacle. The WOLC-7 cannot be used in conjunction with additional sensors or controls.
- Only product configurations with this designated prefix are built to be compliant with the Buy American Act of 1933 (BAA). Please refer to [DOMESTIC PREFERENCES](#) website for more information. Components shipped separately may be separately analyzed under domestic preference requirements.
- Accessories sold separately will be separately analyzed under domestic preference requirements. Consult factory for further information.



Cooper Lighting Solutions
 1121 Highway 74 South
 Peachtree City, GA 30269
 P: 770-486-4800
 www.cooperlighting.com

Specifications and dimensions subject to change without notice.

TD50001EN
 August 17, 2022 1:37 PM

POWER AND LUMENS BY BAR COUNT (21 LED LIGHTBAR)

Number of LightBARs		E01	E02	E03	E04	E05	E06
Drive Current		350mA Drive Current					
Power (Watts)		25W	52W	75W	97W	127W	150W
Current @ 120V (A)		0.22	0.44	0.63	0.82	1.07	1.26
Current @ 277V (A)		0.10	0.20	0.28	0.36	0.48	0.56
Power (Watts)		31W	58W	82W	99W	132W	159W
Current @ 347V (A)		0.11	0.19	0.28	0.29	0.39	0.48
Current @ 480V (A)		0.09	0.15	0.20	0.21	0.30	0.36
T2	Lumens	3,064	6,128	9,192	12,255	15,319	18,383
	BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3
T3	Lumens	3,084	6,168	9,252	12,336	15,420	18,504
	BUG Rating	B1-U0-G1	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G3
T4	Lumens	3,022	6,044	9,066	12,088	15,110	18,132
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G3
5MQ	Lumens	3,224	6,448	9,672	12,896	16,120	19,344
	BUG Rating	B2-U0-G1	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2
5WQ	Lumens	3,184	6,368	9,551	12,735	15,919	19,103
	BUG Rating	B2-U0-G1	B3-U0-G1	B4-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3
5XQ	Lumens	3,181	6,361	9,542	12,722	15,903	19,083
	BUG Rating	B2-U0-G2	B3-U0-G2	B3-U0-G3	B4-U0-G3	B4-U0-G4	B4-U0-G4
SL2	Lumens	3,055	6,110	9,165	12,220	15,275	18,331
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G3
SL3	Lumens	3,036	6,072	9,108	12,145	15,181	18,217
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G3
SL4	Lumens	2,954	5,908	8,862	11,816	14,771	17,725
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G3
RW	Lumens	3,124	6,248	9,372	12,496	15,620	18,744
	BUG Rating	B2-U0-G2	B3-U0-G3	B3-U0-G3	B4-U0-G4	B4-U0-G4	B4-U0-G4
SLL/SLR	Lumens	2,782	5,565	8,347	11,130	13,912	16,695
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G3	B2-U0-G3	B2-U0-G3	B2-U0-G4

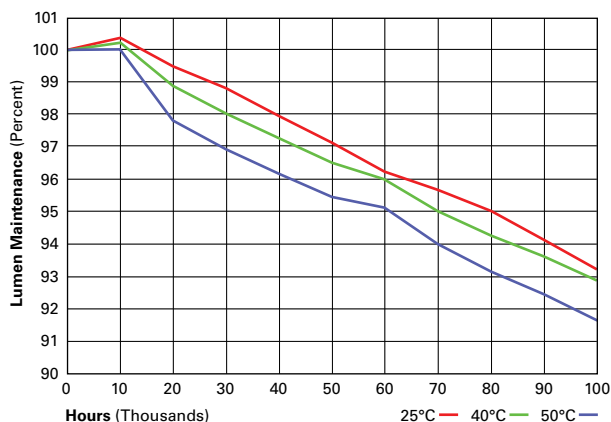
LUMEN MAINTENANCE

Ambient Temperature	25,000 Hours*	50,000 Hours*	60,000 Hours*	100,000 Hours	Theoretical L70 (Hours)
25°C	> 99%	> 97%	> 96%	> 93%	> 450,000
40°C	> 98%	> 97%	> 96%	> 92%	> 425,000
50°C	> 97%	> 96%	> 95%	> 91%	> 400,000

* Per IESNA TM-21 data.

LUMEN MULTIPLIER

Ambient Temperature	Lumen Multiplier
10°C	1.02
15°C	1.01
25°C	1.00
40°C	0.99



POWER AND LUMENS BY BAR COUNT (7 LED LIGHTBAR)

Number of LightBARs		F01	F02	F03	F04	F05	F06
Drive Current		1A Drive Current					
Power (Watts)		26W	55W	78W	102W	133W	157W
Current @ 120V (A)		0.22	0.46	0.66	0.86	1.12	1.31
Current @ 277V (A)		0.10	0.21	0.29	0.37	0.50	0.58
Power (Watts)		32W	60W	85W	105W	137W	164W
Current @ 347V (A)		0.11	0.19	0.28	0.30	0.41	0.49
Current @ 480V (A)		0.09	0.15	0.21	0.22	0.31	0.37
T2	Lumens	2,529	5,059	7,588	10,117	12,646	15,176
	BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3
T3	Lumens	2,546	5,092	7,638	10,183	12,729	15,275
	BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3
T4	Lumens	2,495	4,990	7,484	9,979	12,474	14,969
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G3
5MQ	Lumens	2,662	5,323	7,985	10,646	13,308	15,969
	BUG Rating	B2-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2
5WQ	Lumens	2,628	5,257	7,885	10,513	13,142	15,770
	BUG Rating	B2-U0-G1	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2
5XQ	Lumens	2,626	5,251	7,877	10,502	13,128	15,754
	BUG Rating	B2-U0-G1	B3-U0-G2	B3-U0-G3	B4-U0-G3	B4-U0-G3	B4-U0-G4
SL2	Lumens	2,522	5,044	7,566	10,088	12,610	15,132
	BUG Rating	B1-U0-G1	B1-U0-G1	B2-U0-G2	B2-U0-G2	B2-U0-G2	B3-U0-G3
SL3	Lumens	2,506	5,013	7,519	10,026	12,532	15,039
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G3
SL4	Lumens	2,439	4,877	7,316	9,755	12,193	14,632
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G3
RW	Lumens	2,579	5,158	7,737	10,316	12,894	15,473
	BUG Rating	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3	B4-U0-G4	B4-U0-G4
SLL/SLR	Lumens	2,297	4,594	6,891	9,188	11,485	13,782
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G3	B2-U0-G3	B2-U0-G3

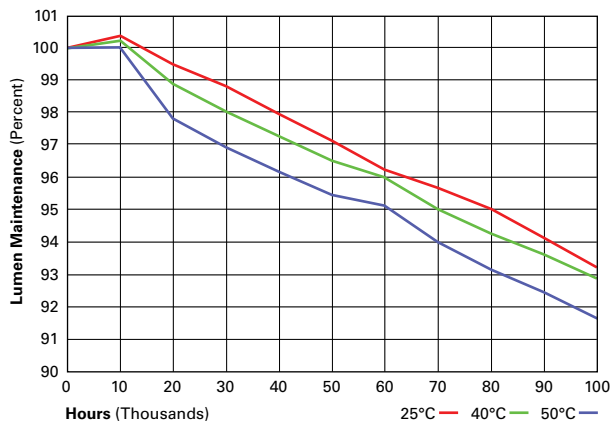
LUMEN MAINTENANCE

Ambient Temperature	25,000 Hours*	50,000 Hours*	60,000 Hours*	100,000 Hours	Theoretical L70 (Hours)
25°C	> 99%	> 97%	> 96%	> 93%	> 450,000
40°C	> 98%	> 97%	> 96%	> 92%	> 425,000
50°C	> 97%	> 96%	> 95%	> 91%	> 400,000

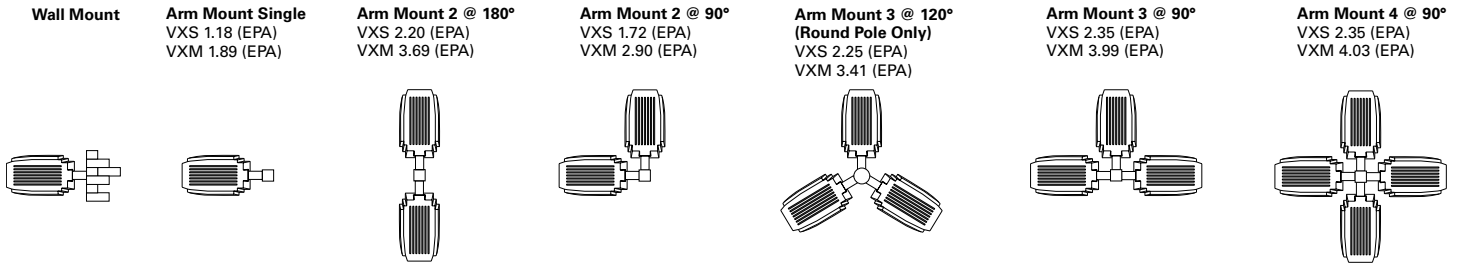
* Per IESNA TM-21 data.

LUMEN MULTIPLIER

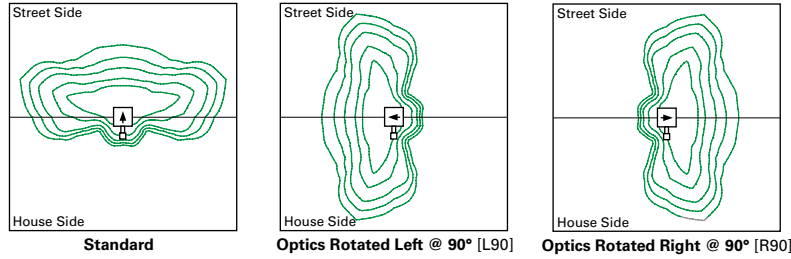
Ambient Temperature	Lumen Multiplier
10°C	1.02
15°C	1.01
25°C	1.00
40°C	0.99



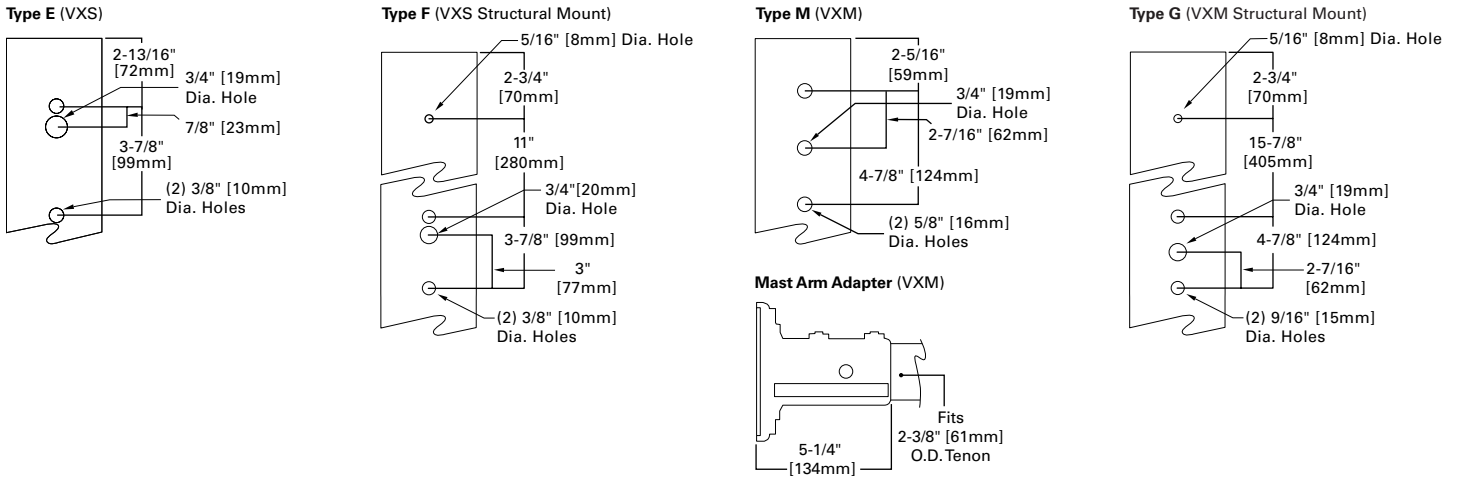
MOUNTING VARIATIONS AND EPAS



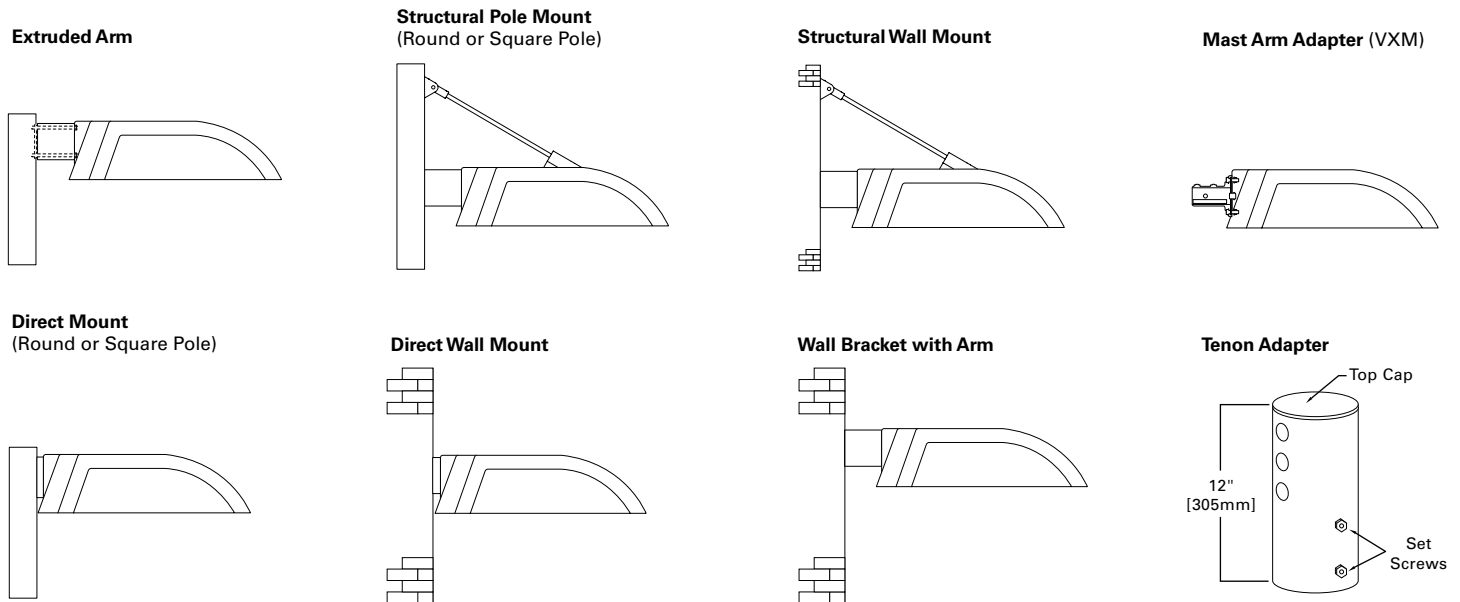
OPTIC ORIENTATION



POLE DRILLING PATTERNS AND MOUNTING OPTIONS



MOUNTING OPTIONS AND ACCESSORIES



CONTROL OPTIONS

0-10V (DIM)

The DIM option provides 0-10V dimming wire leads for use with a lighting control panel or other control method.

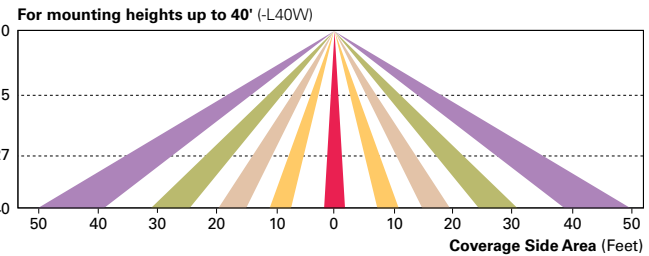
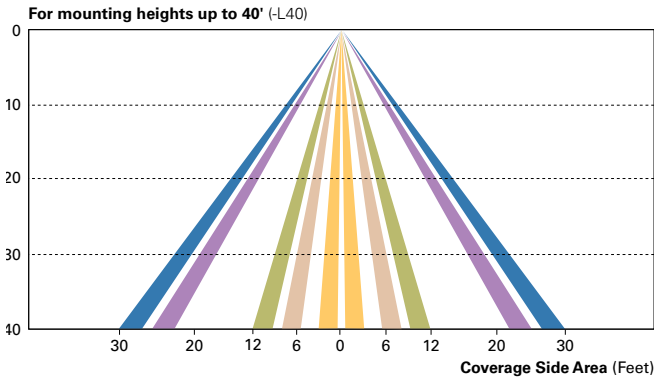
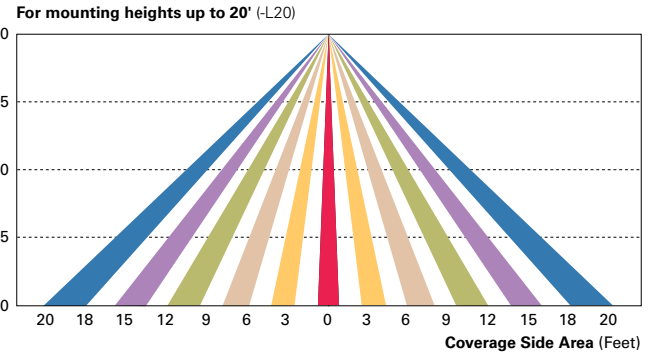
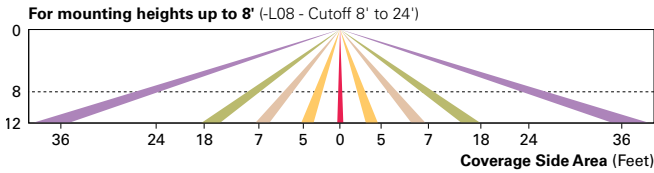
Photocontrol (PC, R and PER7)

Optional button-type photocontrol (PC) and photocontrol receptacles (R and PER7) provide a flexible solution to enable "dusk-to-dawn" lighting by sensing light levels. Advanced control systems compatible with NEMA 7-pin standards can be utilized with the PER7 receptacle.

Dimming Occupancy Sensor (MS/DIM-LXX)

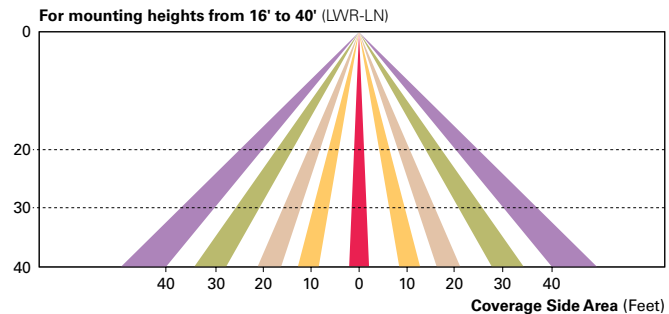
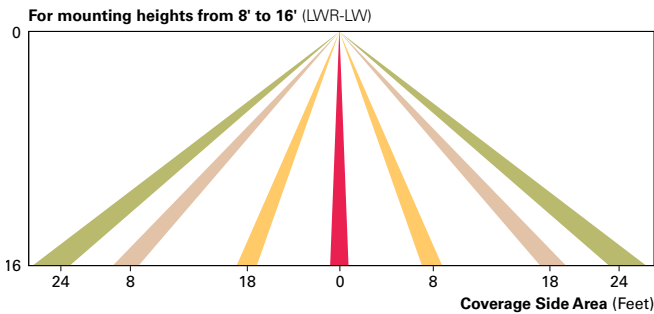
These sensors are factory installed in the luminaire housing. When the MS/DIM-LXX sensor option is selected, the occupancy sensor is connected to a dimming driver and the entire luminaire dims when there is no activity detected. When activity is detected, the luminaire returns to full light output. The MS/DIM sensor is factory preset to dim down to approximately 50 percent power with a time delay of five minutes.

These occupancy sensors includes an integral photocell that can be activated with the FSIR-100 accessory for "dusk-to-dawn" control or daylight harvesting - the factory preset is OFF. The FSIR-100 is a wireless tool utilized for changing the dimming level, time delay, sensitivity and other parameters. A variety of sensor lens are available to optimize the coverage pattern for mounting heights from 8'-40'.



LumaWatt Pro Wireless Control and Monitoring System (LWR-LW and LWR-LN)

The Eaton's LumaWatt Pro powered by Enlighted is a connected lighting solution that combines a broad selection of energy-efficient LED luminaires with a powerful integrated wireless sensor system. The sensor controls the lighting system in compliance with the latest energy codes and collects valuable data about building performance and use. Software applications turn the granular data into information through energy dashboards and specialized apps that make it simple and help optimize the use of building resources, beyond lighting.



WaveLinx Wireless Outdoor Lighting Control Module (WOLC-7P-10A)

The 7-pin wireless outdoor lighting control module enables WaveLinx to control outdoor area, site and flood lighting. WaveLinx controls outdoor lighting using schedules to provide ON, OFF and dimming controls based on astronomic or time schedules based on a 7 day week.

DESCRIPTION

The classic lines and sophisticated construction of Vision Site LED luminaire makes it an ideal complement to site design. Offering LED technology across the VXS and VXM, the Vision Site luminaire provides true family scaling in both physical form and lumen capability for architectural site lighting applications. UL/cUL listed for use in wet locations.

Catalog #		Type
Project		
Comments		Date
Prepared by		

SPECIFICATION FEATURES

Construction

HOUSING: Heavy-wall one-piece, die-cast aluminum housing has precise tolerance control and repeatability in manufacturing. Housing features a partition wall that isolates driver components for cooler operation. Integral aluminum heat sink provides superior thermal heat transfer in +40°C ambient environments. **DOOR:** One-piece, die-cast aluminum construction with tool-less release latch. Door swings down and is retained on two catch hinges. **GASKET:** Continuous gasket provided to seal housing to optic tray. **LENS:** Downlight lens is LED board integrated acrylic over-optics, each individually sealed for IP66 rating. **HARDWARE:** Tool-less release door latch is stainless steel/aluminum construction, painted to match housing and allows access to internal housing and electrical components.

Optics

Choice of twelve patented, high-efficiency AccuLED Optics™ distributions. Optics are precisely designed to shape the light output, maximizing efficiency and application spacing. AccuLED Optics technology creates consistent distributions with the scalability to meet customized application requirements. Offered Standard in 4000K (+/- 275K) CCT and minimum 70 CRI. Optional 3000K CCT and 5000K CCT. For the ultimate level of spill light control, an optional house-side shield accessory can be field or factory installed. The house-side shield is

designed to seamlessly integrate with the SL2, SL3 or SL4 optics.

Electrical

LED drivers mount to die-cast aluminum back housing for optimal heat sinking, operation efficacy, and prolonged life. Standard drivers feature electronic universal voltage (120-277V 50/60Hz), 347V 60Hz or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Greater than 0.9 power factor, less than 20% harmonic distortion, and is suitable for operation in -40°C to 40°C ambient environments. All fixtures are shipped standard with 10kV/10kA common – and differential – mode surge protection. LightBARs feature and IP66 enclosure rating and maintain greater than 95% lumen maintenance at 60,000 hours per IESNA TM-21. Occupancy sensor and dimming options available.

Mounting

ARM: One-piece extruded aluminum arm available in standard 5" lengths (VXS) and 6" and 10" (VXM). Internal bolts guides allow easy positioning of fixture during installation to pole or wall surface. **STRUCTURAL MOUNT:** Die-cast aluminum cleat factory mounted to luminaire and finished in luminaire color. Stainless steel structural rod measures 1/2" in diameter and is provided in luminaire finish color or optional natural finish. Product works in conjunction with dedicated accessory arms (order separately). Invue poles

are provided pre-drilled when structural mount option drill pattern is specified. See Invue poles section for complete selection. Additional mounting accessories available.

Finish

Housing is finished in five-stage super premium TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. LightBAR cover plates are standard white and may be specified to match finish of luminaire housing. Standard colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available. Consult Outdoor Architectural Colors brochure for a complete selection. Options to meet Buy American Act requirements

Warranty

Five-year warranty.



**VXS/VXM
VISION SITE LED**

**1 - 6 LightBARs
Solid State LED**

**ARCHITECTURAL
AREA/SITE LUMINAIRE**



CERTIFICATION DATA

UL/cUL Listed
ISO 9001
IP66 LightBARs
LM79 / LM80 Compliant
1.5G Vibration Tested
DesignLights Consortium® Qualified*

ENERGY DATA

Electronic LED Driver
>0.9 Power Factor
<20% Total Harmonic Distortion
120-277V/50 & 60Hz, 347V/60Hz, 480V/60Hz
-40°C Minimum Temperature
40°C Ambient Temperature Rating

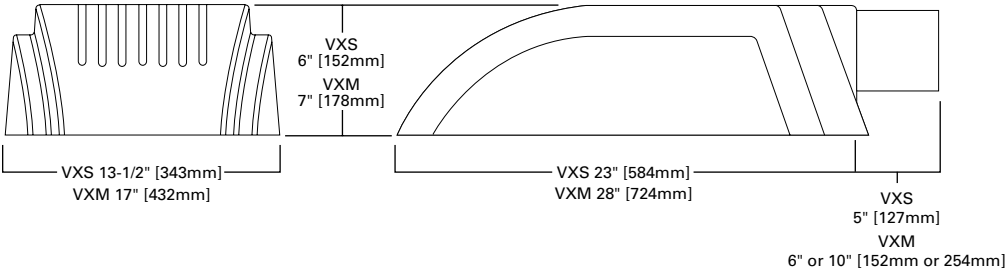
EPA

Effective Projected Area: (Sq. Ft.)
VXS Single: 1.18 w/Arm
VXS Single Structural: 1.27 w/Arm
VXM Single: 1.89 w/Arm
VXM Single Structural: 2.09 w/Arm

SHIPPING DATA

Approximate Net Weight:
VXS: 35 lbs. (15.91 kgs.)
VXM: 51 lbs. (23.18 kgs.)

DIMENSIONS



ORDERING INFORMATION

Sample Number: VXS-E04-LED-E-T3-GM

Product Family ^{1,2,3}	Number of LightBARs ^{4,5}	Lamp Type	Voltage	Distribution	Color ⁸
VXS =Vision Site Small VXM =Vision Site Medium BAA-VXS =Vision Site Small Buy American Act Compliant ³¹ BAA-VXM = Vision Site Medium Buy American Act Compliant ³¹	E01 =(1) 21 LED LightBAR E02 =(2) 21 LED LightBARs E03 =(3) 21 LED LightBARs E04 =(4) 21 LED LightBARs E05 =(5) 21 LED LightBARs ⁶ E06 =(6) 21 LED LightBARs ⁶ F01 =(1) 7 LED LightBAR F02 =(2) 7 LED LightBARs F03 =(3) 7 LED LightBARs F04 =(4) 7 LED LightBARs F05 =(5) 7 LED LightBARs ⁶ F06 =(6) 7 LED LightBARs ⁶	LED =Solid State Light Emitting Diode	E1 =Universal (120-277V) 347 =347V 480 =480V ⁷	T2 =Type II T3 =Type III T4 =Type IV 5MQ =Type V Square Medium 5WQ =Type V Square Wide 5XQ =Type V Square Extra Wide RW =Rectangular Wide SL2 =Type II with Spill Control SL3 =Type III with Spill Control SL4 =Type IV with Spill Control SLL =90° Spill Light Eliminator Left SLR =90° Spill Light Eliminator Right	AP =Gray BZ =Bronze BK =Black DP =Dark Platinum GM =Graphite Metallic WH =White RALxx =Custom Color
Structural Options ^{3,9}		Options (Add as Suffix)			
Pole Mount PRCPS =Strut Rod and Clevis Set for Square Pole (Painted to match fixture. Does not include arm) ¹⁰ PRCCS =Stainless Strut Rod and Clevis Set for Square Pole (Clevis painted to match fixture. Does not include arm) ¹⁰ PRCPR =Strut Rod and Clevis Set for Round Pole (Painted to match fixture. Does not include arm) ¹¹ PRCCR =Stainless Strut Rod and Clevis Set for Round Pole (Clevis painted to match fixture. Does not include arm) ¹¹ Wall Mount WRCP =Strut Rod and Clevis Set (Painted to match fixture. Does not include arm) ¹² WRCS =Stainless Steel Strut Rod and Clevis Set (Clevis painted to match fixture. Does not include arm) ¹²		PC =Button Type Photocontrol (Specify Voltage) R =NEMA Twistlock Photocontrol Receptacle PER7 =NEMA 7-Pin Twistlock Photocontrol Receptacle 2L =Two Circuits ¹³ LCF =LightBAR Cover Plate Matches Housing Finish 7030 =70 CRI / 3000K CCT ¹⁴ 7050 =70 CRI / 5000K CCT ¹⁴ 8030 =80 CRI / 3000K CCT ¹⁴ L90 =Optics Rotated Left 90° R90 =Optics Rotated Right 90° ICB =Integral Cold Weather Battery Pack (Specify 120 or 277V) ¹⁵ LWR-LW =LumaWatt Pro Wireless Sensor, Wide Lens for 8' - 16' Mounting Height ¹⁶ LWR-LN =LumaWatt Pro Wireless Sensor, Narrow Lens for 16' - 40' Mounting Height ¹⁶ HSS =Factory Installed House Side Shield ¹⁷ MS/DIM-L08 =Motion Sensor for Dimming Operation, Maximum 8' Mounting Height ^{18, 19, 20, 21, 22} MS/DIM-L20 =Motion Sensor for Dimming Operation, 9' - 20' Mounting Height ^{18, 19, 20, 21, 23} MS/DIM-L40W =Motion Sensor for Dimming Operation, 21' - 40' Mounting Height (Wide Range) ^{16, 18, 20, 21, 24}			
Accessories (Order Separately) ³²					
OA/RA1016 =NEMA Photocontrol - Multi-Tap OA/RA1027 =NEMA Photocontrol - 480V OA/RA1201 =NEMA Photocontrol - 347V MA1253 =10kV Circuit Module Replacement LB/HSS =Field Installed House Side Shield ²⁶ VXS Mounting Accessories (Order Separately) MA1071-XX =5" Arm for Square Pole MA1073-XX =Direct Mount for Square Pole MA1074-XX =5" Arm for Round Pole MA1076-XX =Direct Mount for Round Pole MA1077-XX =Wall Bracket with 5" Arm MA1200-XX =Direct Wall Mount Kit MA1101-XX =Single Tenon Adapter for 2-3/8" O.D. Tenon MA1102-XX =2@180° Tenon Adapter for 2-3/8" O.D. Tenon MA1103-XX =3@120° Tenon Adapter for 2-3/8" O.D. Tenon MA1104-XX =4@90° Tenon Adapter for 2-3/8" O.D. Tenon MA1105-XX =2@90° Tenon Adapter for 2-3/8" O.D. Tenon MA1106-XX =3@90° Tenon Adapter for 2-3/8" O.D. Tenon MA1107-XX =2@120° Tenon Adapter for 2-3/8" O.D. Tenon		MA1108-XX =Single Tenon Adapter for 3-1/2" O.D. Tenon MA1109-XX =2@180° Tenon Adapter for 3-1/2" O.D. Tenon MA1110-XX =3@120° Tenon Adapter for 3-1/2" O.D. Tenon MA1111-XX =4@90° Tenon Adapter for 3-1/2" O.D. Tenon MA1112-XX =2@90° Tenon Adapter for 3-1/2" O.D. Tenon MA1113-XX =3@90° Tenon Adapter for 3-1/2" O.D. Tenon MA1114-XX =2@120° Tenon Adapter for 3-1/2" O.D. Tenon VXM Mounting Accessories (Order Separately) MA1050-XX =6" Arm for Square Pole MA1051-XX =10" Arm for Square Pole ²⁷ MA1052-XX =6" Arm for Round Pole MA1053-XX =10" Arm for Round Pole ²⁷ MA1054-XX =Wall Bracket with 6" Arm ²⁸ MA1056-XX =Direct Mount for Square Pole MA1057-XX =Direct Mount for Round Pole MA1201-XX =Direct Wall Mount Kit ²⁸ MA1231-XX =Structural Mount Wall Mount Arm ²⁹ MA1017-XX =Single Tenon Adapter for 2-3/8" O.D. Tenon MA1018-XX =2@180° Tenon Adapter for 2-3/8" O.D. Tenon MA1019-XX =3@120° Tenon Adapter for 2-3/8" O.D. Tenon MA1045-XX =4@90° Tenon Adapter for 2-3/8" O.D. Tenon MA1048-XX =2@90° Tenon Adapter for 2-3/8" O.D. Tenon MA1115-XX =3@90° Tenon Adapter for 2-3/8" O.D. Tenon MA1116-XX =2@120° Tenon Adapter for 2-3/8" O.D. Tenon MA1010-XX =Single Tenon Adapter for 3-1/2" O.D. Tenon MA1011-XX =2@180° Tenon Adapter for 3-1/2" O.D. Tenon MA1012-XX =3@120° Tenon Adapter for 3-1/2" O.D. Tenon MA1013-XX =4@90° Tenon Adapter for 3-1/2" O.D. Tenon MA1014-XX =2@90° Tenon Adapter for 3-1/2" O.D. Tenon MA1015-XX =2@120° Tenon Adapter for 3-1/2" O.D. Tenon MA1016-XX =3@90° Tenon Adapter for 3-1/2" O.D. Tenon WOLC-7P-10A =WaveLinx Outdoor Control Module (7-pin) ³⁰			

NOTES:

- Customer is responsible for engineering pole analysis to confirm pole and fixture compatibility for all applications. Refer to our pole white paper WP513001EN for additional support information.
- DesignLights Consortium™ Qualified. Refer to www.designlights.org Qualified Products List under Family Models for details.
- Arm not included. Order separately.
- Standard 4000K CCT and greater than 70 CRI.
- 21 LED LightBAR powered at 350mA, 7 LED LightBAR powered at 1A.
- Available with VXM only.
- Only for use with 480V Wye systems. Per NEC, not for use with ungrounded systems, impedance grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase High Leg Delta and Three Phase Corner Grounded Delta systems).
- Custom and RAL color matching available upon request. Consult your customer service representative for more information.
- Add as suffix in the order shown.
- Compatible with 5" MA1071 arm only (VXS). Compatible with 10" MA1051 arm only (VXM).
- Compatible with 5" MA1074 arm only (VXS). Compatible with 10" MA1053 arm only (VXM).
- Wall mount structural options do not include arm assembly (See accessories). Compatible with 5" MA1071 arm only (VXS). Compatible with MA2131 arm only (VXM).
- Low-level output varies by bar count. Consult factory. Requires two or more light bars.
- Extended lead times apply. See website for IES files.
- Available with E01-E02 and F01-F02 configurations only (VXS). Available with E01-E04 and F01-F04 configurations only (VXM). Specify 120V or 277V. LED cold weather integral battery pack is rated for minimum operating temperature -4°F (-20°C). Operates one light bar for 90-minutes. Not available in all configurations, consult factory. Rated for use in 25°C ambient.
- LumaWatt wireless sensors are factory installed only requiring network components LWP-EM-1, LWP-GW-1, and LWP-PoE in appropriate quantities. See www.cooperlighting.com/lighting for LumaWatt application information.
- Only for use with SL2, SL3 and SL4 distributions. Not available with L90 or R90 options.
- Consult factory for more information.
- Utilizes internal step-down transformer when 347V or 480V is selected.
- The FSIR-100 accessory is required to adjust parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative at Cooper Lighting Solutions for more information.
- Not available with HA option.
- Approximately 22' detection diameter at 8' mounting height.
- Approximately 40' detection diameter at 20' mounting height.
- Approximately 100' detection diameter at 40' mounting height.
- Replace XX with color designation.
- One required for each LightBAR. Not available with L90 or R90 options.
- Use when mounting fixture head at 90° increments.
- For use in downlighting applications only.
- Includes arm only. Must specify WRCP or WRCS in fixture ordering logic. Downlighting applications only.
- Requires 7-pin NEMA twistlock photocontrol receptacle. The WOLC-7 cannot be used in conjunction with additional sensors or controls.
- Only product configurations with this designated prefix are built to be compliant with the Buy American Act of 1933 (BAA). Please refer to [DOMESTIC PREFERENCES](#) website for more information. Components shipped separately may be separately analyzed under domestic preference requirements.
- Accessories sold separately will be separately analyzed under domestic preference requirements. Consult factory for further information.



Cooper Lighting Solutions
 1121 Highway 74 South
 Peachtree City, GA 30269
 P: 770-486-4800
 www.cooperlighting.com

Specifications and dimensions subject to change without notice.

TD500001EN
 August 17, 2022 1:37 PM

POWER AND LUMENS BY BAR COUNT (21 LED LIGHTBAR)

Number of LightBARs		E01	E02	E03	E04	E05	E06
Drive Current		350mA Drive Current					
Power (Watts)		25W	52W	75W	97W	127W	150W
Current @ 120V (A)		0.22	0.44	0.63	0.82	1.07	1.26
Current @ 277V (A)		0.10	0.20	0.28	0.36	0.48	0.56
Power (Watts)		31W	58W	82W	99W	132W	159W
Current @ 347V (A)		0.11	0.19	0.28	0.29	0.39	0.48
Current @ 480V (A)		0.09	0.15	0.20	0.21	0.30	0.36
T2	Lumens	3,064	6,128	9,192	12,255	15,319	18,383
	BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3
T3	Lumens	3,084	6,168	9,252	12,336	15,420	18,504
	BUG Rating	B1-U0-G1	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G3
T4	Lumens	3,022	6,044	9,066	12,088	15,110	18,132
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G3
5MQ	Lumens	3,224	6,448	9,672	12,896	16,120	19,344
	BUG Rating	B2-U0-G1	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2
5WQ	Lumens	3,184	6,368	9,551	12,735	15,919	19,103
	BUG Rating	B2-U0-G1	B3-U0-G1	B4-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3
5XQ	Lumens	3,181	6,361	9,542	12,722	15,903	19,083
	BUG Rating	B2-U0-G2	B3-U0-G2	B3-U0-G3	B4-U0-G3	B4-U0-G4	B4-U0-G4
SL2	Lumens	3,055	6,110	9,165	12,220	15,275	18,331
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G3
SL3	Lumens	3,036	6,072	9,108	12,145	15,181	18,217
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G3
SL4	Lumens	2,954	5,908	8,862	11,816	14,771	17,725
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G3
RW	Lumens	3,124	6,248	9,372	12,496	15,620	18,744
	BUG Rating	B2-U0-G2	B3-U0-G3	B3-U0-G3	B4-U0-G4	B4-U0-G4	B4-U0-G4
SLL/SLR	Lumens	2,782	5,565	8,347	11,130	13,912	16,695
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G3	B2-U0-G3	B2-U0-G3	B2-U0-G4

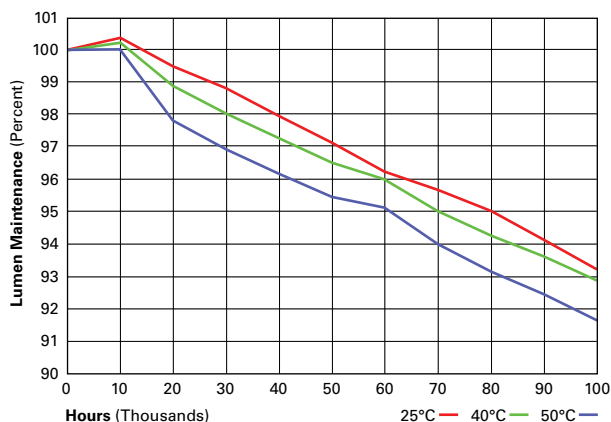
LUMEN MAINTENANCE

Ambient Temperature	25,000 Hours*	50,000 Hours*	60,000 Hours*	100,000 Hours	Theoretical L70 (Hours)
25°C	> 99%	> 97%	> 96%	> 93%	> 450,000
40°C	> 98%	> 97%	> 96%	> 92%	> 425,000
50°C	> 97%	> 96%	> 95%	> 91%	> 400,000

* Per IESNA TM-21 data.

LUMEN MULTIPLIER

Ambient Temperature	Lumen Multiplier
10°C	1.02
15°C	1.01
25°C	1.00
40°C	0.99



POWER AND LUMENS BY BAR COUNT (7 LED LIGHTBAR)

Number of LightBARs		F01	F02	F03	F04	F05	F06
Drive Current		1A Drive Current					
Power (Watts)		26W	55W	78W	102W	133W	157W
Current @ 120V (A)		0.22	0.46	0.66	0.86	1.12	1.31
Current @ 277V (A)		0.10	0.21	0.29	0.37	0.50	0.58
Power (Watts)		32W	60W	85W	105W	137W	164W
Current @ 347V (A)		0.11	0.19	0.28	0.30	0.41	0.49
Current @ 480V (A)		0.09	0.15	0.21	0.22	0.31	0.37
T2	Lumens	2,529	5,059	7,588	10,117	12,646	15,176
	BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3
T3	Lumens	2,546	5,092	7,638	10,183	12,729	15,275
	BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3
T4	Lumens	2,495	4,990	7,484	9,979	12,474	14,969
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G3
5MQ	Lumens	2,662	5,323	7,985	10,646	13,308	15,969
	BUG Rating	B2-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2
5WQ	Lumens	2,628	5,257	7,885	10,513	13,142	15,770
	BUG Rating	B2-U0-G1	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2
5XQ	Lumens	2,626	5,251	7,877	10,502	13,128	15,754
	BUG Rating	B2-U0-G1	B3-U0-G2	B3-U0-G3	B4-U0-G3	B4-U0-G3	B4-U0-G4
SL2	Lumens	2,522	5,044	7,566	10,088	12,610	15,132
	BUG Rating	B1-U0-G1	B1-U0-G1	B2-U0-G2	B2-U0-G2	B2-U0-G2	B3-U0-G3
SL3	Lumens	2,506	5,013	7,519	10,026	12,532	15,039
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G3
SL4	Lumens	2,439	4,877	7,316	9,755	12,193	14,632
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G3
RW	Lumens	2,579	5,158	7,737	10,316	12,894	15,473
	BUG Rating	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3	B4-U0-G4	B4-U0-G4
SLL/SLR	Lumens	2,297	4,594	6,891	9,188	11,485	13,782
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G3	B2-U0-G3	B2-U0-G3

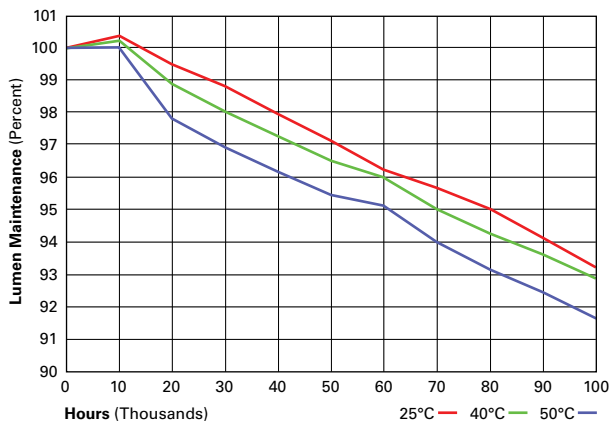
LUMEN MAINTENANCE

Ambient Temperature	25,000 Hours*	50,000 Hours*	60,000 Hours*	100,000 Hours	Theoretical L70 (Hours)
25°C	> 99%	> 97%	> 96%	> 93%	> 450,000
40°C	> 98%	> 97%	> 96%	> 92%	> 425,000
50°C	> 97%	> 96%	> 95%	> 91%	> 400,000

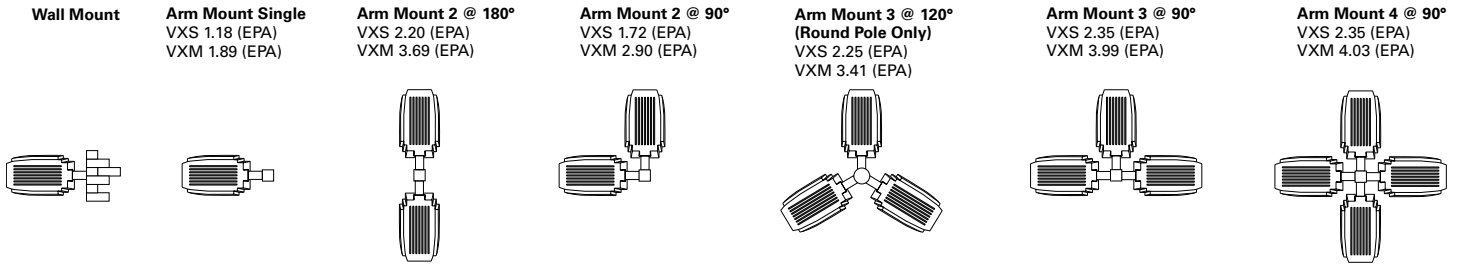
* Per IESNA TM-21 data.

LUMEN MULTIPLIER

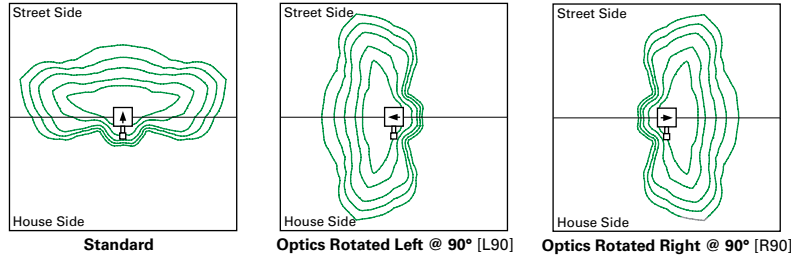
Ambient Temperature	Lumen Multiplier
10°C	1.02
15°C	1.01
25°C	1.00
40°C	0.99



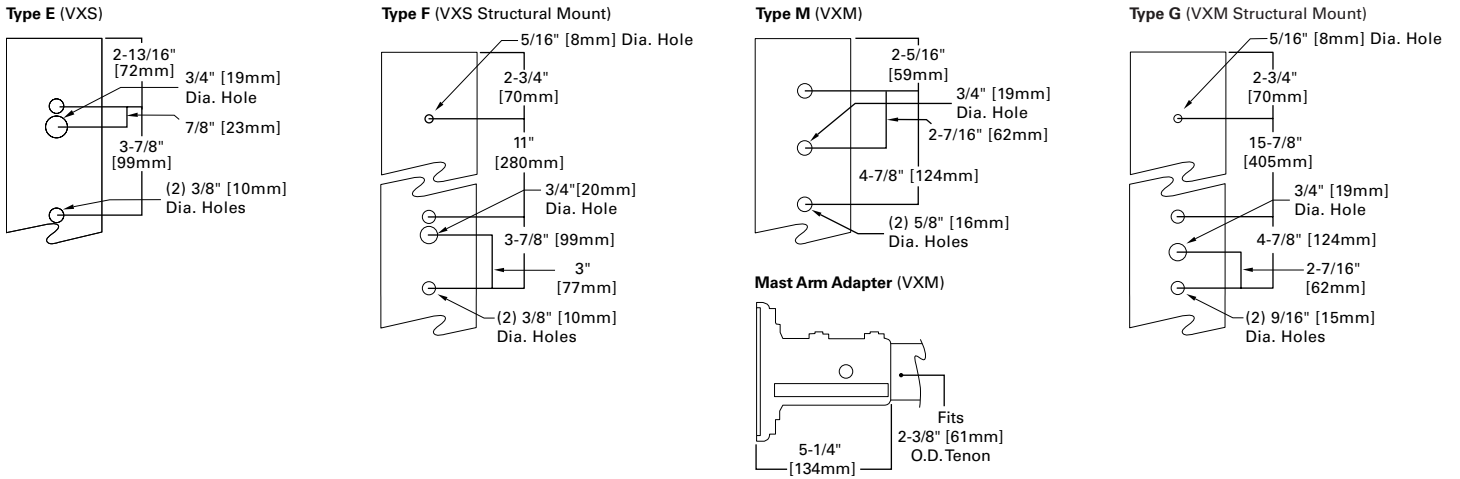
MOUNTING VARIATIONS AND EPAS



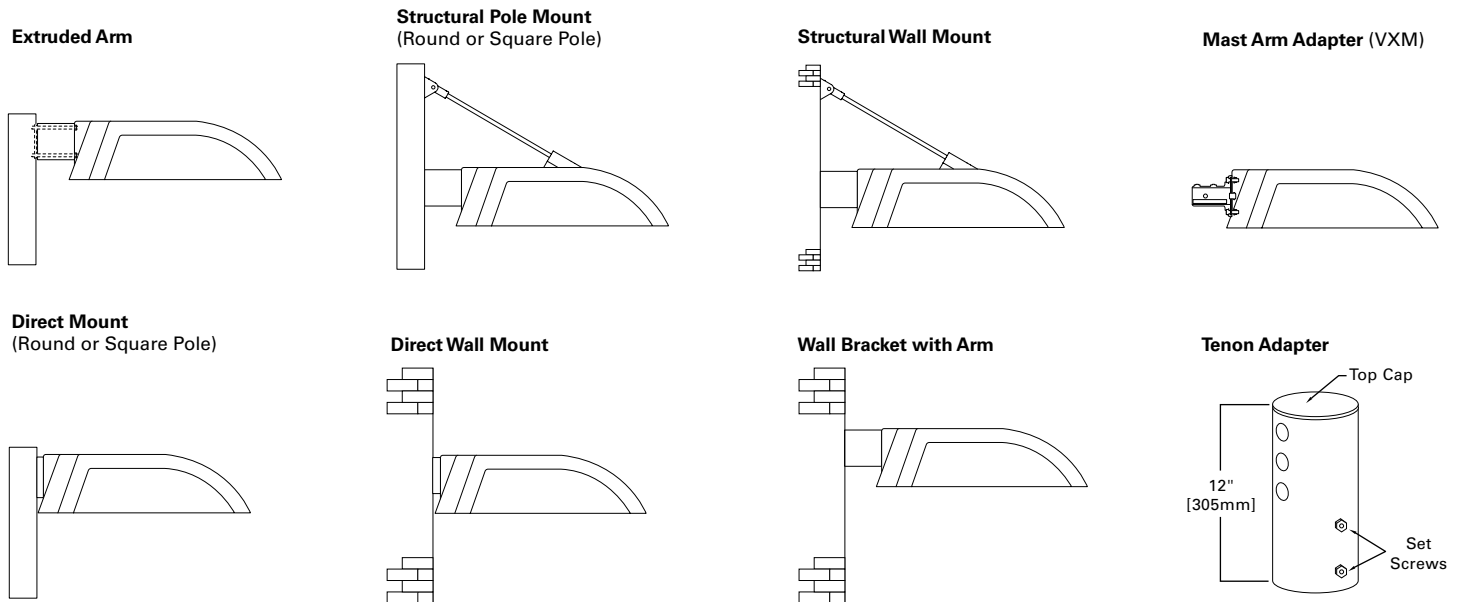
OPTIC ORIENTATION



POLE DRILLING PATTERNS AND MOUNTING OPTIONS



MOUNTING OPTIONS AND ACCESSORIES



CONTROL OPTIONS

0-10V (DIM)

The DIM option provides 0-10V dimming wire leads for use with a lighting control panel or other control method.

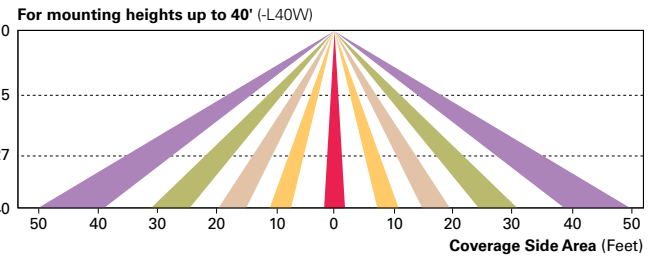
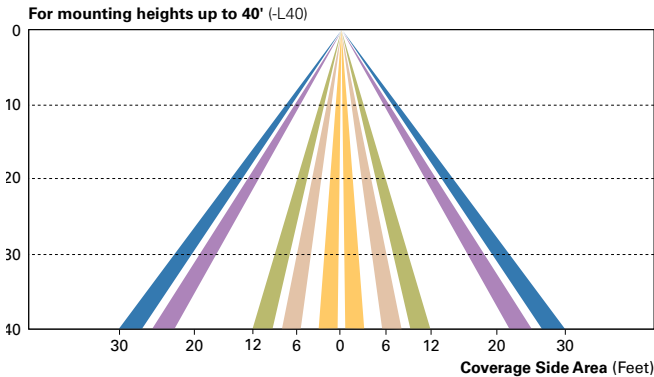
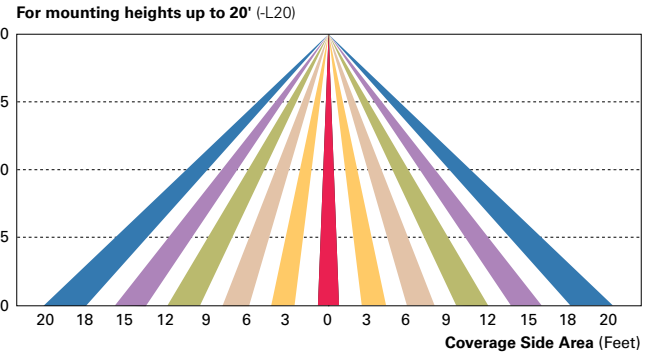
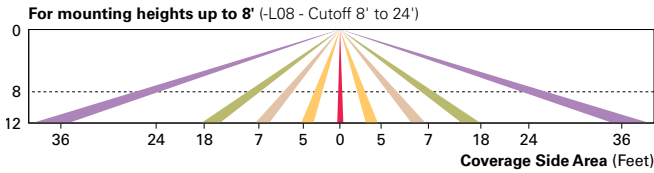
Photocontrol (PC, R and PER7)

Optional button-type photocontrol (PC) and photocontrol receptacles (R and PER7) provide a flexible solution to enable "dusk-to-dawn" lighting by sensing light levels. Advanced control systems compatible with NEMA 7-pin standards can be utilized with the PER7 receptacle.

Dimming Occupancy Sensor (MS/DIM-LXX)

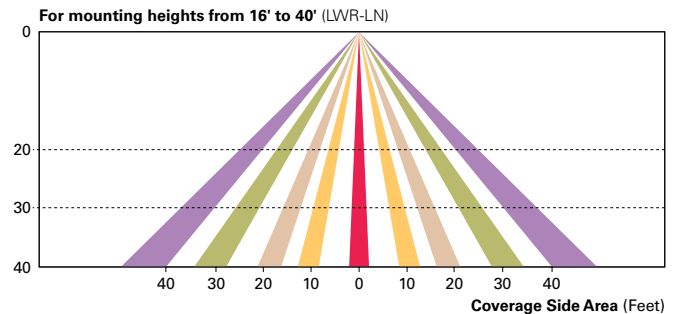
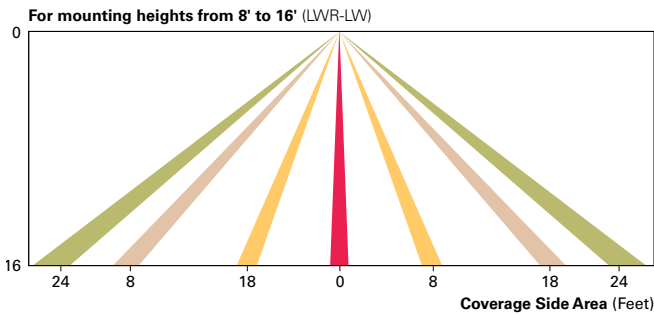
These sensors are factory installed in the luminaire housing. When the MS/DIM-LXX sensor option is selected, the occupancy sensor is connected to a dimming driver and the entire luminaire dims when there is no activity detected. When activity is detected, the luminaire returns to full light output. The MS/DIM sensor is factory preset to dim down to approximately 50 percent power with a time delay of five minutes.

These occupancy sensors includes an integral photocell that can be activated with the FSIR-100 accessory for "dusk-to-dawn" control or daylight harvesting - the factory preset is OFF. The FSIR-100 is a wireless tool utilized for changing the dimming level, time delay, sensitivity and other parameters. A variety of sensor lens are available to optimize the coverage pattern for mounting heights from 8'-40'.



LumaWatt Pro Wireless Control and Monitoring System (LWR-LW and LWR-LN)

The Eaton's LumaWatt Pro powered by Enlighted is a connected lighting solution that combines a broad selection of energy-efficient LED luminaires with a powerful integrated wireless sensor system. The sensor controls the lighting system in compliance with the latest energy codes and collects valuable data about building performance and use. Software applications turn the granular data into information through energy dashboards and specialized apps that make it simple and help optimize the use of building resources, beyond lighting.



WaveLinX Wireless Outdoor Lighting Control Module (WOLC-7P-10A)

The 7-pin wireless outdoor lighting control module enables WaveLinX to control outdoor area, site and flood lighting. WaveLinX controls outdoor lighting using schedules to provide ON, OFF and dimming controls based on astronomic or time schedules based on a 7 day week.

DESCRIPTION

The Entri LED luminaire features a classic and stylish design with the added benefits of solid state lighting technology, offering outstanding uniformity and energy savings. Using Cooper Lighting Solutions' proprietary LED LightSquare technology and AccuLED Optics™ system, the Entri LED luminaire offers designers vast versatility in system design, function and performance. Use Entri LED for wall mount architectural lighting applications and egress lighting requirements. UL/cUL listed for use in wet locations.

Catalog #		Type
Project		
Comments		Date
Prepared by		

SPECIFICATION FEATURES

Construction

HOUSING: Heavy wall, one-piece, die-cast aluminum construction for precise tolerance control and repeatability in manufacturing. Integral extruded aluminum heat sink provides superior thermal heat transfer in +40°C ambient environments. **FACEPLATE / DOOR:** One-piece, die-cast aluminum construction. Captive, side hinged faceplate swings open via release of one flush mount die-cast aluminum latch on housing side panel. **GASKET:** One-piece molded silicone gasket mates perfectly between the door and housing for repeatable seal. **LENS:** Uplight lens is impact-resistant, 5/32" thick tempered frosted glass sealed to housing with continuous bead silicone gasket. Downlight lens is an LED LightSquare with integral optics sealed for IP66 rating. **HARDWARE:** Stainless steel mounting screws and latch hardware allow access to electrical components for installation and servicing.

Optics

Choice of 9 patented, high efficiency AccuLED Optics™ distributions. Optics are precisely designed to shape the light output, maximizing efficiency and application spacing. AccuLED Optics technology creates consistent distributions with the

scalability to meet customized application requirements. CRI and CCT offering includes 2200K, 2700K, 3000K, 3500K, 4000K, 5000K, and 5700K with minimum 70CRI and 2700K and 3000K with minimum 80CRI all within 5-step MacAdam ellipse.

Electrical

LED drivers mount to die-cast aluminum back housing for optimal heat sinking, operation efficacy, and prolonged life. Standard drivers feature electronic universal voltage (120-277V 50/60Hz), 347V 60Hz or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Greater than 0.9 power factor, less than 20% harmonic distortion, and is suitable for operation in -40°C to 40°C ambient environments and optional 50C construction available. All fixtures are shipped standard with 10kV/10kA common – and differential – mode surge protection. LightSquare feature an IP66 enclosure rating and maintain greater than 98% lumen maintenance at 60,000 hours per IESNA TM-21. Emergency egress options for -20°C ambient environments, WaveLinX™, occupancy sensor, and dimming options available.

Mounting

JUNCTION BOX: Standard with

zinc-plated, quick-mount junction box plate that mounts directly to 4" J-Box. LightSquare mounts facing downward. Fixture slides over mounting plate and is secured with two stainless steel fasteners. Mounting plate features a one-piece EPDM gasket on back side of plate to firmly seal fixture to wall surface, forbidding entry of moisture and particulates. Optional mounting arrangements utilize a die-cast mounting adaptor box to allow for LED battery pack, surface conduit and trough branch wiring. The Entri LED luminaire is approved for mounting on combustible surfaces.

Finish

Housing is finished in five-stage super TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. LightSquare cover plates are standard white and may be specified to match finish of luminaire housing. Standard colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available. Consult Outdoor Architectural Colors brochure for a complete selection.

Warranty

Five-year warranty.



ENC/ENT/ENV ENTRI LED

LightSquare
Solid State LED

ARCHITECTURAL WALL
LUMINAIRE



CERTIFICATION DATA

DesignLights Consortium® Qualified*
UL/cUL Listed
ISO 9001
IP66 LightSquares
LM79 / LM80 Compliant

ENERGY DATA

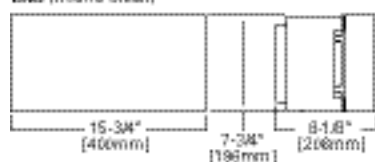
Electronic LED Driver
>0.9 Power Factor
<20% Total Harmonic Distortion
120-277V/50 & 60Hz, 347V/60Hz, 480V/60Hz
-30°C Minimum Temperature
40°C Ambient Temperature Rating (Optional)

SHIPPING DATA

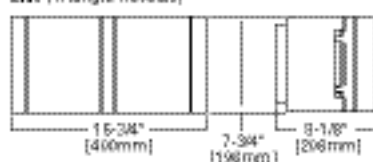
Approximate Net Weight:
15.2 lbs. (6.9 kgs.) - Without backbox
29.1 lbs. (13.2 kgs.) - With backbox

DIMENSIONS

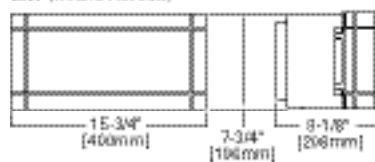
ENC (Round Clean)



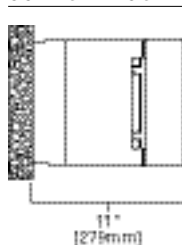
ENT (Triangle Recess)



ENV (Round Recess)



CONDUIT MOUNT / BATTERY BACK BOX



ORDERING INFORMATION

Sample Number: ENC-SA1C-740-U-T4W-GM-ULG-HA-ZW-SWPD4BK

Domestic Preferences ²⁵	Product Family ¹	Light Engine		Color Temperature	Voltage	Distribution	Finish
		Configuration	Drive Current				
[Blank]=Standard BAA=Buy American Act TAA=Trade Agreements Act	ENC=Entri Round Clean ENT=Entri Triangle Reveals ENV=Entri Round Reveals	SA1=1 Square	A=350mA B=450mA C=600mA D=800mA E=1000mA F=1200mA	722=70CRI, 2200K ³ 727=70CRI, 2700K ³ 730=70CRI, 3000K ³ 735=70CRI, 3500K ³ 740=70CRI, 4000K ³ 750=70CRI, 5000K ³ 760=70CRI, 5700K ³ 827=80CRI, 2700K ³ 830=80CRI, 3000K ³ 835=80CRI, 3500K ³	U=UNV (120-277) 1=120 2=208 3=240 8=480 9=347	T2=Type II T3=Type III T4FT=Type IV Forward Throw T4W=Type IV Wide SL2=Type II w/Spill Control SL3=Type III w/Spill Control SL4=Type IV w/Spill Control SLL=90° Spill Light Eliminator Left SLR=90° Spill Light Eliminator Right	BZ=Bronze AP=Grey BK=Black DP=Dark Platinum GM=Graphite Metallic WH=White
Options (Add as Suffix)				Accessories (Order Separately) ²⁶			
F=Singled fused (Must specify voltage, fused on single hot leg of 120, 277, or 347) FF=Doubled fused (Must specify voltage, fused on both hot legs of 208, 240, or 480) X=Driver Surge Protection (6kV) Only 20K=Series 20kV UL 1449 Surge Protective Device 2L=Two-Circuit Light Engine ²⁴ DIM=0-10V Dimming Driver ^{5,6} EBP=Battery Pack with Back Box (Must specify voltage, available in 120V or 277V) ^{2,4,9} CBP=Battery Pack with Back Box, Cold Weather Rated (Must specify voltage, available in 120V or 277V) ^{2,4,10} CBP-CEC=Battery Pack with Back Box, Cold Weather Rated, CEC compliant (Must specify voltage, available in 120V or 277V) ^{2,4,10} R90=Rotated Right 90° L90=Rotated Left 90° HSS=Factory Installed House Side Shield ¹⁶ LCF=LightSquare Trim Plate Matches Housing Finish ¹⁵ ULG=Uplight Glow ⁷ HA=50°C High Ambient ⁸ WG=Wire Guard TR=Tamper Resistant Hardware BOX=Empty back box (1/2" NPT, each side with plugs installed) BPC=Button Type Photocontrol (Must specify voltage, available in 120, 208, 240, 277V, 347, and 480) AHD145=After Hours Dim, 5 Hours, 50% ¹⁷ AHD245=After Hours Dim, 6 Hours, 50% ¹⁷ AHD255=After Hours Dim, 7 Hours, 50% ¹⁷ AHD355=After Hours Dim, 8 Hours, 50% ¹⁷ SPB1=Dimming Occupancy Sensor with Bluetooth Interface, <8' Mounting ^{13,22} SPB2=Dimming Occupancy Sensor with Bluetooth Interface, 8'-20' Mounting ^{13,22} SPB4=Dimming Occupancy Sensor with Bluetooth Interface, 21'-40' Mounting ^{13,22} MS-L08=Motion Sensor for ON/OFF Operation, Up to 8' Mounting Height ^{11,12,13} MS-L20=Motion Sensor for ON/OFF Operation, 9' - 20' Mounting Height ^{11,12,13} MS/DIM-L08=Motion Sensor for Dimming Operation, Up to 8' Mounting Height ^{11,12,13} MS/DIM-L20=Motion Sensor for Dimming Operation, 9' - 20' Mounting Height ^{11,12,13} ZW=WaveLinX-enabled 4-PIN Twistlock Receptacle ^{19,20} ZW-SWPD4XX=WaveLinX Pro, Dimming Motion and Daylight, WAC Programmable, 7' - 15' Mounting ^{19,20,21} ZW-SWPD5XX=WaveLinX Pro, Dimming Motion and Daylight, WAC Programmable, 15' - 40' Mounting ^{19,20,21} CC=Coastal Construction ²³				MA1253=10kV Circuit Module Replacement MA1253-480V=10kV Circuit Module Replacement (480V only) FSIR-100-PK=Wireless Configuration Tool for Occupancy Sensor ¹¹ VA6172SA=Wireguard Accessory VA6173=Tamper-Resistant Driver Bit VA6174=Vandal Shield Accessory VA2001-XX=Thru-Way Conduit Box LS/HSS=House Side Shield (Works with all distributions listed for Entri) WOLC-7P-10A=WaveLinX Outdoor Control Module (7-pin) SWPD4-XX=WaveLinX Sensor, Dimming Motion and Daylight, WAC Programmable, 7' - 15' Mounting ^{19,20,21} SWPD5-XX=WaveLinX Sensor, Dimming Motion and Daylight, WAC Programmable, 15' - 40' Mounting ^{19,20,21}			

NOTES:

- DesignLights Consortium® Qualified. Refer to www.designlights.org Qualified Products List under Family Models for details. DLC Family Code: MMMSPQ
- EBP or CBP options limited to 25°C, 120-277V only. Control option limited to BPC=Button Type Photocontrol (must specify voltage).
- Extended lead times apply. Use dedicated IES files when performing layouts.
- Not available with HA option.
- Cannot be used with other control options.
- Low voltage control lead brought out 18" outside fixture.
- ULG only available in 740
- Not available with ULG option
- EBP is rated for minimum operating temperature of 0°C (32°F). Operates downlight for 90-minutes.
- CBP is rated for minimum operating temperature of -20°C (-4°F). Operates downlight for 90-minutes.
- The FSIR-100 configuration tool is required to adjust parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative at Cooper Lighting
- Replace LXX with the available mounting height options: L08, L20, L40 or L40W are the only choices.
- Includes integral photosensor.
- Bronze sensor is shipped with Bronze fixtures. White sensor shipped on all other housing color options.
- Not available with HSS option.
- Only for use with SL2, SL3 and SL4 distributions. The light square trim plate is painted black when the HSS option is selected.
- Requires the use of BPC photocontrol. See After Hours Dim supplemental guide for additional information.
- Control option limited to BPC=Button Type Photocontrol (must specify voltage).
- WAC Gateway required to enable field-configurability: Order WAC-PoE and WPOE-120 (10V to PoE injector) power supply if needed.
- Requires ZW.
- Replace XX with sensor color (WH, BZ, or BK).
- Smart device with mobile application required to change system defaults. See controls section for details.
- Coastal construction finish salt spray tested to over 5,000-hours per ASTM B117, with a scribe rating of 9 per ASTM D1654.
- 2L not available with FF, ULG or AHD options. Controls and/or battery packs operate only one of the two circuits when 2L is specified.
- Only product configurations with these designated prefixes are built to be compliant with the Buy American Act of 1933 (BAA) or Trade Agreements Act of 1979 (TAA), respectively. Please refer to DOMESTIC PREFERENCES website for more information. Components shipped separately may be separately analyzed under domestic preference requirements.
- Accessories sold separately will be separately analyzed under domestic preference requirements. Consult factory for further information.

POWER AND LUMENS

1 LightSquare (SA Series)		ENC (Entri - Round Clean) / ENT (Entri - Triangle Reveals) / ENV (Entri - Round Reveals)							
Drive Current (mA)		EBP / CBP	SA1A (350mA)	SA1B (450mA)	SA1C (600mA)	SA1D (800mA)	SA1E (1000mA)	SA1F (1200mA)	
Power (Watts)	120-277V±	13	20.1	25.4	33.3	43.1	57.2	66.1	
Current (A)	120V	--	0.17	0.22	0.29	0.38	0.48	0.56	
	277V	--	0.09	0.1	0.13	0.17	0.21	0.25	
Power (Watts)	347V or 480V	--	23.3	28.7	36.6	49.5	60.7	70.1	
Current (A)	347V	--	0.07	0.08	0.11	0.15	0.18	0.21	
	480V	--	0.05	0.06	0.08	0.11	0.13	0.16	
Optics									
722 CCT	T2 (Type II)	Lumens	565	2,000	2,508	3,300	4,131	5,147	5,696
		Lumens per Watt [†]	33.0	99.5	98.7	99.1	95.8	90.0	86.2
		BUG Rating	B0-U0-G0	B0-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2
	T2-HSS (Type II, House Side Shield)	Lumens	429	1,521	1,907	2,509	3,141	3,913	4,331
		Lumens per Watt [†]	43.5	75.7	75.1	75.3	72.9	68.4	65.5
		BUG Rating	B0-U0-G0	B0-U0-G0	B0-U0-G0	B0-U0-G1	B0-U0-G1	B0-U0-G1	B0-U0-G1
	T3 (Type III)	Lumens	578	2,046	2,566	3,376	4,226	5,265	5,827
		Lumens per Watt [†]	44.5	101.8	101.0	101.4	4,226	92.0	88.2
		BUG Rating	B0-U0-G0	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2
	T3-HSS (Type III, House Side Shield)	Lumens	436	1,544	1,936	2,548	3,189	3,973	4,398
		Lumens per Watt [†]	33.5	76.8	76.2	76.5	74.0	69.5	66.5
		BUG Rating	B0-U0-G0	B0-U0-G0	B0-U0-G0	B0-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1
	T4FT (Type IV Forward Throw)	Lumens	543	1,924	2,413	3,175	3,974	4,951	5,480
		Lumens per Watt [†]	41.8	95.7	95.0	95.3	92.2	86.6	82.9
		BUG Rating	B0-U0-G0	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2
	T4FT-HSS (Type IV Forward Throw, House Side Shield)	Lumens	402	1,423	1,785	2,349	2,939	3,662	4,054
		Lumens per Watt [†]	30.9	70.8	70.3	70.5	68.2	64.0	61.3
		BUG Rating	B0-U0-G0	B0-U0-G0	B0-U0-G1	B0-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2
	T4W (Type IV Wide)	Lumens	567	2,009	2,520	3,316	4,150	5,171	5,723
		Lumens per Watt [†]	43.6	100.0	99.2	99.6	96.3	90.4	86.6
		BUG Rating	B0-U0-G0	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2
	T4W-HSS (Type IV Wide, House Side Shield)	Lumens	423	1,499	1,879	2,473	3,095	3,856	4,268
		Lumens per Watt [†]	32.5	74.6	74.0	74.3	71.8	67.4	64.6
		BUG Rating	B0-U0-G0	B0-U0-G0	B0-U0-G1	B0-U0-G1	B0-U0-G1	B0-U0-G1	B1-U0-G1
SL2 (Type II w/ Spill Control)	Lumens	560	1,985	2,489	3,275	4,099	5,108	5,653	
	Lumens per Watt [†]	43.1	98.8	98.0	98.3	95.1	89.3	85.5	
	BUG Rating	B0-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	
SL2-HSS (Type II w/ Spill Control, House Side Shield)	Lumens	459	1,624	2,037	2,680	3,355	4,180	4,626	
	Lumens per Watt [†]	35.3	80.8	80.2	80.5	77.8	73.1	70.0	
	BUG Rating	B0-U0-G0	B0-U0-G1	B0-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	
SL3 (Type III w/ Spill Control)	Lumens	557	1,971	2,472	3,253	4,072	5,073	5,615	
	Lumens per Watt [†]	42.8	98.1	97.3	97.7	94.5	88.7	84.9	
	BUG Rating	B0-U0-G0	B0-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	
SL3-HSS (Type III w/ Spill Control, House Side Shield)	Lumens	475	1,684	2,111	2,779	3,478	4,333	4,796	
	Lumens per Watt [†]	36.5	83.8	83.1	83.5	80.7	75.8	72.6	
	BUG Rating	B0-U0-G0	B0-U0-G1	B0-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	
SL4 (Type IV w/ Spill Control)	Lumens	538	1,905	2,389	3,144	3,935	4,903	5,427	
	Lumens per Watt [†]	41.4	94.8	94.1	94.4	91.3	85.7	82.1	
	BUG Rating	B0-U0-G0	B0-U0-G1	B0-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	
SL4-HSS (Type IV w/ Spill Control, House Side Shield)	Lumens	466	1,649	2,068	2,721	3,406	4,243	4,696	
	Lumens per Watt [†]	35.8	82.0	81.4	81.7	79.0	74.2	71.0	
	BUG Rating	B0-U0-G0	B0-U0-G1	B0-U0-G1	B0-U0-G1	B0-U0-G1	B1-U0-G1	B1-U0-G2	

POWER AND LUMENS

1 LightSquare (SA Series)		ENC (Entri - Round Clean) / ENT (Entri - Triangle Reveals) / ENV (Entri - Round Reveals)							
Drive Current (mA)		EBP / CBP	SA1A (350mA)	SA1B (450mA)	SA1C (600mA)	SA1D (800mA)	SA1E (1000mA)	SA1F (1200mA)	
Power (Watts)	120-277V±	13	20.1	25.4	33.3	43.1	57.2	66.1	
Current (A)	120V	--	0.17	0.22	0.29	0.38	0.48	0.56	
	277V	--	0.09	0.1	0.13	0.17	0.21	0.25	
Power (Watts)	347V or 480V	--	23.3	28.7	36.6	49.5	60.7	70.1	
Current (A)	347V	--	0.07	0.08	0.11	0.15	0.18	0.21	
	480V	--	0.05	0.06	0.08	0.11	0.13	0.16	
Optics									
722 CCT	SLR (90° Spill Light Eliminator Right)	Lumens	502	1,777	2,228	2,932	3,670	4,572	5,061
		Lumens per Watt [†]	38.6	88.4	87.7	88.0	85.2	79.9	76.6
		BUG Rating	B0-U0-G0	B0-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1
	SLR-HSS (90° Spill Light Eliminator Right, House Side Shield)	Lumens	427	1,511	1,895	2,493	3,121	3,888	4,303
		Lumens per Watt [†]	32.8	75.2	74.6	74.9	72.4	68.0	65.1
		BUG Rating	B0-U0-G0	B0-U0-G0	B0-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1
	SLL (90° Spill Light Eliminator Left)	Lumens	502	1,777	2,228	2,932	3,670	4,572	5,061
		Lumens per Watt [†]	38.6	88.4	87.7	88.0	85.2	79.9	76.6
		BUG Rating	B0-U0-G0	B0-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1
	SLL-HSS (90° Spill Light Eliminator Left, House Side Shield)	Lumens	427	1,511	1,895	2,493	3,121	3,888	4,303
		Lumens per Watt [†]	32.8	75.2	74.6	74.9	72.4	68.0	65.1
		BUG Rating	B0-U0-G0	B0-U0-G1	B0-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1
727 CCT	T2 (Type II)	Lumens	642	2,275	2,853	3,755	4,699	5,855	6,481
		Lumens per Watt [†]	49.4	113.2	112.3	112.8	109.0	102.4	98.0
		BUG Rating	B0-U0-G0	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2
	T2-HSS (Type II, House Side Shield)	Lumens	488	1,730	2,169	2,855	3,573	4,452	4,927
		Lumens per Watt [†]	37.5	86.1	85.4	85.7	82.9	77.8	74.5
		BUG Rating	B0-U0-G0	B0-U0-G0	B0-U0-G1	B0-U0-G1	B0-U0-G1	B0-U0-G1	B0-U0-G1
	T3 (Type III)	Lumens	657	2,328	2,919	3,841	4,807	5,990	6,630
		Lumens per Watt [†]	50.5	115.8	114.9	115.3	111.5	104.7	100.3
		BUG Rating	B0-U0-G0	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2
	T3-HSS (Type III, House Side Shield)	Lumens	496	1,757	2,203	2,899	3,628	4,520	5,003
		Lumens per Watt [†]	38.2	87.4	86.7	87.1	84.2	79.0	75.7
		BUG Rating	B0-U0-G0	B0-U0-G0	B0-U0-G1	B0-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1
	T4FT (Type IV Forward Throw)	Lumens	618	2,189	2,745	3,612	4,521	5,633	6,234
		Lumens per Watt [†]	47.5	108.9	108.1	108.5	104.9	98.5	94.3
		BUG Rating	B0-U0-G0	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2
	T4FT-HSS (Type IV Forward Throw, House Side Shield)	Lumens	457	1,619	2,030	2,672	3,344	4,166	4,612
		Lumens per Watt [†]	35.2	80.5	79.9	80.2	77.6	72.8	69.8
		BUG Rating	B0-U0-G0	B0-U0-G1	B0-U0-G1	B0-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2
	T4W (Type IV Wide)	Lumens	645	2,286	2,867	3,772	4,721	5,883	6,511
		Lumens per Watt [†]	49.6	113.7	112.9	113.3	109.5	102.8	98.5
		BUG Rating	B0-U0-G0	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2
	T4W-HSS (Type IV Wide, House Side Shield)	Lumens	481	1,705	2,138	2,813	3,521	4,387	4,856
		Lumens per Watt [†]	37.0	84.8	84.2	84.5	81.7	76.7	73.5
		BUG Rating	B0-U0-G0	B0-U0-G1	B0-U0-G1	B0-U0-G1	B0-U0-G1	B1-U0-G1	B1-U0-G2
SL2 (Type II w/Spill Control)	Lumens	638	2,258	2,832	3,726	4,664	5,811	6,431	
	Lumens per Watt [†]	49.1	112.3	111.5	111.9	108.2	101.6	97.3	
	BUG Rating	B0-U0-G0	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	
SL2-HSS (Type II w/Spill Control, House Side Shield)	Lumens	522	1,848	2,317	3,049	3,817	4,755	5,263	
	Lumens per Watt [†]	40.2	91.9	91.2	91.6	88.6	83.1	79.6	
	BUG Rating	B0-U0-G0	B0-U0-G1	B0-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	

POWER AND LUMENS

1 LightSquare (SA Series)		ENC (Entri - Round Clean) / ENT (Entri - Triangle Reveals) / ENV (Entri - Round Reveals)							
Drive Current (mA)		EBP / CBP	SA1A (350mA)	SA1B (450mA)	SA1C (600mA)	SA1D (800mA)	SA1E (1000mA)	SA1F (1200mA)	
Power (Watts)	120-277V±	13	20.1	25.4	33.3	43.1	57.2	66.1	
Current (A)	120V	--	0.17	0.22	0.29	0.38	0.48	0.56	
	277V	--	0.09	0.1	0.13	0.17	0.21	0.25	
Power (Watts)	347V or 480V	--	23.3	28.7	36.6	49.5	60.7	70.1	
Current (A)	347V	--	0.07	0.08	0.11	0.15	0.18	0.21	
	480V	--	0.05	0.06	0.08	0.11	0.13	0.16	
Optics									
727 CCT	SL3 (Type III w/Spill Control)	Lumens	633	2,243	2,813	3,701	4,632	5,771	6,388
		Lumens per Watt [†]	48.7	111.6	110.7	111.1	107.5	100.9	96.6
		BUG Rating	B0-U0-G0	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2
	SL3-HSS (Type III w/Spill Control, House Side Shield)	Lumens	541	1,915	2,402	3,161	3,956	4,929	5,456
		Lumens per Watt [†]	41.6	95.3	94.6	94.9	91.8	86.2	82.5
		BUG Rating	B0-U0-G0	B0-U0-G1	B0-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2
	SL4 (Type IV w/Spill Control)	Lumens	612	2,168	2,718	3,577	4,477	5,578	6,174
		Lumens per Watt [†]	47.1	107.9	107.0	107.4	103.9	97.5	93.4
		BUG Rating	B0-U0-G0	B0-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2
	SL4-HSS (Type IV w/Spill Control, House Side Shield)	Lumens	530	1,876	2,352	3,096	3,874	4,827	5,343
		Lumens per Watt [†]	40.8	93.3	92.6	93.0	89.9	84.4	80.8
		BUG Rating	B0-U0-G0	B0-U0-G1	B0-U0-G1	B0-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2
	SLR (90° Spill Light Eliminator Right)	Lumens	571	2,021	2,535	3,336	4,175	5,202	5,758
		Lumens per Watt [†]	43.9	100.5	99.8	100.2	96.9	90.9	87.1
		BUG Rating	B0-U0-G0	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2
	SLR-HSS (90° Spill Light Eliminator Right, House Side Shield)	Lumens	485	1,719	2,156	2,837	3,550	4,423	4,896
		Lumens per Watt [†]	37.3	85.5	84.9	85.2	82.4	77.3	74.1
		BUG Rating	B0-U0-G0	B0-U0-G1	B0-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1
	SLL (90° Spill Light Eliminator Left)	Lumens	571	2,021	2,535	3,336	4,175	5,202	5,758
		Lumens per Watt [†]	43.9	100.5	99.8	100.2	96.9	90.9	87.1
		BUG Rating	B0-U0-G0	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2
	SLL-HSS (90° Spill Light Eliminator Left, House Side Shield)	Lumens	485	1,719	2,156	2,837	3,550	4,423	4,896
		Lumens per Watt [†]	37.3	85.5	84.9	85.2	82.4	77.3	74.1
		BUG Rating	B0-U0-G0	B0-U0-G1	B0-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1
730 CCT	T2 (Type II)	Lumens	700	2,478	3,107	4,089	5,117	6,376	7,057
		Lumens per Watt [†]	53.8	123.3	122.3	122.8	118.7	111.5	106.8
		BUG Rating	B0-U0-G0	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2
	T2-HSS (Type II, House Side Shield)	Lumens	532	1,884	2,362	3,109	3,891	4,848	5,366
		Lumens per Watt [†]	40.9	93.7	93.0	93.4	90.3	84.8	81.2
		BUG Rating	B0-U0-G0	B0-U0-G0	B0-U0-G1	B0-U0-G1	B0-U0-G1	B0-U0-G1	B1-U0-G2
	T3 (Type III)	Lumens	716	2,535	3,179	4,183	5,235	6,523	7,219
		Lumens per Watt [†]	55.1	126.1	125.2	125.6	121.5	114.0	109.2
		BUG Rating	B0-U0-G0	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2
	T3-HSS (Type III, House Side Shield)	Lumens	540	1,913	2,399	3,157	3,951	4,922	5,448
		Lumens per Watt [†]	41.5	95.2	94.4	94.8	91.7	86.0	82.4
		BUG Rating	B0-U0-G0	B0-U0-G0	B0-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1
	T4FT (Type IV Forward Throw)	Lumens	673	2,384	2,989	3,933	4,923	6,134	6,789
		Lumens per Watt [†]	51.8	118.6	117.7	118.1	114.2	107.2	102.7
		BUG Rating	B0-U0-G0	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2
	T4FT-HSS (Type IV Forward Throw, House Side Shield)	Lumens	498	1,763	2,211	2,910	3,642	4,537	5,022
		Lumens per Watt [†]	38.3	87.7	87.0	87.4	84.5	79.3	76.0
		BUG Rating	B0-U0-G0	B0-U0-G1	B0-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2

POWER AND LUMENS

1 LightSquare (SA Series)		ENC (Entri - Round Clean) / ENT (Entri - Triangle Reveals) / ENV (Entri - Round Reveals)							
Drive Current (mA)		EBP / CBP	SA1A (350mA)	SA1B (450mA)	SA1C (600mA)	SA1D (800mA)	SA1E (1000mA)	SA1F (1200mA)	
Power (Watts)	120-277V±	13	20.1	25.4	33.3	43.1	57.2	66.1	
Current (A)	120V	--	0.17	0.22	0.29	0.38	0.48	0.56	
	277V	--	0.09	0.1	0.13	0.17	0.21	0.25	
Power (Watts)	347V or 480V	--	23.3	28.7	36.6	49.5	60.7	70.1	
Current (A)	347V	--	0.07	0.08	0.11	0.15	0.18	0.21	
	480V	--	0.05	0.06	0.08	0.11	0.13	0.16	
Optics									
730 CCT	T4W (Type IV Wide)	Lumens	703	2,489	3,122	4,108	5,141	6,406	7,090
		Lumens per Watt [†]	54.1	123.8	122.9	123.4	119.3	112.0	107.3
		BUG Rating	B0-U0-G0	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2
	T4W-HSS (Type IV Wide, House Side Shield)	Lumens	524	1,857	2,328	3,064	3,835	4,778	5,288
		Lumens per Watt [†]	40.3	92.4	91.7	92.0	89.0	83.5	80.0
		BUG Rating	B0-U0-G0	B0-U0-G1	B0-U0-G1	B0-U0-G1	B0-U0-G1	B1-U0-G2	B1-U0-G2
	SL2 (Type II w/Spill Control)	Lumens	694	2,459	3,084	4,058	5,079	6,328	7,004
		Lumens per Watt [†]	53.4	122.3	121.4	121.9	117.8	110.6	106.0
		BUG Rating	B0-U0-G0	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B2U0-G2
	SL2-HSS (Type II w/Spill Control, House Side Shield)	Lumens	568	2,012	2,524	3,321	4,156	5,178	5,732
		Lumens per Watt [†]	43.7	100.1	99.4	99.7	96.4	90.5	86.7
		BUG Rating	B0-U0-G0	B0-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2
	SL3 (Type III w/Spill Control)	Lumens	690	2,442	3,063	4,030	5,044	6,285	6,956
		Lumens per Watt [†]	53.1	121.5	120.6	121.0	117.0	109.9	105.2
		BUG Rating	B0-U0-G0	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2
	SL3-HSS (Type III w/Spill Control, House Side Shield)	Lumens	589	2,086	2,616	3,442	4,308	5,368	5,941
		Lumens per Watt [†]	45.3	103.8	103.0	103.4	100.0	93.8	89.9
		BUG Rating	B0-U0-G0	B0-U0-G1	B0-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2
	SL4 (Type IV w/Spill Control)	Lumens	666	2,361	2,960	3,895	4,875	6,074	6,723
		Lumens per Watt [†]	51.2	117.5	116.5	117.0	113.1	106.2	101.7
		BUG Rating	B0-U0-G0	B0-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2
	SL4-HSS (Type IV w/Spill Control, House Side Shield)	Lumens	577	2,043	2,562	3,371	4,219	5,257	5,818
		Lumens per Watt [†]	44.4	101.6	100.9	101.2	97.9	91.9	88.0
		BUG Rating	B0-U0-G0	B0-U0-G1	B0-U0-G1	B0-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2
SLR (90° Spill Light Eliminator Right)	Lumens	622	2,201	2,761	3,633	4,547	5,665	6,270	
	Lumens per Watt [†]	47.8	109.5	108.7	109.1	105.5	99.0	94.9	
	BUG Rating	B0-U0-G0	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	
SLR-HSS (90° Spill Light Eliminator Right, House Side Shield)	Lumens	529	1,872	2,347	3,089	3,866	4,817	5,331	
	Lumens per Watt [†]	40.7	93.1	92.4	92.8	89.7	84.2	80.7	
	BUG Rating	B0-U0-G0	B0-U0-G1	B0-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	
SLL (90° Spill Light Eliminator Left)	Lumens	622	2,201	2,761	3,633	4,547	5,665	6,270	
	Lumens per Watt [†]	47.8	109.5	108.7	109.1	105.5	99.0	94.9	
	BUG Rating	B0-U0-G0	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	
SLL-HSS (90° Spill Light Eliminator Left, House Side Shield)	Lumens	529	1,872	2,347	3,089	3,866	4,817	5,331	
	Lumens per Watt [†]	40.7	93.1	92.4	92.8	89.7	84.2	80.7	
	BUG Rating	B0-U0-G0	B0-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	
735 CCT	T2 (Type II)	Lumens	722	2,556	3,205	4,218	5,279	6,577	7,279
		Lumens per Watt [†]	55.5	127.2	126.2	126.7	122.5	115.0	110.1
		BUG Rating	B0-U0-G0	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2
	T2-HSS (Type II, House Side Shield)	Lumens	549	1,943	2,437	3,207	4,013	5,000	5,535
		Lumens per Watt [†]	42.2	96.7	95.9	96.3	93.1	87.4	83.7
		BUG Rating	B0-U0-G0	B0-U0-G1	B0-U0-G1	B0-U0-G1	B0-U0-G1	B0-U0-G1	B1-U0-G2

POWER AND LUMENS

1 LightSquare (SA Series)		ENC (Entri - Round Clean) / ENT (Entri - Triangle Reveals) / ENV (Entri - Round Reveals)							
Drive Current (mA)		EBP / CBP	SA1A (350mA)	SA1B (450mA)	SA1C (600mA)	SA1D (800mA)	SA1E (1000mA)	SA1F (1200mA)	
Power (Watts)	120-277V±	13	20.1	25.4	33.3	43.1	57.2	66.1	
Current (A)	120V	--	0.17	0.22	0.29	0.38	0.48	0.56	
	277V	--	0.09	0.1	0.13	0.17	0.21	0.25	
Power (Watts)	347V or 480V	--	23.3	28.7	36.6	49.5	60.7	70.1	
Current (A)	347V	--	0.07	0.08	0.11	0.15	0.18	0.21	
	480V	--	0.05	0.06	0.08	0.11	0.13	0.16	
Optics									
735 CCT	T3 (Type III)	Lumens	738	2,614	3,279	4,314	5,400	6,728	7,447
		Lumens per Watt [†]	56.8	130.0	129.1	129.5	125.3	117.6	112.7
		BUG Rating	B0-U0-G0	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2
	T3-HSS (Type III, House Side Shield)	Lumens	557	1,973	2,474	3,256	4,075	5,077	5,620
		Lumens per Watt [†]	42.8	98.2	97.4	97.8	94.5	88.8	85.0
		BUG Rating	B0-U0-G0	B0-U0-G0	B0-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2
	T4FT (Type IV Forward Throw)	Lumens	694	2,459	3,083	4,057	5,078	6,327	7,003
		Lumens per Watt [†]	53.4	122.3	121.4	121.8	117.8	110.6	105.9
		BUG Rating	B0-U0-G0	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2
	T4FT-HSS (Type IV Forward Throw, House Side Shield)	Lumens	514	1,819	2,281	3,001	3,756	4,680	5,180
		Lumens per Watt [†]	39.5	90.5	89.8	90.1	87.1	81.8	78.4
		BUG Rating	B0-U0-G0	B0-U0-G1	B0-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2
	T4W (Type IV Wide)	Lumens	725	2,568	3,220	4,237	5,303	6,608	7,314
		Lumens per Watt [†]	55.8	127.8	126.8	127.2	123.0	115.5	110.7
		BUG Rating	B0-U0-G0	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2
	T4W-HSS (Type IV Wide, House Side Shield)	Lumens	541	1,915	2,402	3,160	3,955	4,928	5,455
		Lumens per Watt [†]	41.6	95.3	94.6	94.9	91.8	86.2	82.5
		BUG Rating	B0-U0-G0	B0-U0-G1	B0-U0-G1	B0-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2
	SL2 (Type II w/Spill Control)	Lumens	716	2,536	3,181	4,186	5,239	6,527	7,224
		Lumens per Watt [†]	55.1	126.2	125.2	125.7	121.6	114.1	109.3
		BUG Rating	B0-U0-G0	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B2-U0-G2
	SL2-HSS (Type II w/Spill Control, House Side Shield)	Lumens	586	2,076	2,603	3,425	4,287	5,341	5,912
		Lumens per Watt [†]	45.1	103.3	102.5	102.9	99.5	93.4	89.4
		BUG Rating	B0-U0-G0	B0-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2
	SL3 (Type III w/Spill Control)	Lumens	711	2,519	3,159	4,157	5,203	6,483	7,175
		Lumens per Watt [†]	54.7	125.3	124.4	124.8	120.7	113.3	108.5
		BUG Rating	B0-U0-G0	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2
	SL3-HSS (Type III w/Spill Control, House Side Shield)	Lumens	608	2,152	2,698	3,551	4,444	5,537	6,128
		Lumens per Watt [†]	46.8	107.1	106.2	106.6	103.1	96.8	92.7
		BUG Rating	B0-U0-G0	B0-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2
SL4 (Type IV w/Spill Control)	Lumens	687	2,435	3,053	4,018	5,029	6,266	6,935	
	Lumens per Watt [†]	52.8	121.1	120.2	120.7	116.7	109.5	104.9	
	BUG Rating	B0-U0-G0	B0-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	
SL4-HSS (Type IV w/Spill Control, House Side Shield)	Lumens	595	2,107	2,642	3,477	4,352	5,422	6,001	
	Lumens per Watt [†]	45.8	104.8	104.0	104.4	101.0	94.8	90.8	
	BUG Rating	B0-U0-G0	B0-U0-G1	B0-U0-G1	B0-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	
SLR (90° Spill Light Eliminator Right)	Lumens	641	2,271	2,847	3,747	4,690	5,843	6,467	
	Lumens per Watt [†]	49.3	113.0	112.1	112.5	108.8	102.2	97.8	
	BUG Rating	B0-U0-G0	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	
SLR-HSS (90° Spill Light Eliminator Right, House Side Shield)	Lumens	545	1,931	2,421	3,186	3,988	4,968	5,499	
	Lumens per Watt [†]	41.9	96.1	95.3	95.7	92.5	86.9	83.2	
	BUG Rating	B0-U0-G0	B0-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	

POWER AND LUMENS

1 LightSquare (SA Series)		ENC (Entri - Round Clean) / ENT (Entri - Triangle Reveals) / ENV (Entri - Round Reveals)							
Drive Current (mA)		EBP / CBP	SA1A (350mA)	SA1B (450mA)	SA1C (600mA)	SA1D (800mA)	SA1E (1000mA)	SA1F (1200mA)	
Power (Watts)	120-277V±	13	20.1	25.4	33.3	43.1	57.2	66.1	
Current (A)	120V	--	0.17	0.22	0.29	0.38	0.48	0.56	
	277V	--	0.09	0.1	0.13	0.17	0.21	0.25	
Power (Watts)	347V or 480V	--	23.3	28.7	36.6	49.5	60.7	70.1	
Current (A)	347V	--	0.07	0.08	0.11	0.15	0.18	0.21	
	480V	--	0.05	0.06	0.08	0.11	0.13	0.16	
Optics									
735 CCT	SLL (90° Spill Light Eliminator Left)	Lumens	641	2,271	2,847	3,747	4,690	5,843	6,467
		Lumens per Watt [†]	49.3	113.0	112.1	112.5	108.8	102.2	97.8
		BUG Rating	B0-U0-G0	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2
	SLL-HSS (90° Spill Light Eliminator Left, House Side Shield)	Lumens	545	1,931	2,421	3,186	3,988	4,968	5,499
		Lumens per Watt [†]	41.9	96.1	95.3	95.7	92.5	86.9	83.2
		BUG Rating	B0-U0-G0	B0-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1
T2 (Type II)	Lumens	768	2,721	3,412	4,490	5,619	7,001	7,749	
	Lumens per Watt [†]	59.1	135.4	134.3	134.8	130.4	122.4	117.2	
	BUG Rating	B0-U0-G0	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	
T2-HSS (Type II, House Side Shield)	Lumens	584	2,069	2,594	3,414	4,272	5,323	5,892	
	Lumens per Watt [†]	44.9	102.9	102.1	102.5	99.1	93.1	89.1	
	BUG Rating	B0-U0-G0	B0-U0-G1	B0-U0-G1	B0-U0-G1	B0-U0-G1	B1-U0-G2	B1-U0-G2	
T2-ULG (Type III, House Side Shield)	Lumens	768	4,499	5,190	6,268	7,397	8,779	9,527	
	Lumens per Watt [†]	59.1	122.3	123.3	125.4	123.7	118.8	115.1	
	BUG Rating	--	--	--	--	--	--	--	
T2-HSS-ULG (Type III, House Side Shield)	Lumens	584	3,847	4,372	5,192	6,050	7,101	7,670	
	Lumens per Watt [†]	44.9	104.5	103.8	103.8	101.2	96.1	92.6	
	BUG Rating	--	--	--	--	--	--	--	
T3 (Type III)	Lumens	786	2,783	3,490	4,593	5,748	7,162	7,927	
	Lumens per Watt [†]	60.5	138.5	137.4	137.9	133.4	125.2	119.9	
	BUG Rating	B0-U0-G0	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B2-U0-G2	
T3-HSS (Type III, House Side Shield)	Lumens	593	2,100	2,634	3,466	4,338	5,405	5,982	
	Lumens per Watt [†]	45.6	104.5	103.7	104.1	100.6	94.5	90.5	
	BUG Rating	B0-U0-G0	B0-U0-G1	B0-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	
T3-ULG (Type III, House Side Shield)	Lumens	786	4,561	5,268	6,371	7,526	8,940	9,705	
	Lumens per Watt [†]	60.5	123.9	125.1	127.4	125.9	121.0	117.2	
	BUG Rating	--	--	--	--	--	--	--	
T3-HSS-ULG (Type III, House Side Shield)	Lumens	593	3,878	4,412	5,244	6,116	7,183	7,760	
	Lumens per Watt [†]	45.6	105.4	104.8	104.9	102.3	97.2	93.7	
	BUG Rating	--	--	--	--	--	--	--	
T4FT (Type IV Forward Throw)	Lumens	739	2,617	3,282	4,319	5,406	6,735	7,455	
	Lumens per Watt [†]	56.8	130.2	129.2	129.7	125.4	117.7	112.8	
	BUG Rating	B0-U0-G0	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	
T4FT-HSS (Type IV Forward Throw, House Side Shield)	Lumens	547	1,936	2,428	3,195	3,999	4,982	5,514	
	Lumens per Watt [†]	42.1	96.3	95.6	95.9	92.8	87.1	83.4	
	BUG Rating	B0-U0-G0	B0-U0-G1	B0-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	
T4FT-ULG (Type III, House Side Shield)	Lumens	739	4,395	5,060	6,097	7,184	8,513	9,233	
	Lumens per Watt [†]	56.8	119.4	120.2	121.9	120.1	115.2	111.5	
	BUG Rating	--	--	--	--	--	--	--	
T4FT-HSS-ULG (Type III, House Side Shield)	Lumens	547	3,714	4,206	4,973	5,777	6,760	7,292	
	Lumens per Watt [†]	42.1	100.9	99.9	99.5	96.6	91.5	88.1	
	BUG Rating	--	--	--	--	--	--	--	

POWER AND LUMENS

1 LightSquare (SA Series)		ENC (Entri - Round Clean) / ENT (Entri - Triangle Reveals) / ENV (Entri - Round Reveals)							
Drive Current (mA)		EBP / CBP	SA1A (350mA)	SA1B (450mA)	SA1C (600mA)	SA1D (800mA)	SA1E (1000mA)	SA1F (1200mA)	
Power (Watts)	120-277V±	13	20.1	25.4	33.3	43.1	57.2	66.1	
Current (A)	120V	--	0.17	0.22	0.29	0.38	0.48	0.56	
	277V	--	0.09	0.1	0.13	0.17	0.21	0.25	
Power (Watts)	347V or 480V	--	23.3	28.7	36.6	49.5	60.7	70.1	
Current (A)	347V	--	0.07	0.08	0.11	0.15	0.18	0.21	
	480V	--	0.05	0.06	0.08	0.11	0.13	0.16	
Optics									
740 CCT	T4W (Type IV Wide)	Lumens	772	2,733	3,428	4,511	5,646	7,034	7,785
		Lumens per Watt [†]	59.4	136.0	135.0	135.5	131.0	123.0	117.8
		BUG Rating	B0-U0-G0	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B2-U0-G2
	T4W-HSS (Type IV Wide, House Side Shield)	Lumens	576	2,039	2,556	3,364	4,210	5,246	5,806
		Lumens per Watt [†]	44.3	101.4	100.6	101.0	97.7	91.7	87.8
		BUG Rating	B0-U0-G0	B0-U0-G1	B0-U0-G1	B0-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2
	T4W-ULG (Type III, House Side Shield)	Lumens	772	4,511	5,206	6,289	7,424	8,812	9,563
		Lumens per Watt [†]	59.4	122.6	123.7	125.8	124.1	119.2	115.5
		BUG Rating	--	--	--	--	--	--	--
	T4W-HSS-ULG (Type III, House Side Shield)	Lumens	576	3,817	4,334	5,142	5,988	7,024	7,584
		Lumens per Watt [†]	44.3	103.7	102.9	102.8	100.1	95.0	91.6
		BUG Rating	--	--	--	--	--	--	--
	SL2 (Type II w/Spill Control)	Lumens	762	2,700	3,386	4,456	5,577	6,948	7,690
		Lumens per Watt [†]	58.6	134.3	133.3	133.8	129.4	121.5	116.3
		BUG Rating	B0-U0-G0	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2
	"SL2-HSS (Type II w/Spill Control, House Side Shield)"	Lumens	624	2,210	2,771	3,646	4,564	5,686	6,293
		Lumens per Watt [†]	48.0	110.0	109.1	109.5	105.9	99.4	95.2
		BUG Rating	B0-U0-G0	B0-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2
	"SL2-ULG (Type III, House Side Shield)"	Lumens	762	4,478	5,164	6,234	7,355	8,726	9,468
		Lumens per Watt [†]	58.6	121.7	122.7	124.7	123.0	118.1	114.3
		BUG Rating	--	--	--	--	--	--	--
	"SL2-HSS-ULG (Type III, House Side Shield)"	Lumens	624	3,988	4,549	5,424	6,342	7,464	8,071
		Lumens per Watt [†]	48.0	108.4	108.1	108.5	106.1	101.0	97.5
		BUG Rating	--	--	--	--	--	--	--
	"SL3 (Type III w/Spill Control)"	Lumens	757	2,682	3,363	4,425	5,539	6,901	7,638
		Lumens per Watt [†]	58.2	133.4	132.4	132.9	128.5	120.6	115.6
		BUG Rating	B0-U0-G0	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2
	"SL3-HSS (Type III w/Spill Control, House Side Shield)"	Lumens	647	2,290	2,872	3,780	4,731	5,894	6,524
		Lumens per Watt [†]	49.8	113.9	113.1	113.5	109.8	103.0	98.7
		BUG Rating	B0-U0-G0	B0-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2
"SL3-ULG (Type III, House Side Shield)"	Lumens	757	4,460	5,141	6,203	7,317	8,679	9,416	
	Lumens per Watt [†]	58.2	121.2	122.1	124.1	122.4	117.4	113.7	
	BUG Rating	--	--	--	--	--	--	--	
"SL3-HSS-ULG (Type III, House Side Shield)"	Lumens	647	4,068	4,650	5,558	6,509	7,672	8,302	
	Lumens per Watt [†]	49.8	110.5	110.5	111.2	108.8	103.8	100.3	
	BUG Rating	--	--	--	--	--	--	--	
"SL4 (Type IV w/Spill Control)"	Lumens	732	2,592	3,250	4,277	5,353	6,670	7,383	
	Lumens per Watt [†]	56.3	129.0	128.0	128.4	124.2	116.6	111.7	
	BUG Rating	B0-U0-G0	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	
"SL4-HSS (Type IV w/Spill Control, House Side Shield)"	Lumens	633	2,243	2,813	3,701	4,633	5,772	6,389	
	Lumens per Watt [†]	48.7	111.6	110.7	111.1	107.5	100.9	96.7	
	BUG Rating	B0-U0-G0	B0-U0-G1	B0-U0-G1	B0-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	

POWER AND LUMENS

1 LightSquare (SA Series)		ENC (Entri - Round Clean) / ENT (Entri - Triangle Reveals) / ENV (Entri - Round Reveals)							
Drive Current (mA)		EBP / CBP	SA1A (350mA)	SA1B (450mA)	SA1C (600mA)	SA1D (800mA)	SA1E (1000mA)	SA1F (1200mA)	
Power (Watts)	120-277V±	13	20.1	25.4	33.3	43.1	57.2	66.1	
Current (A)	120V	--	0.17	0.22	0.29	0.38	0.48	0.56	
	277V	--	0.09	0.1	0.13	0.17	0.21	0.25	
Power (Watts)	347V or 480V	--	23.3	28.7	36.6	49.5	60.7	70.1	
Current (A)	347V	--	0.07	0.08	0.11	0.15	0.18	0.21	
	480V	--	0.05	0.06	0.08	0.11	0.13	0.16	
Optics									
740 CCT	SL4-ULG (Type III, House Side Shield)	Lumens	732	4,370	5,028	6,055	7,131	8,448	9,161
		Lumens per Watt [†]	56.3	118.8	119.4	121.1	119.2	114.3	110.6
		BUG Rating	--	--	--	--	--	--	--
	SL4-HSS-ULG (Type III, House Side Shield)	Lumens	633	4,021	4,591	5,479	6,411	7,550	8,167
		Lumens per Watt [†]	48.7	109.3	109.0	109.6	107.2	102.2	98.6
		BUG Rating	--	--	--	--	--	--	--
	SLR (90° Spill Light Eliminator Right)	Lumens	682	2,417	3,031	3,989	4,992	6,220	6,885
		Lumens per Watt [†]	52.5	120.2	119.3	119.8	115.8	108.7	104.2
		BUG Rating	B0-U0-G0	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2
	SLR-HSS (90° Spill Light Eliminator Right, House Side Shield)	Lumens	580	2,055	2,577	3,392	4,245	5,289	5,854
		Lumens per Watt [†]	44.6	102.2	101.5	101.9	98.5	92.5	88.6
		BUG Rating	B0-U0-G0	B0-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2
	SLR-ULG (Type III, House Side Shield)	Lumens	682	4,195	4,809	5,767	6,770	7,998	8,663
		Lumens per Watt [†]	52.5	114.0	114.2	115.3	113.2	108.2	104.6
		BUG Rating	--	--	--	--	--	--	--
	SLR-HSS-ULG (Type III, House Side Shield)	Lumens	580	3,833	4,355	5,170	6,023	7,067	7,632
		Lumens per Watt [†]	44.6	104.2	103.4	103.4	100.7	95.6	92.2
		BUG Rating	--	--	--	--	--	--	--
	SLL (90° Spill Light Eliminator Left)	Lumens	682	2,417	3,031	3,989	4,992	6,220	6,885
		Lumens per Watt [†]	52.5	120.2	119.3	119.8	115.8	108.7	104.2
		BUG Rating	B0-U0-G0	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2
	SLL-HSS (90° Spill Light Eliminator Left, House Side Shield)	Lumens	580	2,055	2,577	3,392	4,245	5,289	5,854
		Lumens per Watt [†]	44.6	102.2	101.5	101.9	98.5	92.5	88.6
		BUG Rating	B0-U0-G0	B0-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1
	SLL-ULG (Type III, House Side Shield)	Lumens	682	4,195	4,809	5,767	6,770	7,998	8,663
		Lumens per Watt [†]	52.5	114.0	114.2	115.3	113.2	108.2	104.6
		BUG Rating	--	--	--	--	--	--	--
	SLL-HSS-ULG (Type III, House Side Shield)	Lumens	580	3,833	4,355	5,170	6,023	7,067	7,632
		Lumens per Watt [†]	44.6	104.2	103.4	103.4	100.7	95.6	92.2
		BUG Rating	--	--	--	--	--	--	--
750 CCT	T2 (Type II)	Lumens	768	2,721	3,412	4,490	5,619	7,001	7,749
		Lumens per Watt [†]	59.1	135.4	134.3	134.8	130.4	122.4	117.2
		BUG Rating	B0-U0-G0	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2
	T2-HSS (Type II, House Side Shield)	Lumens	584	2,069	2,594	3,414	4,272	5,323	5,892
		Lumens per Watt [†]	44.9	102.9	102.1	102.5	99.1	93.1	89.1
		BUG Rating	B0-U0-G0	B0-U0-G1	B0-U0-G1	B0-U0-G1	B0-U0-G1	B1-U0-G2	B1-U0-G2
	T3 (Type III)	Lumens	786	2,783	3,490	4,593	5,748	7,162	7,927
		Lumens per Watt [†]	60.5	138.5	137.4	137.9	133.4	125.2	119.9
		BUG Rating	B0-U0-G0	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B2-U0-G2
	T3-HSS (Type III, House Side Shield)	Lumens	593	2,100	2,634	3,466	4,338	5,405	5,982
		Lumens per Watt [†]	45.6	104.5	103.7	104.1	100.6	94.5	90.5
		BUG Rating	B0-U0-G0	B0-U0-G1	B0-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2

POWER AND LUMENS

1 LightSquare (SA Series)		ENC (Entri - Round Clean) / ENT (Entri - Triangle Reveals) / ENV (Entri - Round Reveals)							
Drive Current (mA)		EBP / CBP	SA1A (350mA)	SA1B (450mA)	SA1C (600mA)	SA1D (800mA)	SA1E (1000mA)	SA1F (1200mA)	
Power (Watts)	120-277V±	13	20.1	25.4	33.3	43.1	57.2	66.1	
Current (A)	120V	--	0.17	0.22	0.29	0.38	0.48	0.56	
	277V	--	0.09	0.1	0.13	0.17	0.21	0.25	
Power (Watts)	347V or 480V	--	23.3	28.7	36.6	49.5	60.7	70.1	
Current (A)	347V	--	0.07	0.08	0.11	0.15	0.18	0.21	
	480V	--	0.05	0.06	0.08	0.11	0.13	0.16	
Optics									
750 CCT	T4FT (Type IV Forward Throw)	Lumens	739	2,617	3,282	4,319	5,406	6,735	7,455
		Lumens per Watt [†]	56.8	130.2	129.2	129.7	125.4	117.7	112.8
		BUG Rating	B0-U0-G0	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2
	T4FT-HSS (Type IV Forward Throw, House Side Shield)	Lumens	547	1,936	2,428	3,195	3,999	4,982	5,514
		Lumens per Watt [†]	42.1	96.3	95.6	95.9	92.8	87.1	83.4
		BUG Rating	B0-U0-G0	B0-U0-G1	B0-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2
	T4W (Type IV Wide)	Lumens	772	2,733	3,428	4,511	5,646	7,034	7,785
		Lumens per Watt [†]	59.4	136.0	135.0	135.5	131.0	123.0	117.8
		BUG Rating	B0-U0-G0	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B2-U0-G2
	T4W-HSS (Type IV Wide, House Side Shield)	Lumens	576	2,039	2,556	3,364	4,210	5,246	5,806
		Lumens per Watt [†]	44.3	101.4	100.6	101.0	97.7	91.7	87.8
		BUG Rating	B0-U0-G0	B0-U0-G1	B0-U0-G1	B0-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2
	SL2 (Type II w/Spill Control)	Lumens	762	2,700	3,386	4,456	5,577	6,948	7,690
		Lumens per Watt [†]	58.6	134.3	133.3	133.8	129.4	121.5	116.3
		BUG Rating	B0-U0-G0	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2
	SL2-HSS (Type II w/Spill Control, House Side Shield)	Lumens	624	2,210	2,771	3,646	4,564	5,686	6,293
		Lumens per Watt [†]	48.0	110.0	109.1	109.5	105.9	99.4	95.2
		BUG Rating	B0-U0-G0	B0-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2
	SL3 (Type III w/Spill Control)	Lumens	757	2,682	3,363	4,425	5,539	6,901	7,638
		Lumens per Watt [†]	58.2	133.4	132.4	132.9	128.5	120.6	115.6
		BUG Rating	B0-U0-G0	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2
	SL3-HSS (Type III w/Spill Control, House Side Shield)	Lumens	647	2,290	2,872	3,780	4,731	5,894	6,524
		Lumens per Watt [†]	49.8	113.9	113.1	113.5	109.8	103.0	98.7
		BUG Rating	B0-U0-G0	B0-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2
	SL4 (Type IV w/Spill Control)	Lumens	732	2,592	3,250	4,277	5,353	6,670	7,383
		Lumens per Watt [†]	56.3	129.0	128.0	128.4	124.2	116.6	111.7
		BUG Rating	B0-U0-G0	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2
	SL4-HSS (Type IV w/Spill Control, House Side Shield)	Lumens	633	2,243	2,813	3,701	4,633	5,772	6,389
Lumens per Watt [†]		48.7	111.6	110.7	111.1	107.5	100.9	96.7	
BUG Rating		B0-U0-G0	B0-U0-G1	B0-U0-G1	B0-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	
SLR (90° Spill Light Eliminator Right)	Lumens	682	2,417	3,031	3,989	4,992	6,220	6,885	
	Lumens per Watt [†]	52.5	120.2	119.3	119.8	115.8	108.7	104.2	
	BUG Rating	B0-U0-G0	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	
SLR-HSS (90° Spill Light Eliminator Right, House Side Shield)	Lumens	580	2,055	2,577	3,392	4,245	5,289	5,854	
	Lumens per Watt [†]	44.6	102.2	101.5	101.9	98.5	92.5	88.6	
	BUG Rating	B0-U0-G0	B0-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	
SLL (90° Spill Light Eliminator Left)	Lumens	682	2,417	3,031	3,989	4,992	6,220	6,885	
	Lumens per Watt [†]	52.5	120.2	119.3	119.8	115.8	108.7	104.2	
	BUG Rating	B0-U0-G0	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	
SLL-HSS (90° Spill Light Eliminator Left, House Side Shield)	Lumens	580	2,055	2,577	3,392	4,245	5,289	5,854	
	Lumens per Watt [†]	44.6	102.2	101.5	101.9	98.5	92.5	88.6	
	BUG Rating	B0-U0-G0	B0-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	

POWER AND LUMENS

1 LightSquare (SA Series)		ENC (Entri - Round Clean) / ENT (Entri - Triangle Reveals) / ENV (Entri - Round Reveals)							
Drive Current (mA)		EBP / CBP	SA1A (350mA)	SA1B (450mA)	SA1C (600mA)	SA1D (800mA)	SA1E (1000mA)	SA1F (1200mA)	
Power (Watts)	120-277V±	13	20.1	25.4	33.3	43.1	57.2	66.1	
Current (A)	120V	--	0.17	0.22	0.29	0.38	0.48	0.56	
	277V	--	0.09	0.1	0.13	0.17	0.21	0.25	
Power (Watts)	347V or 480V	--	23.3	28.7	36.6	49.5	60.7	70.1	
Current (A)	347V	--	0.07	0.08	0.11	0.15	0.18	0.21	
	480V	--	0.05	0.06	0.08	0.11	0.13	0.16	
Optics									
760 CCT	T2 (Type II)	Lumens	768	2,721	3,412	4,490	5,619	7,001	7,749
		Lumens per Watt [†]	59.1	135.4	134.3	134.8	130.4	122.4	117.2
		BUG Rating	B0-U0-G0	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2
	T2-HSS (Type II, House Side Shield)	Lumens	584	2,069	2,594	3,414	4,272	5,323	5,892
		Lumens per Watt [†]	44.9	102.9	102.1	102.5	99.1	93.1	89.1
		BUG Rating	B0-U0-G0	B0-U0-G1	B0-U0-G1	B0-U0-G1	B0-U0-G1	B1-U0-G2	B1-U0-G2
	T3 (Type III)	Lumens	786	2,783	3,490	4,593	5,748	7,162	7,927
		Lumens per Watt [†]	60.5	138.5	137.4	137.9	133.4	125.2	119.9
		BUG Rating	B0-U0-G0	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B2-U0-G2
	T3-HSS (Type III, House Side Shield)	Lumens	593	2,100	2,634	3,466	4,338	5,405	5,982
		Lumens per Watt [†]	45.6	104.5	103.7	104.1	100.6	94.5	90.5
		BUG Rating	B0-U0-G0	B0-U0-G1	B0-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2
	T4FT (Type IV Forward Throw)	Lumens	739	2,617	3,282	4,319	5,406	6,735	7,455
		Lumens per Watt [†]	56.8	130.2	129.2	129.7	125.4	117.7	112.8
		BUG Rating	B0-U0-G0	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2
	T4FT-HSS (Type IV Forward Throw, House Side Shield)	Lumens	547	1,936	2,428	3,195	3,999	4,982	5,514
		Lumens per Watt [†]	42.1	96.3	95.6	95.9	92.8	87.1	83.4
		BUG Rating	B0-U0-G0	B0-U0-G1	B0-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2
	T4W (Type IV Wide)	Lumens	772	2,733	3,428	4,511	5,646	7,034	7,785
		Lumens per Watt [†]	59.4	136.0	135.0	135.5	131.0	123.0	117.8
		BUG Rating	B0-U0-G0	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B2-U0-G2
	T4W-HSS (Type IV Wide, House Side Shield)	Lumens	576	2,039	2,556	3,364	4,210	5,246	5,806
		Lumens per Watt [†]	44.3	101.4	100.6	101.0	97.7	91.7	87.8
		BUG Rating	B0-U0-G0	B0-U0-G1	B0-U0-G1	B0-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2
SL2 (Type II w/Spill Control)	Lumens	762	2,700	3,386	4,456	5,577	6,948	7,690	
	Lumens per Watt [†]	58.6	134.3	133.3	133.8	129.4	121.5	116.3	
	BUG Rating	B0-U0-G0	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2	
SL2-HSS (Type II w/Spill Control, House Side Shield)	Lumens	624	2,210	2,771	3,646	4,564	5,686	6,293	
	Lumens per Watt [†]	48.0	110.0	109.1	109.5	105.9	99.4	95.2	
	BUG Rating	B0-U0-G0	B0-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	
SL3 (Type III w/Spill Control)	Lumens	757	2,682	3,363	4,425	5,539	6,901	7,638	
	Lumens per Watt [†]	58.2	133.4	132.4	132.9	128.5	120.6	115.6	
	BUG Rating	B0-U0-G0	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	
SL3-HSS (Type III w/Spill Control, House Side Shield)	Lumens	647	2,290	2,872	3,780	4,731	5,894	6,524	
	Lumens per Watt [†]	49.8	113.9	113.1	113.5	109.8	103.0	98.7	
	BUG Rating	B0-U0-G0	B0-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	
SL4 (Type IV w/Spill Control)	Lumens	732	2,592	3,250	4,277	5,353	6,670	7,383	
	Lumens per Watt [†]	56.3	129.0	128.0	128.4	124.2	116.6	111.7	
	BUG Rating	B0-U0-G0	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	
SL4-HSS (Type IV w/Spill Control, House Side Shield)	Lumens	633	2,243	2,813	3,701	4,633	5,772	6,389	
	Lumens per Watt [†]	48.7	111.6	110.7	111.1	107.5	100.9	96.7	
	BUG Rating	B0-U0-G0	B0-U0-G1	B0-U0-G1	B0-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	

POWER AND LUMENS

1 LightSquare (SA Series)		ENC (Entri - Round Clean) / ENT (Entri - Triangle Reveals) / ENV (Entri - Round Reveals)							
Drive Current (mA)		EBP / CBP	SA1A (350mA)	SA1B (450mA)	SA1C (600mA)	SA1D (800mA)	SA1E (1000mA)	SA1F (1200mA)	
Power (Watts)	120-277V±	13	20.1	25.4	33.3	43.1	57.2	66.1	
Current (A)	120V	--	0.17	0.22	0.29	0.38	0.48	0.56	
	277V	--	0.09	0.1	0.13	0.17	0.21	0.25	
Power (Watts)	347V or 480V	--	23.3	28.7	36.6	49.5	60.7	70.1	
Current (A)	347V	--	0.07	0.08	0.11	0.15	0.18	0.21	
	480V	--	0.05	0.06	0.08	0.11	0.13	0.16	
Optics									
760 CCT	SLR (90° Spill Light Eliminator Right)	Lumens	682	2,417	3,031	3,989	4,992	6,220	6,885
		Lumens per Watt [†]	52.5	120.2	119.3	119.8	115.8	108.7	104.2
		BUG Rating	B0-U0-G0	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2
	SLR-HSS (90° Spill Light Eliminator Right, House Side Shield)	Lumens	580	2,055	2,577	3,392	4,245	5,289	5,854
		Lumens per Watt [†]	44.6	102.2	101.5	101.9	98.5	92.5	88.6
		BUG Rating	B0-U0-G0	B0-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2
	SLL (90° Spill Light Eliminator Left)	Lumens	682	2,417	3,031	3,989	4,992	6,220	6,885
		Lumens per Watt [†]	52.5	120.2	119.3	119.8	115.8	108.7	104.2
		BUG Rating	B0-U0-G0	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2
	SLL-HSS (90° Spill Light Eliminator Left, House Side Shield)	Lumens	580	2,055	2,577	3,392	4,245	5,289	5,854
		Lumens per Watt [†]	44.6	102.2	101.5	101.9	98.5	92.5	88.6
		BUG Rating	B0-U0-G0	B0-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1
827 CCT	T2 (Type II)	Lumens	565	2,000	2,508	3,300	4,131	5,147	5,696
		Lumens per Watt [†]	43.5	99.5	98.7	99.1	95.8	90.0	86.2
		BUG Rating	B0-U0-G0	B0-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2
	T2-HSS (Type II, House Side Shield)	Lumens	429	1,521	1,907	2,509	3,141	3,913	4,331
		Lumens per Watt [†]	33.0	75.7	75.1	75.3	72.9	68.4	65.5
		BUG Rating	B0-U0-G0	B0-U0-G0	B0-U0-G0	B0-U0-G1	B0-U0-G1	B0-U0-G1	B0-U0-G1
	T3 (Type III)	Lumens	578	2,046	2,566	3,376	4,226	5,265	5,825
		Lumens per Watt [†]	44.5	101.8	101.0	101.4	98.1	92.0	88.1
		BUG Rating	B0-U0-G0	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2
	T3-HSS (Type III, House Side Shield)	Lumens	436	1,544	1,936	2,548	3,189	3,973	4,398
		Lumens per Watt [†]	33.5	76.8	76.2	76.5	74.0	69.5	66.5
		BUG Rating	B0-U0-G0	B0-U0-G0	B0-U0-G0	B0-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1
	T4FT (Type IV Forward Throw)	Lumens	543	1,924	2,413	3,175	3,974	4,951	5,480
		Lumens per Watt [†]	41.8	95.7	95.0	95.3	92.2	86.6	82.9
		BUG Rating	B0-U0-G0	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2
	T4FT-HSS (Type IV Forward Throw, House Side Shield)	Lumens	402	1,423	1,785	2,349	2,939	3,662	4,054
		Lumens per Watt [†]	30.9	70.8	70.3	70.5	68.2	64.0	61.3
		BUG Rating	B0-U0-G0	B0-U0-G0	B0-U0-G1	B0-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2
	T4W (Type IV Wide)	Lumens	567	2,009	2,520	3,316	4,150	5,171	5,723
		Lumens per Watt [†]	43.6	100.0	99.2	99.6	96.3	90.4	86.6
		BUG Rating	B0-U0-G0	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2
	T4W-HSS (Type IV Wide, House Side Shield)	Lumens	423	1,499	1,879	2,473	3,095	3,856	4,268
		Lumens per Watt [†]	32.5	74.6	74.0	74.3	71.8	67.4	64.6
		BUG Rating	B0-U0-G0	B0-U0-G0	B0-U0-G1	B0-U0-G1	B0-U0-G1	B0-U0-G1	B1-U0-G1
SL2 (Type II w/Spill Control)	Lumens	560	1,985	2,489	3,275	4,099	5,108	5,653	
	Lumens per Watt [†]	43.1	98.8	98.0	98.3	95.1	89.3	85.5	
	BUG Rating	B0-U0-G0	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	
SL2-HSS (Type II w/Spill Control, House Side Shield)	Lumens	459	1,624	2,037	2,680	3,355	4,180	4,626	
	Lumens per Watt [†]	35.3	80.8	80.2	80.5	77.8	73.1	70.0	
	BUG Rating	B0-U0-G0	B0-U0-G1	B0-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	

POWER AND LUMENS

1 LightSquare (SA Series)		ENC (Entri - Round Clean) / ENT (Entri - Triangle Reveals) / ENV (Entri - Round Reveals)							
Drive Current (mA)		EBP / CBP	SA1A (350mA)	SA1B (450mA)	SA1C (600mA)	SA1D (800mA)	SA1E (1000mA)	SA1F (1200mA)	
Power (Watts)	120-277V±	13	20.1	25.4	33.3	43.1	57.2	66.1	
Current (A)	120V	--	0.17	0.22	0.29	0.38	0.48	0.56	
	277V	--	0.09	0.1	0.13	0.17	0.21	0.25	
Power (Watts)	347V or 480V	--	23.3	28.7	36.6	49.5	60.7	70.1	
Current (A)	347V	--	0.07	0.08	0.11	0.15	0.18	0.21	
	480V	--	0.05	0.06	0.08	0.11	0.13	0.16	
Optics									
827 CCT	SL3 (Type III w/Spill Control)	Lumens	557	1,971	2,472	3,253	4,072	5,073	5,615
		Lumens per Watt [†]	42.8	98.1	97.3	97.7	94.5	88.7	84.9
		BUG Rating	B0-U0-G0	B0-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2
	SL3-HSS (Type III w/Spill Control, House Side Shield)	Lumens	475	1,684	2,111	2,779	3,478	4,333	4,796
		Lumens per Watt [†]	36.5	83.8	83.1	83.5	80.7	75.8	72.6
		BUG Rating	B0-U0-G0	B0-U0-G1	B0-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1
	SL4 (Type IV w/Spill Control)	Lumens	538	1,905	2,389	3,144	3,935	4,903	5,427
		Lumens per Watt [†]	41.4	94.8	94.1	94.4	91.3	85.7	82.1
		BUG Rating	B0-U0-G0	B0-U0-G1	B0-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2
	SL4-HSS (Type IV w/Spill Control, House Side Shield)	Lumens	466	1,649	2,068	2,721	3,406	4,243	4,696
		Lumens per Watt [†]	35.8	82.0	81.4	81.7	79.0	74.2	71.0
		BUG Rating	B0-U0-G0	B0-U0-G1	B0-U0-G1	B0-U0-G1	B0-U0-G1	B1-U0-G1	B1-U0-G1
	SLR (90° Spill Light Eliminator Right)	Lumens	502	1,777	2,228	2,932	3,670	4,572	5,061
		Lumens per Watt [†]	38.6	88.4	87.7	88.0	85.2	79.9	76.6
		BUG Rating	B0-U0-G0	B0-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1
	SLR-HSS (90° Spill Light Eliminator Right, House Side Shield)	Lumens	427	1,511	1,895	2,493	3,121	3,888	4,303
		Lumens per Watt [†]	32.8	75.2	74.6	74.9	72.4	68.0	65.1
		BUG Rating	B0-U0-G0	B0-U0-G0	B0-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1
	SLL (90° Spill Light Eliminator Left)	Lumens	502	1,777	2,228	2,932	3,670	4,572	5,061
		Lumens per Watt [†]	38.6	88.4	87.7	88.0	85.2	79.9	76.6
		BUG Rating	B0-U0-G0	B0-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1
	SLL-HSS (90° Spill Light Eliminator Left, House Side Shield)	Lumens	427	1,511	1,895	2,493	3,121	3,888	4,303
		Lumens per Watt [†]	32.8	75.2	74.6	74.9	72.4	68.0	65.1
		BUG Rating	B0-U0-G0	B0-U0-G1	B0-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1
830 CCT	T2 (Type II)	Lumens	610	2,162	2,711	3,568	4,465	5,563	6,158
		Lumens per Watt [†]	46.9	107.6	106.7	107.1	103.6	97.3	93.2
		BUG Rating	B0-U0-G0	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2
	T2-HSS (Type II, House Side Shield)	Lumens	464	1,644	2,061	2,713	3,395	4,230	4,682
		Lumens per Watt [†]	35.7	81.8	81.1	81.5	78.8	74.0	70.8
		BUG Rating	B0-U0-G0	B0-U0-G0	B0-U0-G1	B0-U0-G1	B0-U0-G1	B0-U0-G1	B0-U0-G1
	T3 (Type III)	Lumens	624	2,212	2,773	3,650	4,568	5,691	6,299
		Lumens per Watt [†]	48.0	110.0	109.2	109.6	106.0	99.5	95.3
		BUG Rating	B0-U0-G0	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2
	T3-HSS (Type III, House Side Shield)	Lumens	471	1,669	2,093	2,754	3,447	4,295	4,754
		Lumens per Watt [†]	36.2	83.0	82.4	82.7	80.0	75.1	71.9
		BUG Rating	B0-U0-G0	B0-U0-G0	B0-U0-G1	B0-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1
	T4FT (Type IV Forward Throw)	Lumens	587	2,080	2,608	3,432	4,296	5,352	5,924
		Lumens per Watt [†]	45.2	103.5	102.7	103.1	99.7	93.6	89.6
		BUG Rating	B0-U0-G0	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2
	T4FT-HSS (Type IV Forward Throw, House Side Shield)	Lumens	434	1,538	1,929	2,539	3,177	3,959	4,382
		Lumens per Watt [†]	33.4	76.5	75.9	76.2	73.7	69.2	66.3
		BUG Rating	B0-U0-G0	B0-U0-G1	B0-U0-G1	B0-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1

POWER AND LUMENS

1 LightSquare (SA Series)		ENC (Entri - Round Clean) / ENT (Entri - Triangle Reveals) / ENV (Entri - Round Reveals)							
Drive Current (mA)		EBP / CBP	SA1A (350mA)	SA1B (450mA)	SA1C (600mA)	SA1D (800mA)	SA1E (1000mA)	SA1F (1200mA)	
Power (Watts)	120-277V±	13	20.1	25.4	33.3	43.1	57.2	66.1	
Current (A)	120V	--	0.17	0.22	0.29	0.38	0.48	0.56	
	277V	--	0.09	0.1	0.13	0.17	0.21	0.25	
Power (Watts)	347V or 480V	--	23.3	28.7	36.6	49.5	60.7	70.1	
Current (A)	347V	--	0.07	0.08	0.11	0.15	0.18	0.21	
	480V	--	0.05	0.06	0.08	0.11	0.13	0.16	
Optics									
830 CCT	T4W (Type IV Wide)	Lumens	613	2,172	2,724	3,584	4,486	5,590	6,187
		Lumens per Watt [†]	47.2	108.1	107.2	107.6	104.1	97.7	93.6
		BUG Rating	B0-U0-G0	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2
	T4W-HSS (Type IV Wide, House Side Shield)	Lumens	457	1,620	2,032	2,673	3,346	4,169	4,614
		Lumens per Watt [†]	35.2	80.6	80.0	80.3	77.6	72.9	69.8
		BUG Rating	B0-U0-G0	B0-U0-G0	B0-U0-G1	B0-U0-G1	B0-U0-G1	B1-U0-G1	B1-U0-G2
	SL2 (Type II w/Spill Control) ¹	Lumens	606	2,146	2,691	3,541	4,431	5,521	6,111
		Lumens per Watt [†]	46.6	106.8	105.9	106.3	102.8	96.5	92.5
		BUG Rating	B0-U0-G0	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2
	SL2-HSS (Type II w/Spill Control, House Side Shield)	Lumens	496	1,756	2,202	2,898	3,626	4,518	5,001
		Lumens per Watt [†]	38.2	87.4	86.7	87.0	84.1	79.0	75.7
		BUG Rating	B0-U0-G0	B0-U0-G1	B0-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2
	SL3 (Type III w/Spill Control)	Lumens	602	2,131	2,672	3,517	4,401	5,484	6,070
		Lumens per Watt [†]	46.3	106.0	105.2	105.6	102.1	95.9	91.8
		BUG Rating	B0-U0-G0	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2
	SL3-HSS (Type III w/Spill Control, House Side Shield)	Lumens	514	1,820	2,282	3,004	3,759	4,684	5,184
		Lumens per Watt [†]	39.5	90.5	89.8	90.2	87.2	81.9	78.4
		BUG Rating	B0-U0-G0	B0-U0-G1	B0-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2
	SL4 (Type IV w/Spill Control)	Lumens	582	2,060	2,583	3,399	4,254	5,300	5,867
		Lumens per Watt [†]	44.8	102.5	101.7	102.1	98.7	92.7	88.8
		BUG Rating	B0-U0-G0	B0-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2
	SL4-HSS (Type IV w/Spill Control, House Side Shield)	Lumens	503	1,782	2,235	2,941	3,681	4,587	5,077
		Lumens per Watt [†]	38.7	88.7	88.0	88.3	85.4	80.2	76.8
		BUG Rating	B0-U0-G0	B0-U0-G1	B0-U0-G1	B0-U0-G1	B0-U0-G1	B1-U0-G2	B1-U0-G2
	SLR (90° Spill Light Eliminator Right)	Lumens	542	1,921	2,409	3,170	3,967	4,943	5,471
		Lumens per Watt [†]	41.7	95.6	94.8	95.2	92.0	86.4	82.8
		BUG Rating	B0-U0-G0	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1
	SLR-HSS (90° Spill Light Eliminator Right, House Side Shield)	Lumens	461	1,633	2,048	2,695	3,373	4,203	4,652
Lumens per Watt [†]		35.5	81.2	80.6	80.9	78.3	73.5	70.4	
BUG Rating		B0-U0-G0	B0-U0-G1	B0-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	
SLL (90° Spill Light Eliminator Left)	Lumens	542	1,921	2,409	3,170	3,967	4,943	5,471	
	Lumens per Watt [†]	42	96	95	95	92	86	83	
	BUG Rating	B0-U0-G0	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	
SLL-HSS (90° Spill Light Eliminator Left, House Side Shield)	Lumens	461	1,633	2,048	2,695	3,373	4,203	4,652	
	Lumens per Watt [†]	35.5	81.2	80.6	80.9	78.3	73.5	70.4	
	BUG Rating	B0-U0-G0	B0-U0-G1	B0-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	

LUMEN MAINTENANCE

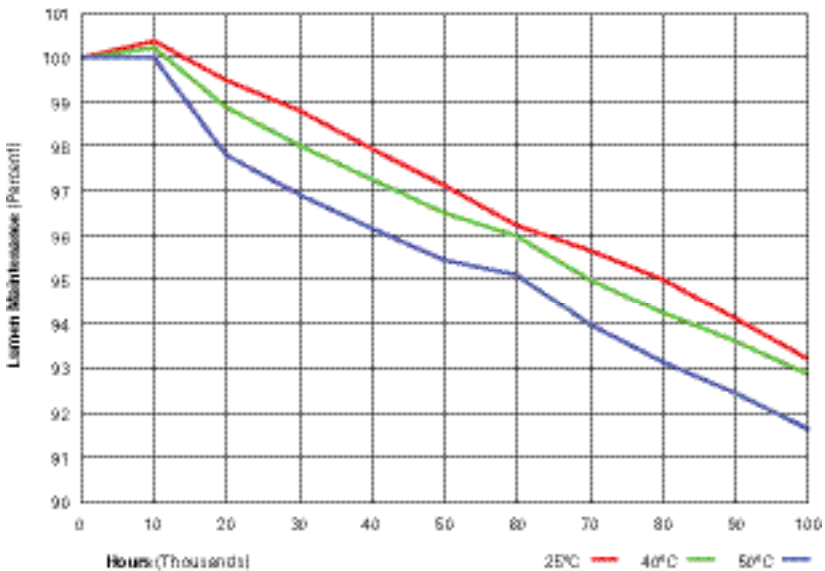
SA1 (All Drive Currents)					
Hours	25,000 hours*	50,000 hours*	60,000 hours*	100,000 hours**	Theoretical L70 (Hours)**
25 °C	99.4%	99.0%	98.9%	98.3%	2,471,000
40 °C	99.4%	99.0%	98.9%	98.3%	2,471,000
50 °C	99.4%	99.0%	98.9%	98.3%	2,471,000

* Supported by IES TM-21 standards

** Theoretical values represent estimations commonly used; however, refer to the IES position on LED Product Lifetime Prediction, IES PS-10-18, that explains proper use of IES TM-21 and LM-80.

LUMEN MULTIPLIER

Ambient Temperature	SA1 (All Drive Currents)
0 °C	1.02
10 °C	1.01
25 °C	1.00
40 °C	0.99
50 °C	0.97



CONTROL OPTIONS

0-10V

This fixture is offered standard with 0-10V dimming driver(s). The DIM option provides 0-10V dimming wire leads for use with a lighting control panel or other control method.

Photocontrol (BPC)

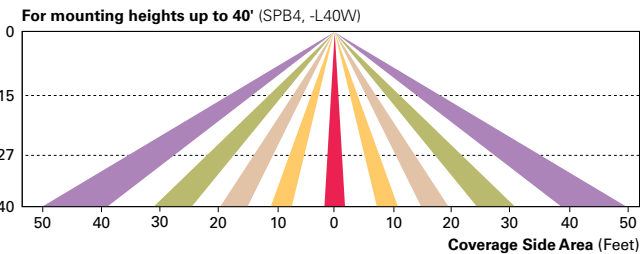
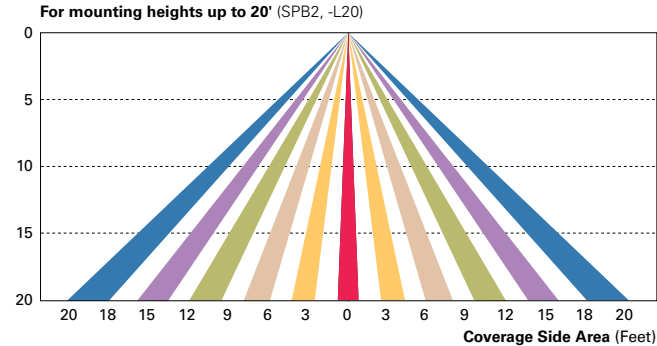
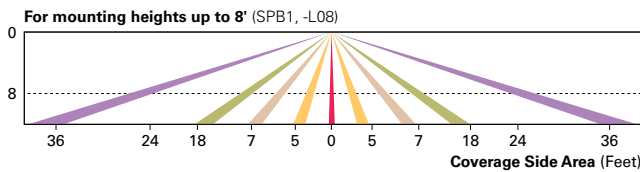
Optional button-type photocontrol (BPC) and photocontrol receptacles (PR and PR7) provide a flexible solution to enable "dusk-to-dawn" lighting by sensing light levels. Advanced control systems compatible with NEMA 7-pin standards can be utilized with the PR7 receptacle.

After Hours Dim (AHD)

This feature allows photocontrol-enabled luminaires to achieve additional energy savings by dimming during scheduled portions of the night. The dimming profile will automatically take effect after a "dusk-to-dawn" period has been calculated from the photocontrol input. Specify the desired dimming profile for a simple, factory-shipped dimming solution requiring no external control wiring. Reference the After Hours Dim supplemental guide for additional information.

Dimming Occupancy Sensor (MS/DIM-LXX and MS-LXX)

These sensors are factory installed in the luminaire housing. When the SPB or MS/DIM sensor options are selected, the occupancy sensor is connected to a dimming driver and the entire luminaire dims when there is no activity detected. When activity is detected, the luminaire returns to full light output. The MS/DIM sensor is factory preset to dim down to approximately 50 percent power with a time delay of five minutes. The MS-LXX sensor is factory preset to turn the luminaire off after five minutes of no activity. SPB motion sensors require the Sensor Configuration mobile application by Wattstopper to change factory default dimming level, time delay, sensitivity and other parameters. Available for iOS and Android devices. The SPB sensor is factory preset to dim down to approximately 10% power with a time delay of five minutes. The MS/DIM occupancy sensors require the FSIR-100 programming tool to adjust factory defaults.



WaveLinx Wireless Control and Monitoring System

Available in 7-PIN or 4-PIN configurations, the WaveLinx Outdoor control platform operates on a wireless mesh network based on IEEE 802.15.4 standards enabling wireless control of outdoor lighting. Use the WaveLinx Mobile application for set-up and configuration. At least one Wireless Area Controller (WAC) is required for full functionality and remote communication (including adjustment of any factory pre-sets). WaveLinx Outdoor Control Module (WOLC-7P-10A) A photocontrol that enables astronomic or time-based schedules to provide ON, OFF and dimming control of fixtures utilizing a 7-PIN receptacle. The out-of-box functionality is ON at dusk and OFF at dawn. WaveLinx Wireless Sensor (SWPD4 and SWPD5) These outdoor sensors offer passive infrared (PIR) occupancy and a photocell for closed loop daylight sensing. These sensors can be factory installed or field-installed via simple, tool-less integration into luminaires equipped with the Zhaga Book 18 compliant 4-PIN receptacle (ZW). These sensors are factory preset to dim down to approximately 50 percent power after 15 minutes of no activity detected. These occupancy sensors include an integral photocell for "dusk-to-dawn" control or daylight harvesting that is factory-enabled. A variety of sensor lenses are available to optimize the coverage pattern for mounting heights from 7'-20', only applies for typical wall packs.

DESCRIPTION

Lanterra 9004-W1 (Up or Down) and 9004-W2 (Up and Down) are 4.25" O.D., line voltage cylinder fixtures with dimmable LED. The luminaire comes in various mountings, surface mount with integral driver in the housing, remote driver mount with round and square wall plates and square wall integral driver, all of which can be mounted over standard 4 inch j-box. The luminaire also comes with various field replaceable optics and premium color tuning option. It also comes with various lens, louvers and colors or dichroic filters, which can combine up to two at once to create multiple lighting effects. The fixture may be used indoors or outdoors and carries IP66 rating.

SPECIFICATION FEATURES

Material

Housing, hood and mounting stem are precision-machined from corrosion resistant billet stock 6061-T6 aluminum.

Finish

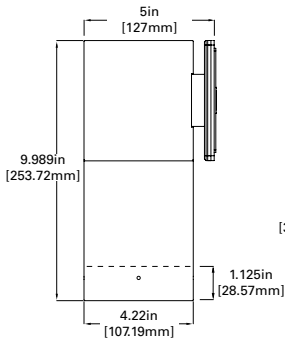
Fixtures constructed from 6061-T6 aluminum are double protected by an ROHS complaint chemical film undercoating and polyester powder coat paint finish, surpassing the rigorous demands of the outdoor environment. A variety of standard colors are available.

Hood

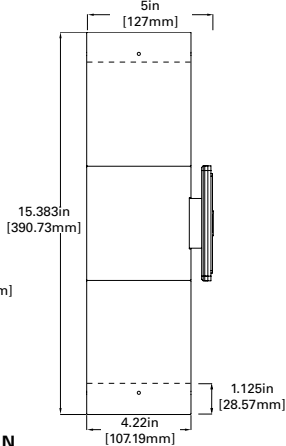
Hood is removable and accepts up to two internal accessories at once (lenses, louvers and filters) to achieve multiple lighting effects. Weep holes prevents water and mineral stains from collecting on the lens, even in the straight up position. The flush lens design reduces fixture length, minimizes debris collection and prevents water and mineral stains from collecting on the lens.

DIMENSIONS

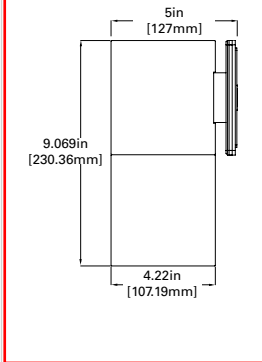
9004-W1-RW



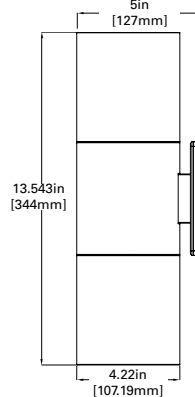
9004-W2-RW



9004-W1-FL



9004-W2-FL



ORDERING INFORMATION

DOMESTIC PREFERENCES ⁹	SERIES	DIRECTION	HOOD	LED CCT & CRI	FIELD REPLACEABLE OPTIC 1	FIELD REPLACEABLE OPTIC 2 ⁷	FINISH	LIGHT LEVEL	VOLTAGE	MOUNTING	OPTIONS
[Blank]=Standard BAA=Buy American Act	9004	W1 Up or W2 Down Up and Down	RW Standard Recessed Lens with weep holes - Outdoor RI Recessed Lens with no weep holes - Indoor FL Flush lens hood	Standard CRI LED2790 - 2700K, 90 CRI LED 3090 - 3000K, 90 CRI LED 3590 - 3500K, 90 CRI LED 4080 - 4000K, 80 CRI LED 5080 - 5000K, 80 CRI Premium CRI LED 2797 - 2700K, 97 CRI LED 3097 - 3000K, 97 CRI LED 3597 - 3500K, 97 CRI LED 4097 - 4000K, 97 CRI	S Spot M Medium F Flood W Wide Flood	S Spot M Medium F Flood W Wide Flood	Standard Paint Finish Black BK Bronze BZ City CS Silver WT White	L1 Light Level 1 L2 (10W) Light Level L3 Level 2 (20W) LC1 Light Level 3 (30W) LC2 Light Level Color 1 (12W) Light Level Color 2 (20W)	UNV 120- 277V	Surface Mount - Wall, Ceiling, Ground RSM Round Surface Mount- mounts directly to junction box Thermal Limitations (unless otherwise noted 50C) 9004-W1-xxx-L3-xxx-WRx (45C) 9004-W2-xxx-L3-xxx-WRx (35C) 9004-W2-xxx-LC2-xxx-WRx (40C) Remote Driver Housing WRR ⁸ Remote Driver Housing - Round Wall Plate WRS ⁸ Remote Driver Housing - Square Wall Plate Thermal Limitations (unless otherwise noted 50C) 9004-W1-xxx-L3-xxx-WRx (45C) 9004-W2-xxx-L3-xxx-WRx (35C) 9004-W2-xxx-LC2-xxx-WRx (40C) Integral Driver Mount WIS ^{3,4} Wall Integral Driver Plate Thermal Limitations (unless otherwise noted 45C) 9004-(W1,W2)-xx-L1-xx-WIS (50C)	SVPD2 ⁵ Stand- alone integral sensor

Notes: 1. Order LC remote separately
2. Only available for double head option (W2)
3. 9004-W1 not available in LC2, L3
4. 9004-W2 not available in L2, L3, LC1 and LC2

5. Only available for Single head, Up or down (W1) with RSM only
6. W2 doubles input wattage listed
7. Only available for LEDCR
8. Remote Driver distance up to 60', For L3 (30W) remote distance up to 15'

9. Only product configurations with this designated prefix are built to be compliant with the Buy American Act of 1933 (BAA). Please refer to DOMESTIC PREFERENCES website for more information. Components shipped separately may be separately analyzed under domestic preference requirements.
10. Accessories sold separately will be separately analyzed under domestic preference requirements. Consult factory for further information.

Catalog #		Type	
Project		Date	
Comments			
Prepared by			



Lanterra 9004

LED
INTERIOR / EXTERIOR
CYLINDER FLOOD LIGHT
CERTIFICATION DATA
cULus - 1598
Wet Location Listed - IP66
LM79/LM80 Compliant
ROHS Compliant



10W LED, L70/102,000@25° Celcius
20W LED, L70/102,000@25° Celcius
30W LED, L70/102,000@25° Celcius

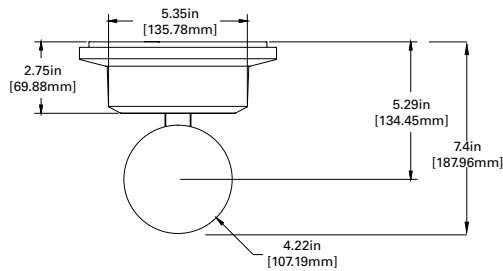
ACCESSORIES - ORDER SEPARATELY

		ACCESSORIES ¹⁰			OPTICS	
LCTL1RZRT452L-PK	Light Comissioning Tool (LCT)	Filters		Lens	Louwer	LLR-S-3-4 15° Spot
ISHH01LUM	Programming Remote for sensor	F71-4 Peach Dichroic		LSL-4 Linear Spread Lens	LVR-4 45° Hex Cell Louwer	LLR-M-3-4 25° Medium
ISHH02LUM	Personal Control Remote for sensor	F72-4 Amber Dichroic		DIF-4 Diffused Lens		LLR-F-3-4 36° Flood
		F73-4 Green Dichroic		OSL-4 Overall Spread Lens		LLR-W-3-4 60° Wide Flood
		F74-4 Medium Blue				LLR-K-3-4 Spot, Medium, Flood, Wide Flood Optic Kit
		F75-4 Yellow Dichroic				
		F76-4 Red Dichroic				LLR-S-LC-3-4 20° Spot - Color tuning optic
		F77-4 Dark Blue Dichroic				LLR-M-LC-3-4 32° Medium - Color tuning optic
		F78-4 Light Blue Dichroic				LLR-F-LC-3-4 42° Flood - Color tuning optic
		F79-4 Neutral Density Dichroic				LLR-W-LC-3-4 56° Wide Flood - color tuning optic
		F80-4 Magenta Dichroic				LR-K-LC-3-4 Spot, Medium, Flood, Wide Flood Color tuning optic Kit
		F22-4 Red Color				
		F33-4 Blue Color				
		F44-4 Green Color				
		F55-4 Yellow Color				
		F66-4 Mercury Color				

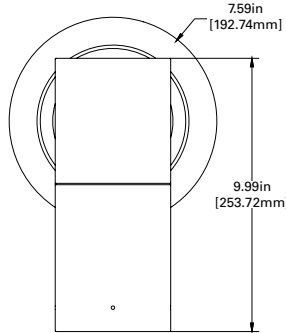
MOUNTINGS

ROUND SURFACE MOUNT (RSM)

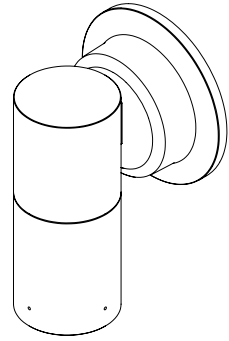
RSM-W1 (Up or down)



TOP VIEW



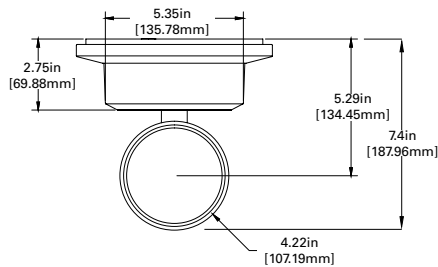
FRONT VIEW



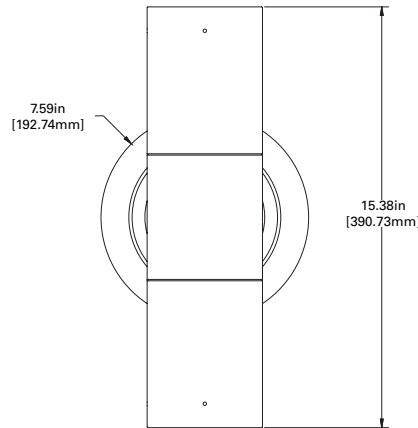
ISO VIEW

ROUND SURFACE MOUNT (RSM)

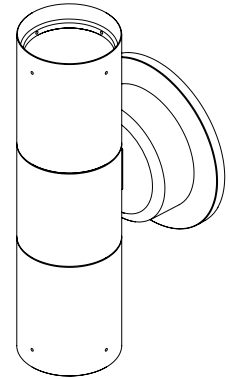
RSM-W2 (Up and down)



TOP VIEW



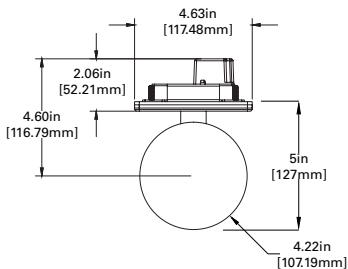
FRONT VIEW



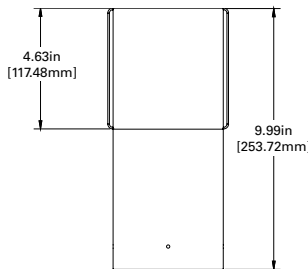
ISO VIEW

WALL INTEGRAL DRIVER PLATE (WIS)

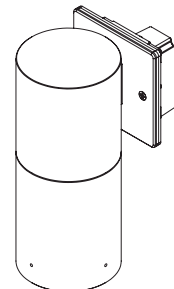
WIS-W1 (Up or down)



TOP VIEW



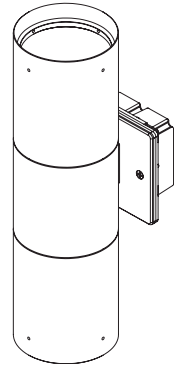
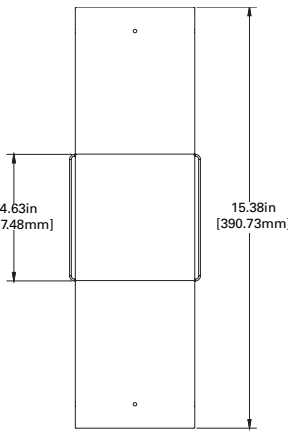
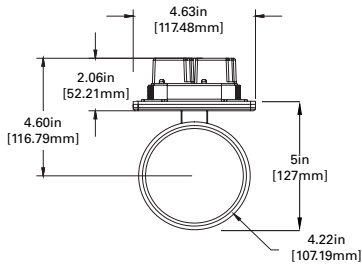
FRONT VIEW



ISO VIEW

WALL INTEGRAL DRIVER PLATE (WIS)

WIS-W2 (Up and down)



TOP VIEW

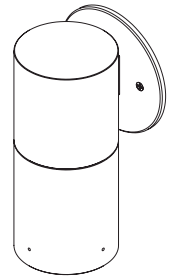
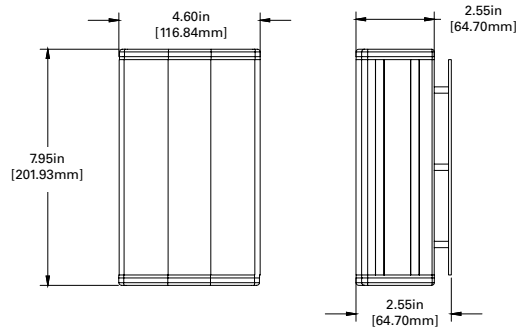
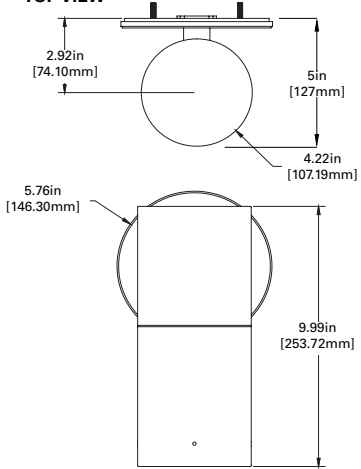
FRONT VIEW

ISO VIEW

REMOTE DRIVER HOUSING ROUND WALL (WRR)

**WRR-W1 (Up or down), as shown
WRS-W1 (Square option also available)**

TOP VIEW



Remote Driver distance up to 60',
For L3 remote distance up to 15'

FRONT VIEW

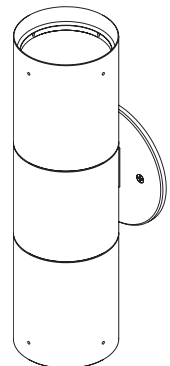
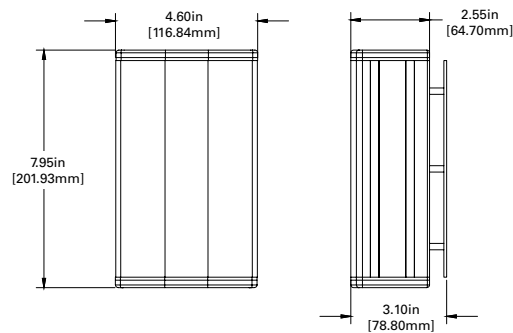
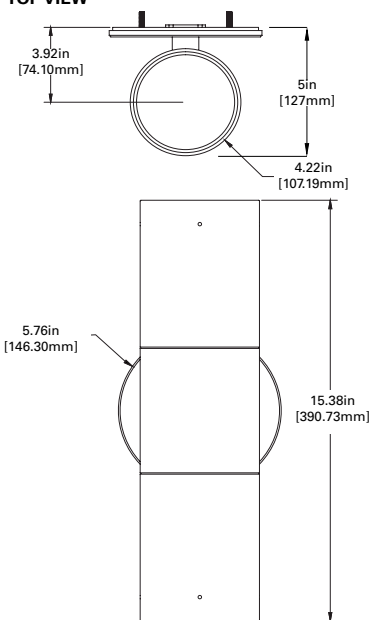
REMOTE BOX

ISO VIEW

REMOTE DRIVER HOUSING ROUND WALL (WRR)

**WRR-W2 (Up and down)
WRS-W2 (Square option also available)**

TOP VIEW



Remote Driver distance up to 60',
For L3 remote distance up to 15'

FRONT VIEW

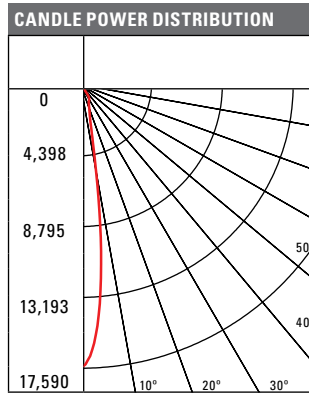
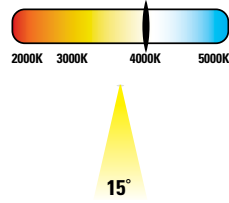
REMOTE BOX

ISO VIEW

PHOTOMETRICS

Test Number	P29496
Lumcat	9004-[W1]-X-FL-LED4080-S-BK-L3-UNV
Lumens	2801 Lm
Watts	28.6 W
LPW	97.9 Lm/W
CCT	4000K
SC (0/90/45)	0.27 / 0.27 / 0.27
Beam Angle	15.9°

COLOR METRIC SUMMARY	
TM-30-15	Rf = 82.5 Rg = 94.3
CRI/CIE	Ra = 83.1 R9 = 11.4

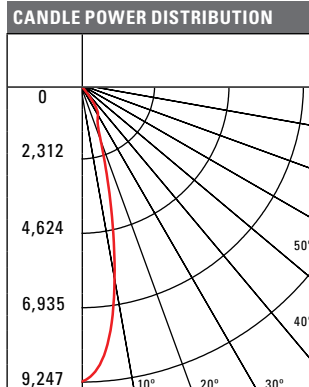
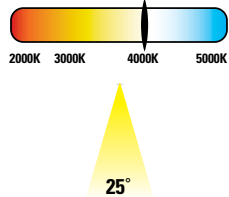


CONE OF LIGHT			
Horizontal Illuminance on Floor			
MH	FC	L	W
2'	4397.5	0.4	0.4
4'	1099.4	1	1
6'	488.6	1.6	1.6
8'	274.8	2	2
10'	175.9	2.6	2.6
15'	78.2	4	4
20'	44	5.4	5.4
30'	19.5	8.2	8.2
40'	11	10.8	10.8

CANDELA TABLE	
Angle	0-deg
0	17590
5	13640
10	5616
15	2329
20	1555
30	1057
40	161
50	11
60	4
70	1
80	0
90	0

Test Number	29497
Lumcat	9004-[W1]-X-FL-LED4080-M-BK-L3-UNV
Lumens	2826 Lm
Watts	28.6 W
LPW	98.8 Lm/W
CCT	4000K
SC (0/90/45)	0.43 / 0.43 / 0.44
Beam Angle	25.5°

COLOR METRIC SUMMARY	
TM-30-15	Rf = 82.5 Rg = 94.3
CRI/CIE	Ra = 83.1 R9 = 11.4

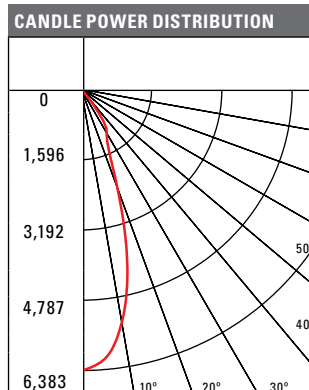
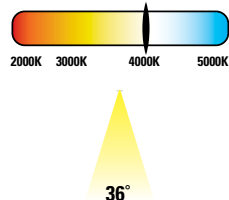


CONE OF LIGHT			
Horizontal Illuminance on Floor			
MH	FC	L	W
2'	2311.8	0.8	0.8
4'	577.9	1.6	1.6
6'	256.9	2.4	2.4
8'	144.5	3.4	3.4
10'	92.5	4.2	4.2
15'	41.1	6.4	6.4
20'	23.1	8.6	8.6
30'	10.3	12.8	12.8
40'	5.8	17.2	17.2

CANDELA TABLE	
Angle	0-deg
0	9247
5	8453
10	6140
15	3506
20	1860
30	1098
40	170
50	13
60	4
70	1
80	0
90	0

Test Number	P29498
Lumcat	9004-[W1]-X-FL-LED4080-F-BK-L3-UNV
Lumens	2871 Lm
Watts	28.5 W
LPW	100.7 Lm/W
CCT	4000K
SC (0/90/45)	0.58 / 0.58 / 0.56
Beam Angle	35.1°

COLOR METRIC SUMMARY	
TM-30-15	Rf = 82.5 Rg = 94.3
CRI/CIE	Ra = 83.1 R9 = 11.4

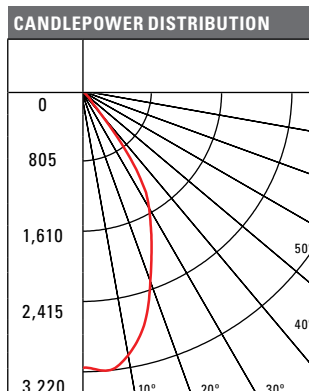
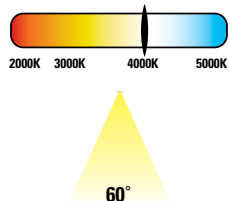


CONE OF LIGHT			
Horizontal Illuminance on Floor			
MH	FC	L	W
2'	1595.8	1	1
4'	398.9	2.2	2.2
6'	177.3	3.4	3.4
8'	99.7	4.6	4.6
10'	63.8	5.8	5.8
15'	28.4	8.6	8.6
20'	16	11.6	11.6
30'	7.1	17.4	17.4
40'	4	23.2	23.2

CANDELA TABLE	
Angle	0-deg
0	6383
5	6141
10	5345
15	4027
20	2423
30	1153
40	178
50	6
60	4
70	1
80	0
90	0

Test Number	P29499
Lumcat	9004-[W1]-X-FL-LED4080-W-BK-L3-UNV
Lumens	2790 Lm
Watts	28.5 W
LPW	97.9 Lm/W
CCT	4000K
SC (0/90/45)	0.86 / 0.86 / 0.91
Beam Angle	58.5°

COLOR METRIC SUMMARY	
TM-30-15	Rf = 82.5 Rg = 94.3
CRI/CIE	Ra = 83.1 R9 = 11.4



CONE OF LIGHT			
Horizontal Illuminance on Floor			
MH	FC	L	W
2'	796.9	1.6	1.6
4'	199.2	3.4	3.4
6'	88.5	5	5
8'	49.8	6.8	6.8
10'	31.9	8.4	8.4
15'	14.2	12.8	12.8
20'	8	17	17
30'	3.5	25.6	25.6
40'	2	34.2	34.2

CANDELA TABLE	
Angle	0-deg
0	3173
5	3220
10	3082
15	2784
20	2321
30	1560
40	366
50	95
60	25
70	3
80	0
90	0

CCT/CRI	LED2790	LED3090	LED3590	LED4080	LED5080	LED2797	LED3097	LED3597	LED4097
FC Multiplier	0.754	0.798	0.808	1.000	1.039	0.699	0.706	0.801	0.793

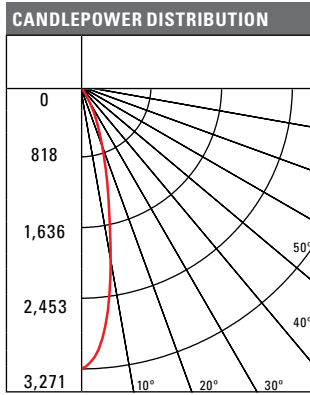
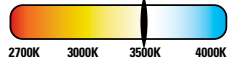
Light Level	L1	L2	L3
FC Multiplier	0.418	0.772	1.000

Note: Photometric tables show lumen output for W1 only. For W2 (Up and Down) option, uplight and downlight both match lumen output as W1.

PHOTOMETRICS (PREMIUM COLOR TUNING)

Test Number	P29571
Lumcat	9004-[W1]-X-FL-[LEDCB, LEDCR]-S-BK-LC-UNV
Lumens	853 Lm
Watts	24 W
LPW	35.5 Lm/W
CCT	3500K
SC (0/90/45)	0.41 / 0.41 / 0.45
Beam Angle	24.1°

COLOR METRIC SUMMARY	
TM-30-15	Rf = 90.6 Rg = 100.4
CRI/CIE	Ra = 92.7 R9 = 67.5

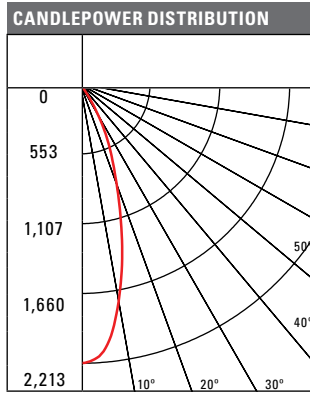
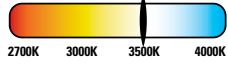


CONE OF LIGHT				
Horizontal Illuminance on Floor				
MH	FC	L	W	
2'	817.8	0.8	0.8	
4'	204.4	1.6	1.6	
6'	90.9	2.4	2.4	
8'	51.1	3.2	3.2	
10'	32.7	4	4	
15'	14.5	6	6	
20'	8.2	8	8	
30'	3.6	12	12	
40'	2	16.2	16.2	

CANDELA TABLE	
Angle	0-deg
0	3271
5	2929
10	2021
15	1231
20	747
30	227
40	5
50	1
60	0
70	0
80	0
90	0

Test Number	P29572
Lumcat	9004-[W1]-X-FL-[LEDCB, LEDCR]-M-BK-LC-UNV
Lumens	853 Lm
Watts	24 W
LPW	35.5 Lm/W
CCT	3500K
SC (0/90/45)	0.55 / 0.55 / 0.58
Beam Angle	33.7°

COLOR METRIC SUMMARY	
TM-30-15	Rf = 90.6 Rg = 100.4
CRI/CIE	Ra = 92.7 R9 = 67.5

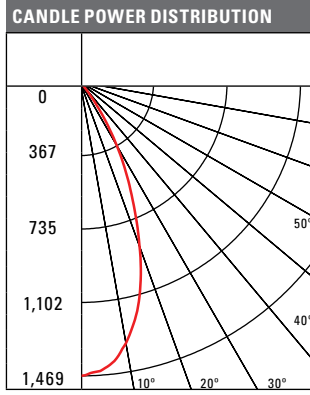
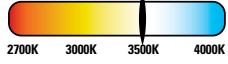


CONE OF LIGHT				
Horizontal Illuminance on Floor				
MH	FC	L	W	
2'	553.2	1	1	
4'	138.3	2.2	2.2	
6'	61.5	3.2	3.2	
8'	34.6	4.4	4.4	
10'	22.1	5.4	5.4	
15'	9.8	8.2	8.2	
20'	5.5	11	11	
30'	2.5	16.4	16.4	
40'	1.4	22	22	

CANDELA TABLE	
Angle	0-deg
0	2213
5	2126
10	1754
15	1279
20	845
30	288
40	3
50	1
60	1
70	0
80	0
90	0

Test Number	P29573
Lumcat	9004-[W1]-X-FL-[LEDCB, LEDCR]-F-BK-LC-UNV
Lumens	834 Lm
Watts	24 W
LPW	34.8 Lm/W
CCT	3500K
SC (0/90/45)	0.72 / 0.72 / 0.71
Beam Angle	44.7°

COLOR METRIC SUMMARY	
TM-30-15	Rf = 90.6 Rg = 100.4
CRI/CIE	Ra = 92.7 R9 = 67.5

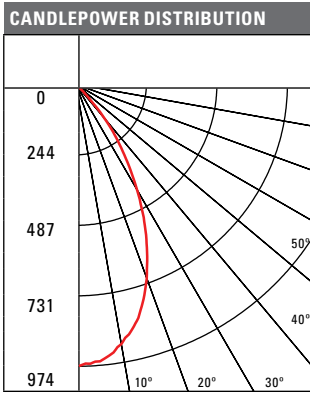
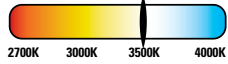


CONE OF LIGHT				
Horizontal Illuminance on Floor				
MH	FC	L	W	
2'	367.2	1.4	1.4	
4'	91.8	2.8	2.8	
6'	40.8	4.2	4.2	
8'	23	5.6	5.6	
10'	14.7	7	7	
15'	6.5	10.6	10.6	
20'	3.7	14.2	14.2	
30'	1.6	21.4	21.4	
40'	0.9	28.6	28.6	

CANDELA TABLE	
Angle	0-deg
0	1469
5	1435
10	1324
15	1135
20	865
30	368
40	36
50	3
60	3
70	0
80	0
90	0

Test Number	P29574
Lumcat	9004-[W1]-X-FL-[LEDCB, LEDCR]-W-BK-LC-UNV
Lumens	806 Lm
Watts	24 W
LPW	33.6 Lm/W
CCT	3500K
SC (0/90/45)	0.85 / 0.85 / 0.86
Beam Angle	55.8°

COLOR METRIC SUMMARY	
TM-30-15	Rf = 90.6 Rg = 100.4
CRI/CIE	Ra = 92.7 R9 = 67.5



CONE OF LIGHT				
Horizontal Illuminance on Floor				
MH	FC	L	W	
2'	243.5	1.6	1.6	
4'	60.9	3.4	3.4	
6'	27.1	5	5	
8'	15.2	6.8	6.8	
10'	9.7	8.4	8.4	
15'	4.3	12.8	12.8	
20'	2.4	17	17	
30'	1.1	25.6	25.6	
40'	0.6	34	34	

CANDELA TABLE	
Angle	0-deg
0	974
5	960
10	910
15	835
20	715
30	424
40	157
50	6
60	4
70	3
80	0
90	0

Note: Photometric tables show lumen output for W1 only. For W2 (Up and Down) option, uplight and downlight both match lumen output as W1.

LUMEN TABLE

		9004-[W1] Regressed Hood - Black								
		L1 - 10 W			L2 - 20 W			L3 - 30W		
		CBCP	Lumens	LPW	CBCP	Lumens	LPW	CBCP	Lumens	LPW
Spot 15°	LED2790	5584	783	79.5	10310	1445	71.9	13357	1872	65.7
	LED3090	5907	828	84.1	10906	1529	76.1	14130	1981	69.5
	LED3590	5983	839	85.1	11047	1549	77.0	14311	2006	70.4
	LED4080	7401	1038	105.3	13666	1916	95.3	17705	2482	87.1
	LED5080	7689	1078	109.4	14197	1990	99.0	18393	2578	90.5
	LED2797	5175	726	73.7	9556	1340	66.6	12380	1736	60.9
	LED3097	5224	732	74.4	9646	1352	67.3	12497	1752	61.5
	LED3597	5926	831	84.3	10941	1534	76.3	14175	1987	69.7
	LED4097	5869	823	83.5	10836	1519	75.6	14038	1968	69.1
Medium Flood 25°	LED2790	2907	781	79.2	5368	1441	71.7	6954	1867	65.5
	LED3090	3075	826	83.8	5678	1525	75.8	7357	1975	69.3
	LED3590	3115	836	84.9	5751	1544	76.8	7451	2001	70.2
	LED4080	3853	1035	105.0	7115	1910	95.0	9218	2475	86.8
	LED5080	4003	1075	109.1	7391	1984	98.7	9576	2571	90.2
	LED2797	2695	723	73.4	4975	1336	66.5	6446	1731	60.7
	LED3097	2720	730	74.1	5022	1348	67.1	6505	1747	61.3
	LED3597	3085	828	84.1	5696	1529	76.1	7380	1981	69.5
	LED4097	3055	820	83.3	5642	1515	75.4	7309	1962	68.9
Flood 36°	LED2790	2006	792	80.4	3704	1463	72.8	4799	1895	66.3
	LED3090	2122	838	85.1	3918	1547	77.0	5076	2004	70.1
	LED3590	2149	849	86.2	3969	1567	78.0	5142	2030	71.0
	LED4080	2659	1050	106.6	4910	1939	96.4	6361	2512	87.8
	LED5080	2762	1091	110.7	5101	2014	100.2	6608	2609	91.2
	LED2797	1859	734	74.5	3233	1356	67.4	4448	1756	61.4
	LED3097	1877	741	75.2	3466	1368	68.1	4490	1773	62.0
	LED3597	2129	841	85.3	3931	1552	77.2	5093	2011	70.3
	LED4097	2108	832	84.5	3893	1537	76.5	5044	1991	69.6
Wide Flood 60°	LED2790	1012	753	76.4	1869	1390	69.2	2422	1801	63.0
	LED3090	1071	796	80.8	1977	1470	73.2	2562	1905	66.6
	LED3590	1085	807	81.9	2003	1489	74.1	2595	1929	67.5
	LED4080	1342	998	101.3	2478	1842	91.7	3210	2387	83.5
	LED5080	1394	1037	105.2	2574	1914	95.2	3335	2480	86.7
	LED2797	938	698	70.8	1733	1288	64.1	2245	1669	58.4
	LED3097	947	704	71.5	1749	1300	64.7	2266	1685	58.9
	LED3597	1074	799	81.1	1984	1475	73.4	2570	1911	66.8
	LED4097	1064	791	80.3	1965	1461	72.7	2545	1893	66.2

TM30 DATA

9004	CCT/CRI	Rf	Rg	Ra	R9
	2790	90.9	98.9	91.7	58.3
	3090	90.8	99.1	92.5	62.6
	3590	90.6	100.4	92.7	67.5
	4080	82.5	94.3	83.1	11.4
	5080	81.6	94.1	82	6
	2797	94.9	100	98.1	86.9
	3097	94	100.3	97.8	88.9
	3597	92.9	99.3	97.2	89.1
	4097	91.5	98.7	95.4	84

LUMEN MAINTENANCE

Ambient Temperature	TM-21 Lumen Maintenance (60,000 Hours)	Theoretical L70 (Hours)
25°C, 40°C, 50°C	> 87%	> 102,000

POWER TABLE

Number of Heads	Light Level	Input Current (A) at 120 VAC	Input Current (A) at 277 VAC	Input Power (W)
W1	L1	0.08	0.03	10
	L2	0.177	0.088	20.93
	L3	0.252	0.118	30.02
	LC1	0.1	0.085	11.4
	LC2	0.183	0.088	21.44
W2	L1	0.16	0.06	20
	L2	0.354	0.176	41.86
	L3	0.504	0.236	60.04
	LC1	0.2	0.17	22.8
	LC2	0.366	0.176	42.88

INTEGRATED SENSOR - SVPD2

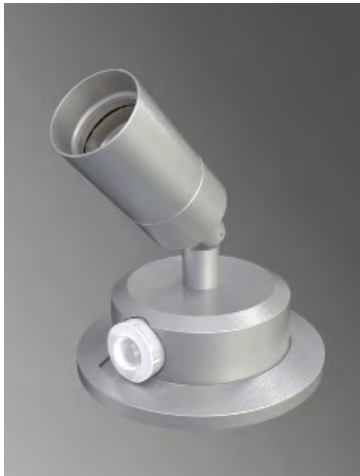
The Lanterra Cylinder 9004 with Integrated Sensor technology provides automatic energy savings without sacrificing performance. Traditionally, these types of energy savings required coordination between the luminaire and a lighting control system. The Lanterra Cylinder 9004 delivers superior lighting with integrated PIR occupancy sensing and daylighting controls.

Capture the benefits of traditional lighting controls, without complicated circuit planning or special wiring. The Lanterra Cylinder 9004 delivers automatic ON to an energy saving light level, while ensuring lighting is turned OFF when the space is unoccupied.

The SVPD2 sensor is configured for outdoor use, so the integral daylight sensor will enable the luminaire to automatically adjust to daylight conditions by turning off when sufficient sunlight is present. Consult factory for indoor configuration.

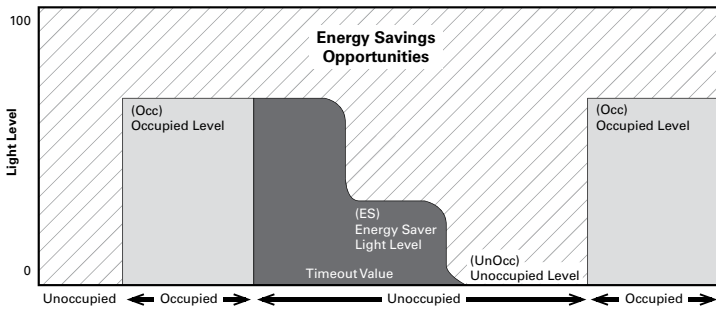
Occupied light levels and unoccupied light levels can be adjusted using the integrated sensor programming remote (Catalog Number: ISHH01LUM). While the default unoccupied level is OFF, a lower light level can be saved instead using the programming remote. The integrated sensor personal remote (Catalog Number: ISHH02LUM) provides code compliant manual raise, lower, ON, OFF control.

The Lanterra Cylinder 9004 with Integrated Sensor is easy to install with no special wiring and ensures energy savings out-of-the-box with default control settings.



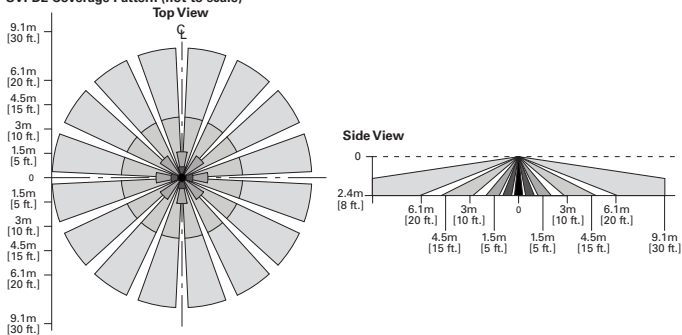
HOW IT WORKS

- As the user enters the space controlled by the integral sensor, the lighting turns ON to the occupied light level.
- Lighting will remain at the occupied level until the space is unoccupied. This will start the occupancy timeout period (default 20 minutes).
- If the space remains unoccupied for half of the timeout period, the lighting will automatically reduce to the Energy Saver light level (default matches occupied level). This adjustable light level is often set to half of the occupied daylight level using the programming remote.
- At the end of the timeout period the lighting will go to the unoccupied light level. This adjustable light level uses the OFF default setting.
- If sufficient sunlight is present, the luminaire will remain OFF, regardless of occupancy.

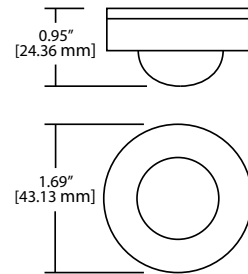


Coverage

SVPD2 Coverage Pattern (not to scale)



Sensor Dimensions



Optional Remote Controls



ISHH01LUM Programming Remote



ISHH02LUM Personal Control Remote